

AS-BUILT PLANS FOR ~~A SITE IMPROVEMENT PLAN OF~~ SAINT DOMINIC HIGH SCHOOL NEW GYMNASIUM AND P.A.C.

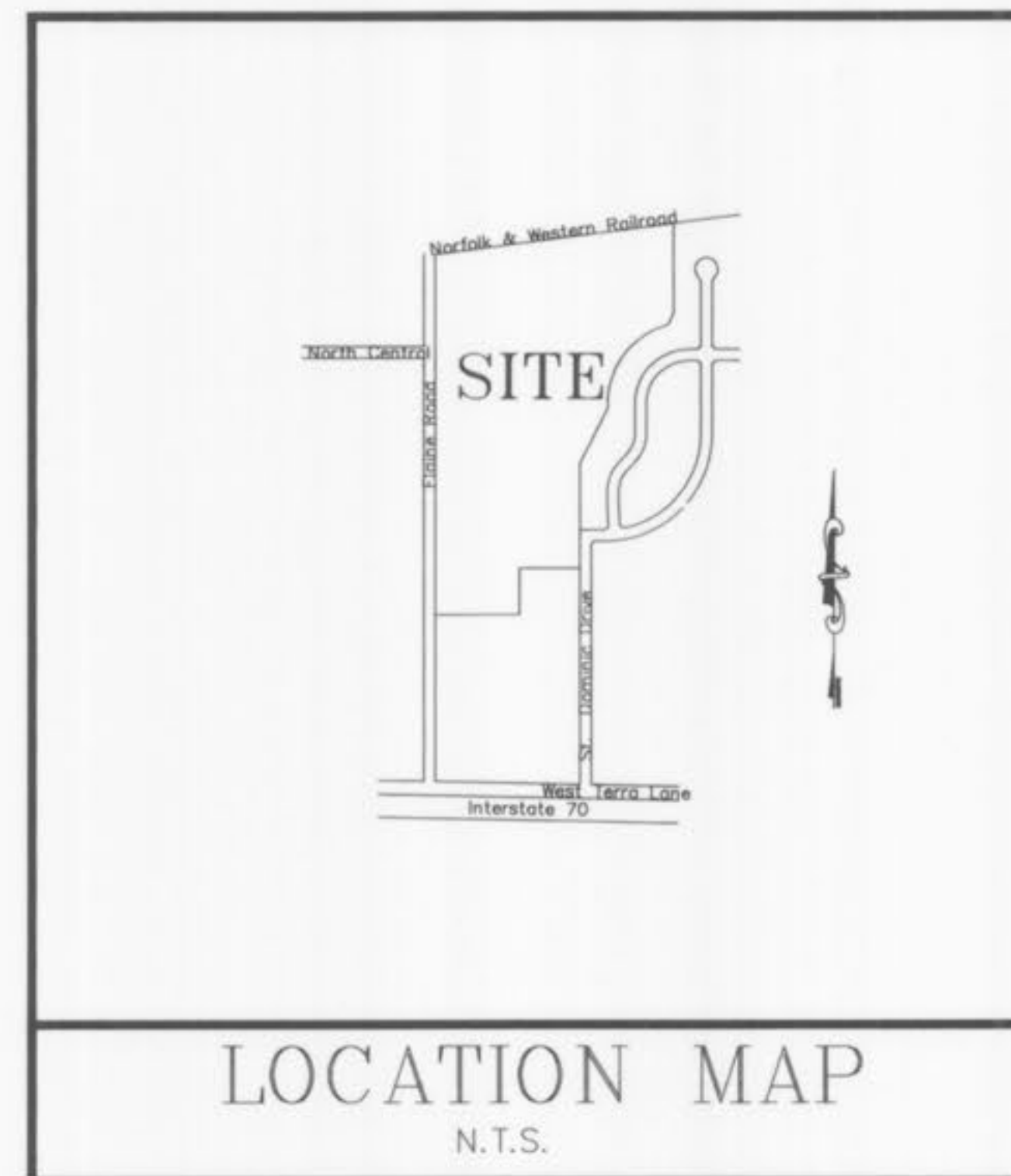
A TRACT OF LAND BEING PART OF THE
EAST FRACTIONAL ONE HALF OF FRACTIONAL SECTION 30,
TOWNSHIP 47 NORTH, RANGE 3 EAST,
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

General Notes

1. Area of Site: 29.01 AC +/-.
2. Zoning: R-1 Single Family Residential District
3. Existing Use: High School
4. The following setbacks pertain to this site:
Minimum Front Yard: 25 feet
Minimum Side Yard: 5 feet
Minimum Rear Yard: 25 feet
Maximum Bulging Height: 35 feet
5. This Site is served by the following utilities:
Water: City of O'Fallon (636) 240-2000
Sanitary Sewer: City of O'Fallon (636) 240-2000
Electric: AmerenUE (636) 925-3235
Gas: Laclede Company (636) 946-6170
Telephone: CenturyTel (636) 332-7392
6. This Site is located in the following service areas:
Fire Protection: O'Fallon Fire Protection District
School District: R-3 Fort Zumwalt School District (West)
7. Project Benchmark: The finished floor of the south entrance of the existing gym of Saint Dominic High School. Elevation = 605.11 (USGS)
8. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor and shall be located prior to any grading or construction of the improvements.
9. All proposed utilities to this site must be underground services.
10. The site is tributary to Perogue Creek and is unaffected by the Special Flood Hazard Area inundated by the 100-year flood per FIRM 29183C0240 E, dated August 2, 1996.
11. Site Coverage:
Building: 119,230 sq. ft. 9.44%
Pavement: 428,732 sq. ft. 33.93%
Green Space: 715,729 sq. ft. 56.63%
100.00%
12. Detention will be provided by modifying the existing basin located on site to the 100 year storm event.
13. Mechanical equipment to be screened as required by City Code.
14. Required parking for this site is 274 parking spaces, based upon 1 parking space per 3 students (700), plus 1 parking space per faculty member (40).
15. Existing parking for this site is 467 parking spaces, including 6 parking spaces reserved for physically handicapped persons.
16. Total proposed parking for this site is 549 parking spaces, including 12 parking spaces reserved for physically handicapped persons.
17. Lighting plan per City Code to be submitted by others.
18. Landscaping to be provide along the proposed parking lot at a rate of one tree per 50 feet of frontage.
19. This site shall comply with the Tree Preservation Ordinance.
20. This site shall comply with Article XIII of the Zoning Code, Performance Standards.
21. This site shall conform with the City's adopted Comprehensive Plan.
22. All sign locations and sizes must be approved separately through the City of O'Fallon Planning Division.
23. Developer to post a financial guarantee of performance (per an approved cost estimate) as required by Article 405 of Subdivision Ordinance.
24. All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
25. All proposed sanitary sewers, storm sewers and waterlines are to be private.
26. All slopes shall be 3:1 maximum.
27. Location of all siltation control devices to follow St. Charles County Soil and Water Conservation District Erosion and Sediment Control guidelines to be depicted on Improvement Plans.
28. Lighting values will be reviewed on site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
29. The proposed addition and attendant improvements will drain via storm sewers to the existing on-site detention basin. A stormwater cleansing structure (Water Quality Unit) is being considered along the proposed storm sewer or at the outfall structure/outfall pipe system, to comply with the NPDES Phase II stormwater requirements.
30. The site improvements shall comply with all applicable City of O'Fallon codes, requirements and restrictions.
31. Property Owner: Archbishop of Saint Louis.

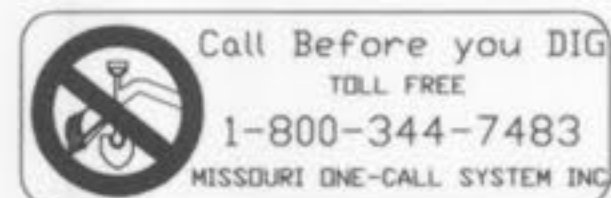
- ~~NOTE: Developer must post a financial guarantee of performance (per an approved cost estimate) as required by Article 405 of Subdivision Ordinance.~~
- ~~NOTE: Developer must supply City construction inspectors with soil reports prior to during site soil testing. The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:~~
- ~~1. Maximum dry density~~
 - ~~2. Optimum moisture content~~
 - ~~3. Maximum and minimum allowable moisture content~~
 - ~~4. Curve must be plotted to show density from a minimum of 90% compaction and above as determined by the "Modified AASHTO T-180 Compaction Test" (A.S.T.M.-D-1157) or from a minimum of 95% as determined by the "Standard Proctor Test AASHTO T-99, Method C" (A.S.T.M.-D-698). Proctor type must be designated on document.~~
 - ~~5. Curve must have at least 5 density points with moisture content and sample locations listed on document.~~
 - ~~6. Specific gravity~~
 - ~~7. Natural moisture content~~
 - ~~8. Liquid limit~~
 - ~~9. Plastic limit~~
- ~~Be advised that if this information is not provided to the City's Construction Inspector the City will not allow grading or construction activities to proceed on any project site.~~
- ~~NOTE: All low places whether on-site or off-site are graded to allow drainage. This can be accomplished with temporary ditches. Any off-site drainage easements will be acquired before grading begins.~~
- ~~NOTE: The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation, including, but not limited to, stacked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MODOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or City of O'Fallon and/or MODOT may at their option direct the Contractor by his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MODOT.~~
- ~~NOTE: Traffic control is to be per MODOT or MUTCD, whichever is more stringent.~~
- ~~NOTE: All requirements of the Planning and Zoning Commission are addressed.~~
- ~~NOTE: Construction Hours: 7:00 AM - 4:30 PM~~
- ~~NOTE: Sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG shall take precedence and the contractor prior to any construction shall notify the Project Engineer. At least one 8' wide handicap access aisle is provided and curb ramps do not project into handicap access aisle.~~
- ~~NOTE: All proposed fencing requires a separate permit through the Planning Division.~~

- ~~Conditions of approval from the Planning and Zoning Commission:~~
- ~~1. Prior to Construction Site Plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting. Illumination at exterior lighting, as measured at the property line, shall not exceed 0.5 foot-candles.~~
 - ~~2. Provide a 10' wide utility easement behind the public right-of-way.~~
 - ~~3. Provide sanitary siltation calculations.~~
 - ~~4. Indicate top and bottom of retaining wall elevations on all retaining walls. Walls 4' and over in height will be required to have a fence at the top.~~



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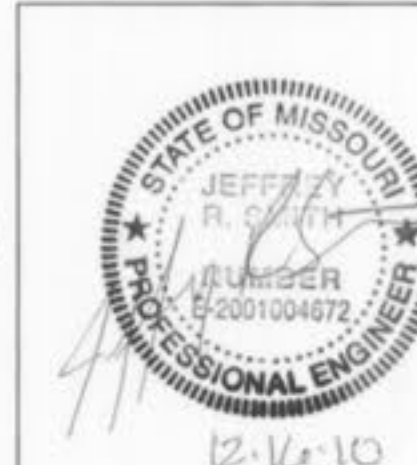
Underground facilities, structures and utilities have been plotted from available surveys, records and information, and therefore, do not necessarily reflect the actual existence, non-existence, size, type, number of, or location of these facilities, structures, and utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures, and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMD.

Tree Preservation Calculations:

Existing trees in development area: 11 trees.
Trees required to be retained: (11 trees)(0.20) = 2.2 (3 trees)
Existing trees retained: 0 trees.
Tree required to be replaced: 3 trees.

PREPARED FOR:

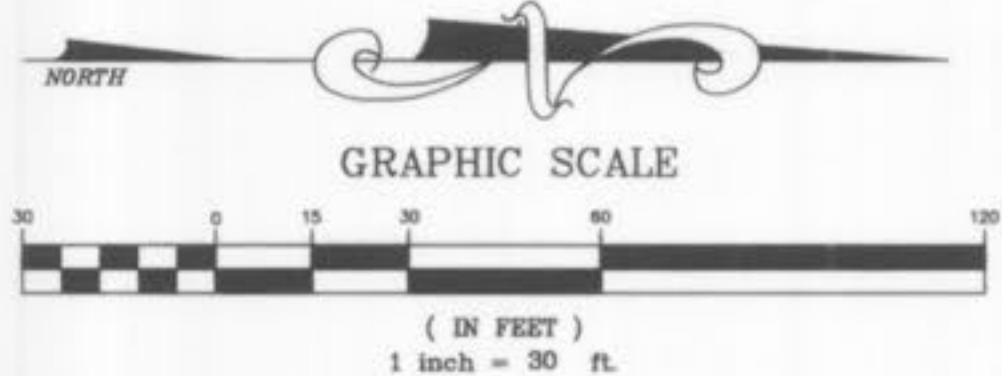
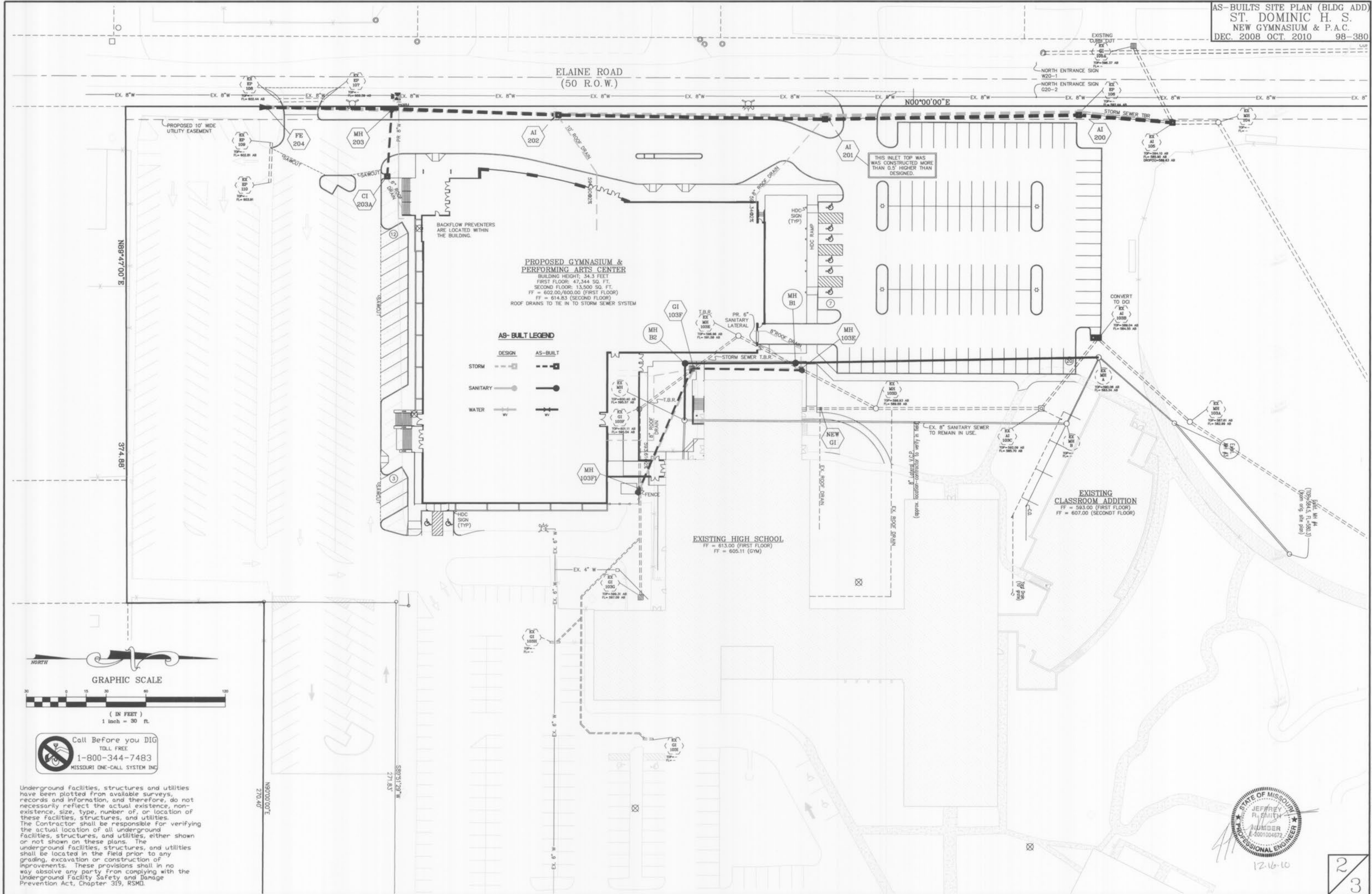
ST. DOMINIC HIGH SCHOOL
C/O SR. MARY BENDER, SSND
31 ST. DOMINIC DRIVE
O'FALLON, MISSOURI 63366
TELEPHONE: (636) 240-8303



AS-BUILT PLANS FOR SAINT DOMINIC HIGH SCHOOL NEW GYMNASIUM AND P.A.C.

Dec., '10	Approved for mylar plotting
Nov., '10	Revise As-Built per City Comments
DATE: NO.:	REVISION:

MUSLER ENGINEERING COMPANY				
CIVIL ENGINEERING - PLANNING - LAND SURVEYING				
32 Portwest Court, St. Charles, Missouri 63303				
Telephone: (636) 916-0444				
Fax: (636) 916-3444				
DATE:	DRAWN:	CHECKED:	PROJECT NO.:	SHEET NO.:
OCT., 2010	F.V./J.R.S.	J.R.S.	98-380	1_OF_3



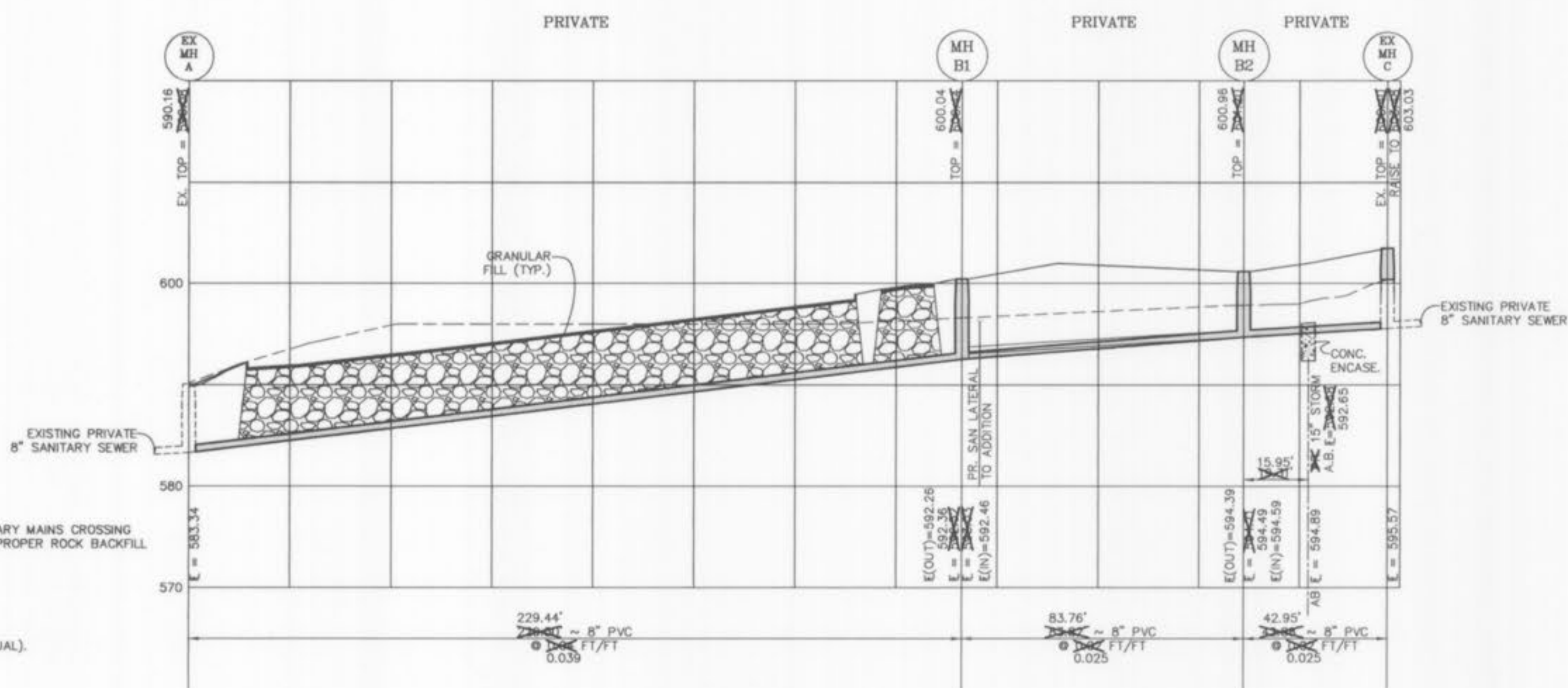
Call Before you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM INC

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12.16.10

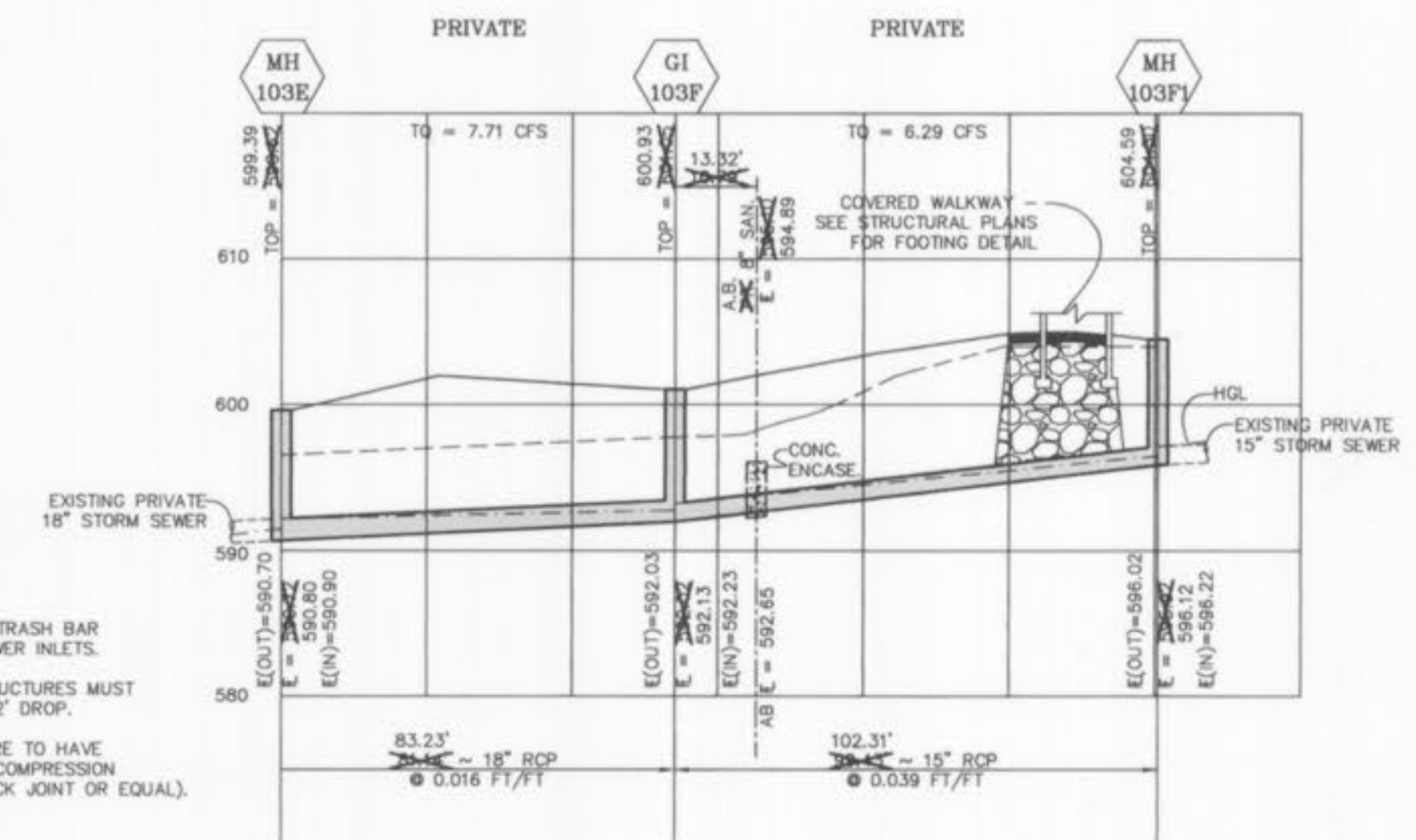
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NOTE: ALL SANITARY LATERALS AND SANITARY MAINS CROSSING UNDER ROADWAYS MUST HAVE THE PROPER ROCK BACKFILL AND REQUIRED COMPACTION
 NOTE: ALL INVERTS IN STRUCTURES MUST HAVE A MINIMUM 0.2' DROP.
 NOTE: ALL STRUCTURES ARE TO HAVE APPROVED PATENT COMPRESSION TYPE JOINTS (A-LOCK JOINT OR EQUAL).

SANITARY PROFILE

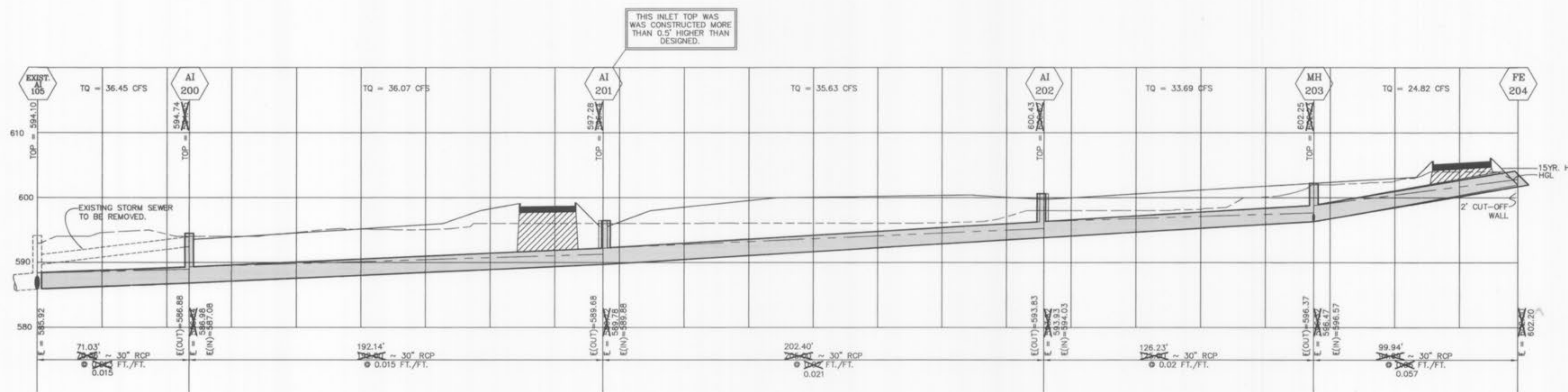
SCALE: 1" = 30' HORIZ.
 1" = 10' VERT.



NOTE: PROVIDE 5/8" DIA. TRASH BAR FOR ALL STORM SEWER INLETS.
 NOTE: ALL INVERTS IN STRUCTURES MUST HAVE A MINIMUM 0.2' DROP.
 NOTE: ALL STRUCTURES ARE TO HAVE APPROVED PATENT COMPRESSION TYPE JOINTS (A-LOCK JOINT OR EQUAL).

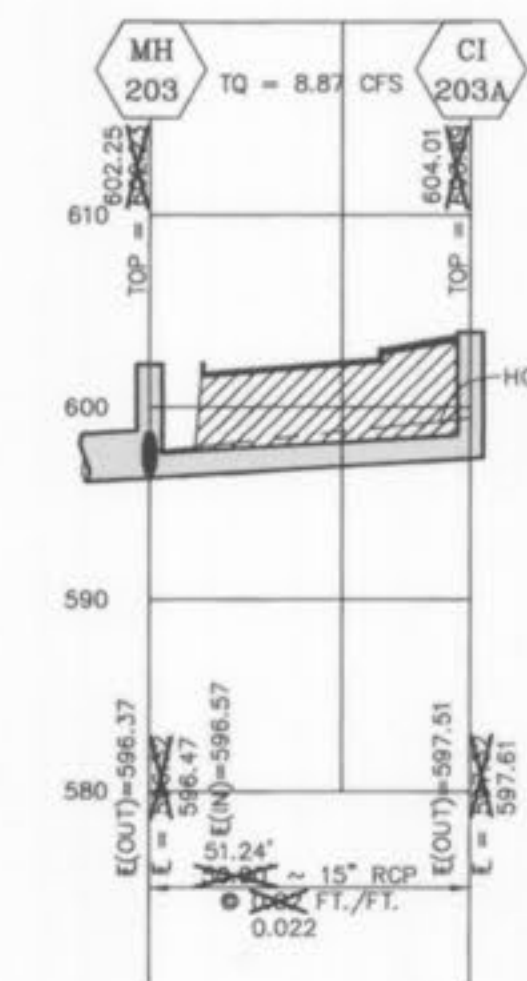
STORM PROFILE

SCALE: 1" = 30' HORIZ.
 1" = 10' VERT.



ELAINE DRIVE STORM PROFILE

SCALE: 1" = 30' HORIZ.
 1" = 10' VERT.



SCALE: 1" = 30' HORIZ.
 1" = 10' VERT.



12-16-10