

ST. DOMINIC HIGH SCHOOL

SEVERAL TRACTS OF LAND BEING PART OF SECTION 30,
TOWNSHIP 47 NORTH, RANGE 3 EAST, CITY OF O'FALLON,
ST. CHARLES COUNTY, MISSOURI
IMPROVEMENT PLANS

AS-BUILTS

**ST DOMINIC
HIGH SCHOOL**
SEVERAL TRACTS OF LAND BEING U.S. SURVEY 55,
TOWNSHIP 47 NORTH, RANGE 3 EAST,
CITY OF O'FALLON,
ST. CHARLES COUNTY, MISSOURI
IMPROVEMENT PLANS
PDS PROJECT NO. 19-0005347

St. Peters
22 Richmond Center Court
St. Peters, MO 63376
Phone (636) 397-1211
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**Pickett
Ray & Silver**
Civil Engineering
& Land Surveying
Beyond Standard

ENGINEERS AUTHORIZATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthorized.
PICKETT, RAY & SILVER, INC.

WILLIAM SCHEDT, P.E.
PE-2018007869

Cover Sheet

Owner Information:
Archdiocese of St. Louis
20 Archbishop May Dr
St. Louis, MO 63119

City of O'Fallon Improvement Plans

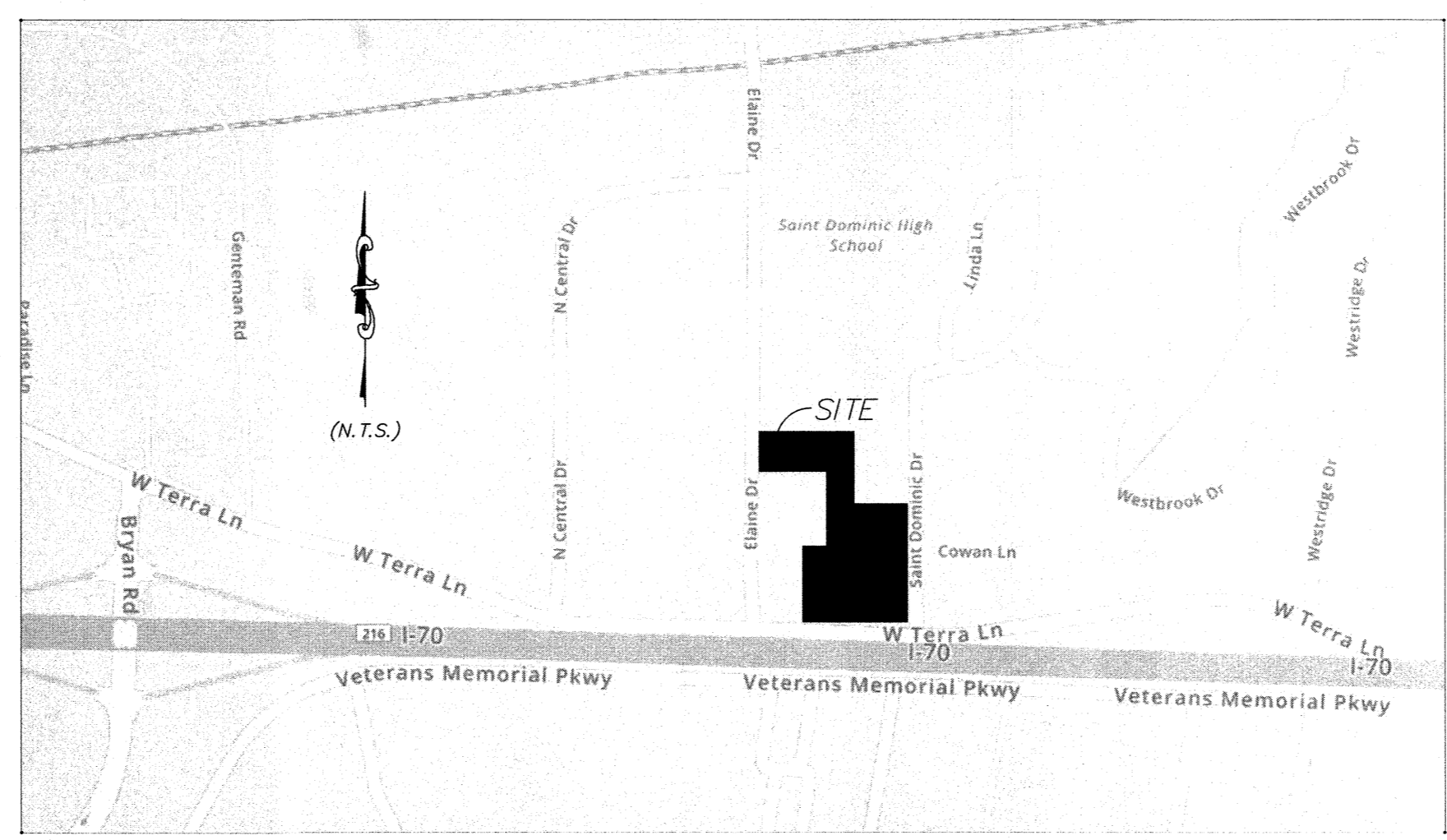
P+Z No.: SP19-00018
Approval Date: 6/6/2019
City No.: 19-005347
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GENERAL NOTES

- PRESENT ZONING: C-2 GENERAL BUSINESS
- PROPOSED ZONING: R-1 SINGLE FAMILY RESIDENTIAL
- PROPOSED USE: ACCESS DRIVE AND PARKING LOT
- AREA OF TRACT: 4.57 ACRES
- SITE ADDRESS: 909 WEST TERRA LANE
915 WEST TERRA LANE
921 WEST TERRA LANE
34 ELAINE DR
- PROJECT IS SERVED BY:
 - WATER - CITY OF O'FALLON
 - GAS - SPIRE GAS COMPANY
 - TELEPHONE - CENTURYTEL TELEPHONE COMPANY
 - SANITARY - CITY OF O'FALLON SEWERS
 - ELECTRIC - AMEREN UE
 - FIRE - O'FALLON FIRE PROTECTION DISTRICT
- ALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- PARKING AND BUILDING SHALL BE IN COMPLIANCE WITH A.D.A. ACCESSIBILITY GUIDELINES.
- ALL DIMENSIONS TAKEN FROM BACK OF CURB UNLESS OTHERWISE NOTED.
- BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH CITY OF O'FALLON'S REQUIREMENTS.
- SETBACK AND YARD REQUIREMENTS:
 - FRONT YARD SETBACK: 25 FEET
 - REAR YARD SETBACK: 25 FEET
 - SIDE YARD SETBACK: 6 FEET
- GRADING AND DRAINAGE SHALL BE PER THE REQUIREMENTS OF THE CITY OF O'FALLON.
- EXTERIOR LIGHTING DETAILS AND PHOTOMETRIC PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO CONSTRUCTION PLAN APPROVAL.
- NO SLOPE SHALL BE GREATER THAN 3:1 DURING CONSTRUCTION AND AT FINAL GRADE.
- PER F.I.R.M. #29183C0240G JANUARY 20, 2016, THIS SITE IS NOT LOCATED WITHIN THE 100 YEAR FLOOD PLAIN.
- SIGNAGE LOCATIONS AND SIZES TO BE REVIEWED SEPARATELY THROUGH THE PLANNING DIVISION. SIGNAGE SHALL BE PERMITTED SEPARATELY.
- ALL NEW UTILITIES UNDER CITY STREETS SHALL BE BORED.
- ALL HANDICAP SIDEWALK RAMP SHALL BE CONCRETE AND SHALL MEET THE CITY OF O'FALLON AND ADA REQUIREMENTS.
- ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.
- UTILITY CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS WITH GENERAL CONTRACTOR.
- THIS SITE WILL BE IN COMPLIANCE WITH PHASE II ILLICIT STORM WATER DISCHARGE GUIDELINES PER ORDINANCE 5082.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:
October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

*** CONSTRUCTION OF CULVERT UNDER ST. DOMINIC DRIVE ***
9:00 A.M. TO 3:00 P.M. Monday Through Friday
Steel Plating will be required at the end of each work day to keep the roadway open during non construction hours.
No rock, soil, pipes or construction material shall be stored on St. Dominic Drive.



LOCATION MAP

AS-BUILTS

PROJECT DATA			
BUILDINGS	PAVED AREAS	LANDSCAPED AREAS	TOTAL SQ. FT.
0 (0%)	64,417 (32%)	134,642 (68%)	199,059

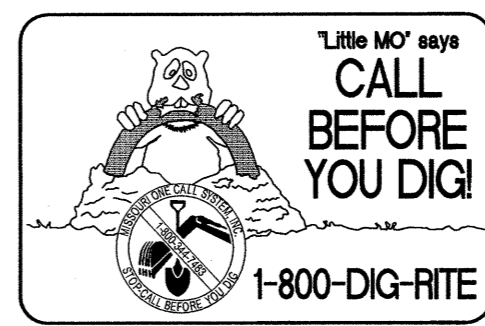
BENCH MARK:
MISSOURI GEOGRAPHIC REFERENCE SYSTEM
STATION NAME: SC-54
N=329839.944 (M)
E=228140.711 (M)
GRID FACTOR=0.9999175
ELEVATION = 170.1 (M) = 558.07 FEET

These "AS-BUILT" STORM plans are based on actual field observations conducted during FEBRUARY 2020, and the results are shown hereon.

By:
STANLEY M. MUNDWILLER, P.L.S., #2005019226
STATE OF MISSOURI
PICKETT, RAY & SILVER'S CORPORATE
REGISTRATION NO. LS-54-D



CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Jamie Greenlee DATE 05/20/2020
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN



UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

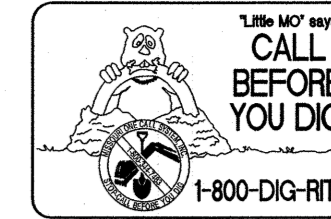
- P and Z Approval**
SITE PLAN CASE NUMBER 19-000666 WAS APPROVED ON JUNE 6TH 2019.
- CONDITIONS FOR APPROVAL:
- PROVIDE A SEPARATE DEMOLITION PLAN PAGE TO SHOW THE EXISTING AND PROPOSED CONDITIONS.
 - PROVIDE A SIDEWALK ALONG THE NEW PRIVATE DRIVE.
 - SHOW A MINIMUM OF 5' WIDE SIDEWALK ALONG THE ENTRANCE DRIVE ON THE EAST SIDE TO THE POINT WHERE IT INTERSECTS THE PARKING LOT NORTH OF THE TENNIS COURT.
 - PROVIDE MODOT APPROVAL FOR THE PRIVATE DRIVE.
 - PROVIDE DIFFERENTIAL RUNOFF CALCULATIONS USING THE CURRENT MSD PI FACTORS FOR THE 100 YEAR STORM. DETENTION WILL BE REQUIRED FOR THESE IMPROVEMENTS.
 - A 10' WIDE TRAIL SHALL BE REQUIRED ALONG WEST TERRA FOR THE ENTIRE FRONTAGE WHEN LOTS 1 & 2 DEVELOP.
 - A SIDEWALK SHALL BE REQUIRED ALONG THE FRONTAGE OF ST. DOMINIC WHERE IT ADJOINS YOUR PROPERTY WHEN LOTS 1 & 2 DEVELOP.
 - PROVIDE SIGNAGE TO PREVENT DRIVERS FROM ENTERING THE EXIT ON ELAINE DRIVE.
 - BUILD THE ENTRANCE DRIVE IN PREPARATION FOR THE 10' WIDE TRAIL TO BE BUILT ALONG WEST TERRA LANE IN THE FUTURE. PROVIDE RAMPS AND A BREAK IN THE MEDIAN ON THE ENTRANCE DRIVE.
 - PROVIDE INFORMATION ON HOW STORM WATER DETENTION SHALL BE ACCOMPLISHED FOR THE PARKING AND DRIVE ADDITION.
 - THE APPLICANT SHALL WORK WITH STAFF DURING CONSTRUCTION PLAN REVIEW ON THE CONFIGURATION OF THE SIDEWALK LOCATED AT THE CORNER OF ST. DOMINIC DRIVE AND SAN JOSE DRIVE. STAFF HAS CONCERNS ABOUT DIRECTING PEDESTRIANS TO A CORNER WHERE DRIVER'S VISIBILITY OF PEDESTRIANS MAY BE REDUCED.
 - COORDINATION WILL BE REQUIRED BETWEEN DEVELOPER AND WATER AND SEWER DIVISION TO INSPECT WATER AND SEWER TAP DESTROYS OF THE PROPOSED STRUCTURES TO BE REMOVED.

AS-BUILTS

NOTE:
REFER TO RN#19 ON SHEET 2 FOR PAINTING OF POSTS
AND BACK OF SIGNS PER CITY REQUIREMENTS

UTILITIES NOTE

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.



SITE PLAN NOTES

- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS CONTACT UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON OR RELATING TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE OR ARRANGE FOR THE RELOCATION OF ANY UTILITIES AFFECTED BY THE PROJECT CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF O'FALLON STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN HEREON ARE AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- WORK NOT SPECIFICALLY DETAILED OR CALLED OUT HEREON REQUIRED TO COMPLETE THE SITE CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE WORK WHICH IS CALLED OUT HEREON.
- REFER TO ARCHITECTURAL PLANS FOR EXTERIOR SITE LIGHTING, INTERIOR BUILDING UTILITIES AND BUILDING DETAILS.

SITE PLAN KEYED NOTES

- | | |
|---|--|
| 1 PROPOSED ASPHALT PAVEMENT | 14 PROPOSED ENTRANCE MONUMENT (BY OTHERS) |
| 2 PROPOSED RIBBON CURB | 15 PROPOSED 11"x18" ELLIPTICAL STORM PIPE (TYP.) |
| 3 PROPOSED 4" WIDE PARKING STRIPE, WHITE | 16 PROPOSED "NO LEFT TURN" SIGN |
| 4 PROPOSED LIGHTING STANDARD | 17 PROPOSED "YIELD" SIGN |
| 5 PROPOSED 3 RAIL FENCE | 18 PROPOSED "KEEP RIGHT" SIGN |
| 6 PROPOSED RAIN GARDEN | 19 PROPOSED 5'W SIDEWALK |
| 7 PROPOSED 6" VERTICAL CURB | 20 PROPOSED RETAINING WALL (BY OTHERS) |
| 8 PROPOSED ADA PARKING STALL (STRIPING AND SYMBOLS FOR ADA STALL SHALL BE DONE) | 21 PROPOSED OUTLET STRUCTURE |
| 9 MATCH EXISTING | 22 PROPOSED 24" STORM PIPE |
| 10 PROPOSED 12" RCP STORM PIPE | 23 PROPOSED 9" DIA. RIP RAP |
| 11 PROPOSED BIO-RETENTION | |
| 12 PROPOSED FLUME | |
| 13 PROPOSED YIELD BAR (PERFORMED INLAIN TAPE) | |

PARKING CALCULATIONS

EXISTING PARKING SPACES = 529 EXISTING SPACES
POST DEVELOPMENT SPACES = 685 PARKING SPACES
INCLUDING 14 ADA SPACES (2.0% OF TOTAL)

LANDSCAPE CALCULATIONS

STREET TREES: 1 TREE PER EVERY 40.0' OF PUBLIC/Private STREET FRONTAGE.
TREES REQUIRED: 905' * 1 TREE/EVERY 40.0' = 23 REQUIRED
SITE TREES: 1 PER 4,000 S.F. OPEN SPACE 110,154 S.F. OPEN SPACE/4,000 = 28 TREES
TOTAL TREES REQUIRED: 23 STREET TREES + 28 SITE TREES = 51 TREES
TOTAL TREES PROVIDED: 57 TREES

PARKING LOT LANDSCAPING:
NUMBER OF PROPOSED PARKING STALLS = 156
LANDSCAPING AREA REQUIRED = 156 * 270 * 6% = 2,527 SQ FT
LANDSCAPING PROVIDED = 5,182 SQ FT

LANDSCAPE NOTES

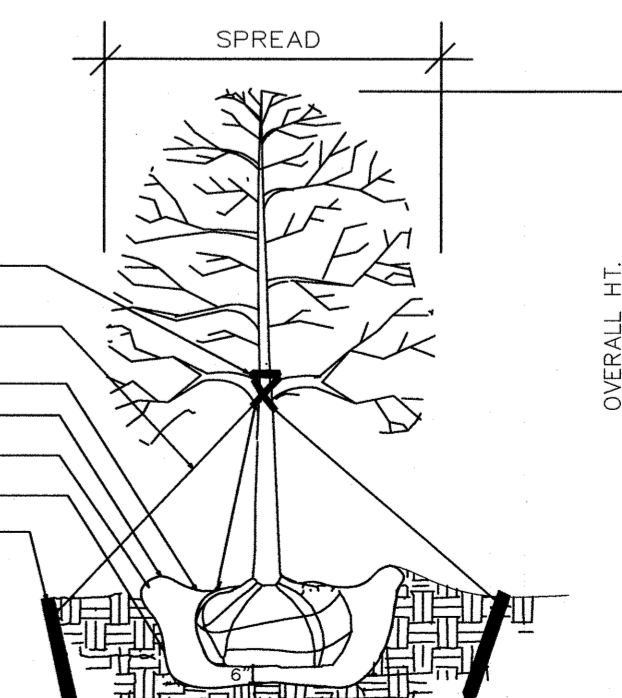
- FINAL TREE SELECTION AND LOCATIONS SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
- ALL TREES SHALL BE PLANTED PER SECTION 402.130 - TREE PLANTING STANDARDS - OF THE CITY OF O'FALLON MUNICIPAL CODE
- ALL TREES SHALL BE A MINIMUM OF 2" CALIPER AND 6' IN HEIGHT AT TIME OF PLANTING.

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT
*	45	CHINESE HOLLY	ILEX CORNUTA	6'
o	48	JAPANESE HOLLY	ILEX CRENATA	6'
●	9	NORWAY MAPLE	ACER PLATANOIDES	65'
●	9	EUROPEAN HORNBEEAM	CARPINUS BETULUS	50'
●	7	REDBUD	CERCIS CANADENSIS	25'
●	7	BLACKGUM	NYSSA SYLVATICA	75'
●	9	AUSTRIAN PINE	FINUS NIGRA	60'
●	7	NORWAY SPRUCE	PICEA ABIES	65'
●	9	LITTLELEAF LINDEN	TILIA CORDATA	65'

FINAL TREE SELECTIONS AND LOCATIONS TO BE SHOWN ON CONSTRUCTION PLANS

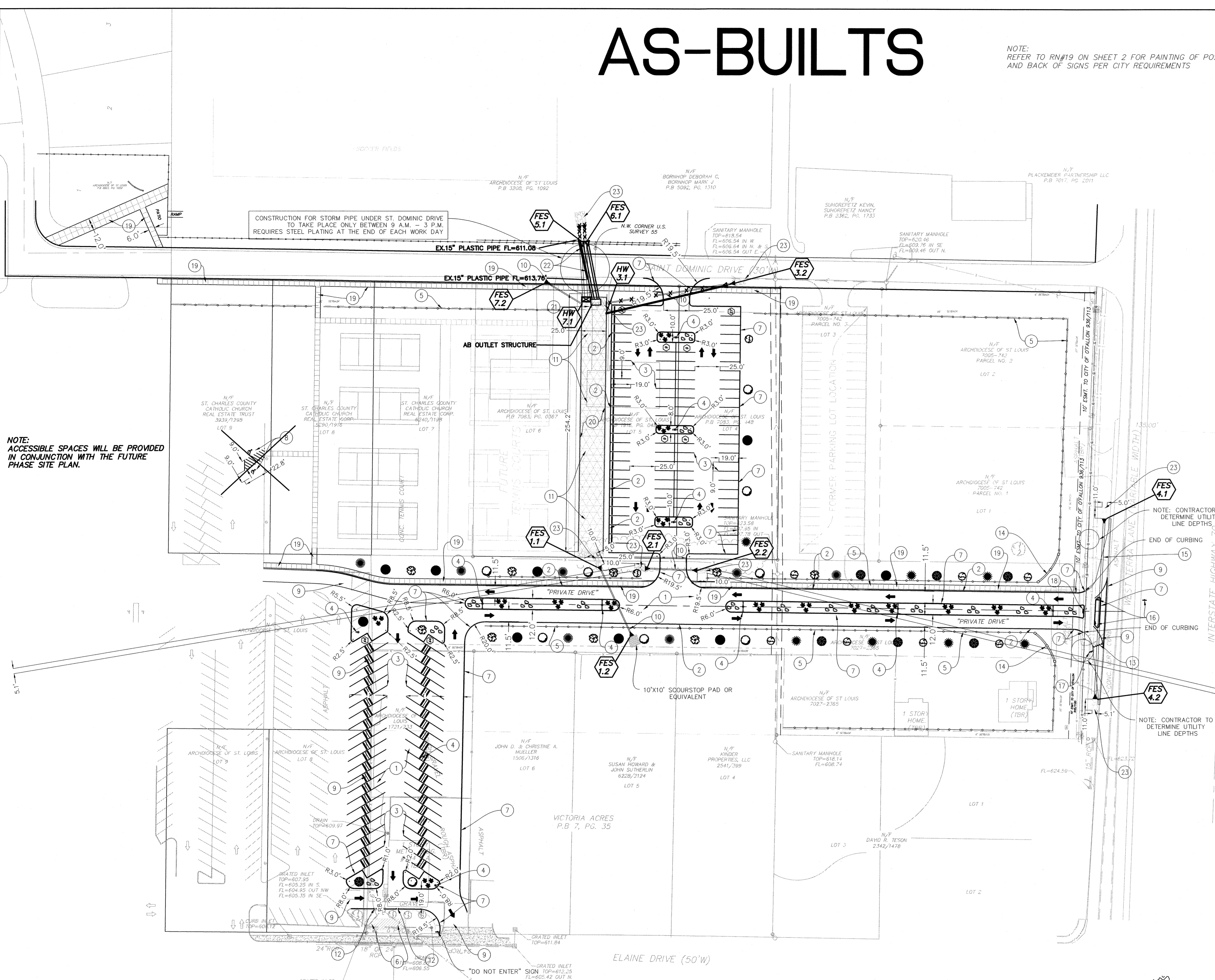
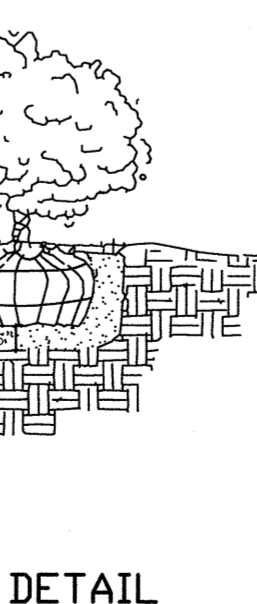
- PLANT SO THAT TOP OF ROOTBALL IS EVEN WITH THE FINISHED GRADE.
- HOLE TO BE TWICE THE SIZE OF THE ROOTBALL.
- LOOSEN BURLAP AND WIRE TOP OF BALL.
- STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT.
- 2 STRAND TWISTED 12 GAUGE GALV. WIRE ENCLOSED IN 1" DIAM. RUBBER HOSE.
- MULCH
- FORM 4" SAUCER FOR WATER RETENTION.
- PLANTING MIX.
- REMOVE AIR POCKETS.
- HARDWOOD STAKES
- 3 STAKES, 2" X 2", DRIVEN FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING.

L3.1-01 TREE STAKING/PLANTING DETAIL

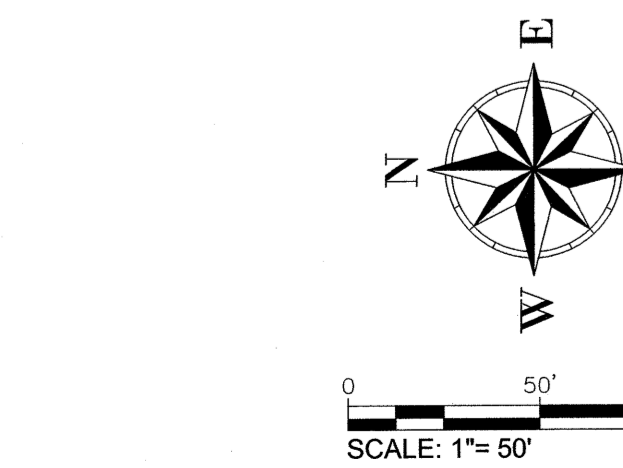


- MULCH
- FORM 3" SAUCER
- WATER AND TAMP TO REMOVE AIR POCKETS
- PLANTING MIX

L3.1-02 SHRUB PLANTING DETAIL



NOTE:
ACCESSIBLE SPACES WILL BE PROVIDED IN CONJUNCTION WITH THE FUTURE PHASE SITE PLAN.



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By: *Stanley M. Mundwiler* 04/24/2020
STANLEY M. MUNDWILER, P.L.S., #2005019226
STATE OF MISSOURI

PICKETT, RAY & SILVER'S CORPORATE
REGISTRATION NO. LS-54-D

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WILLIAM SCHOTT, P.E.
PE-201807989

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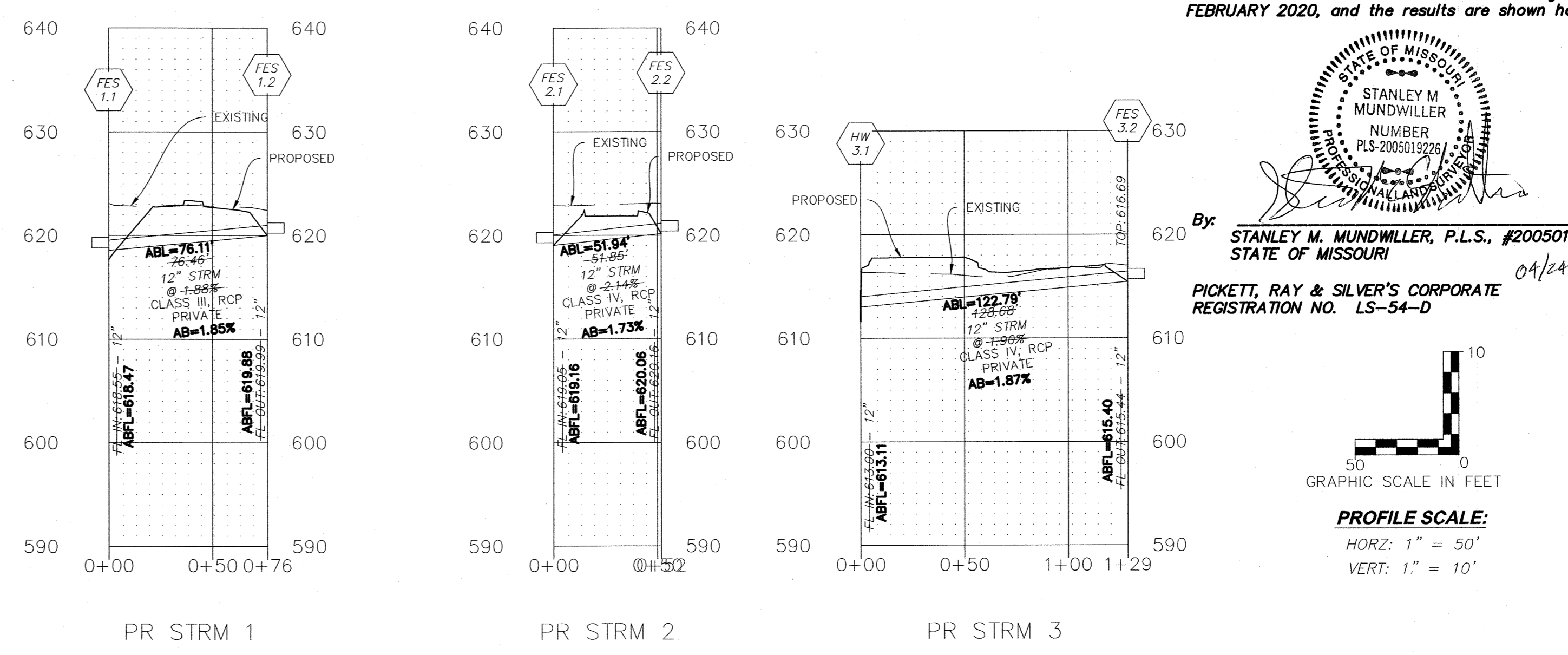
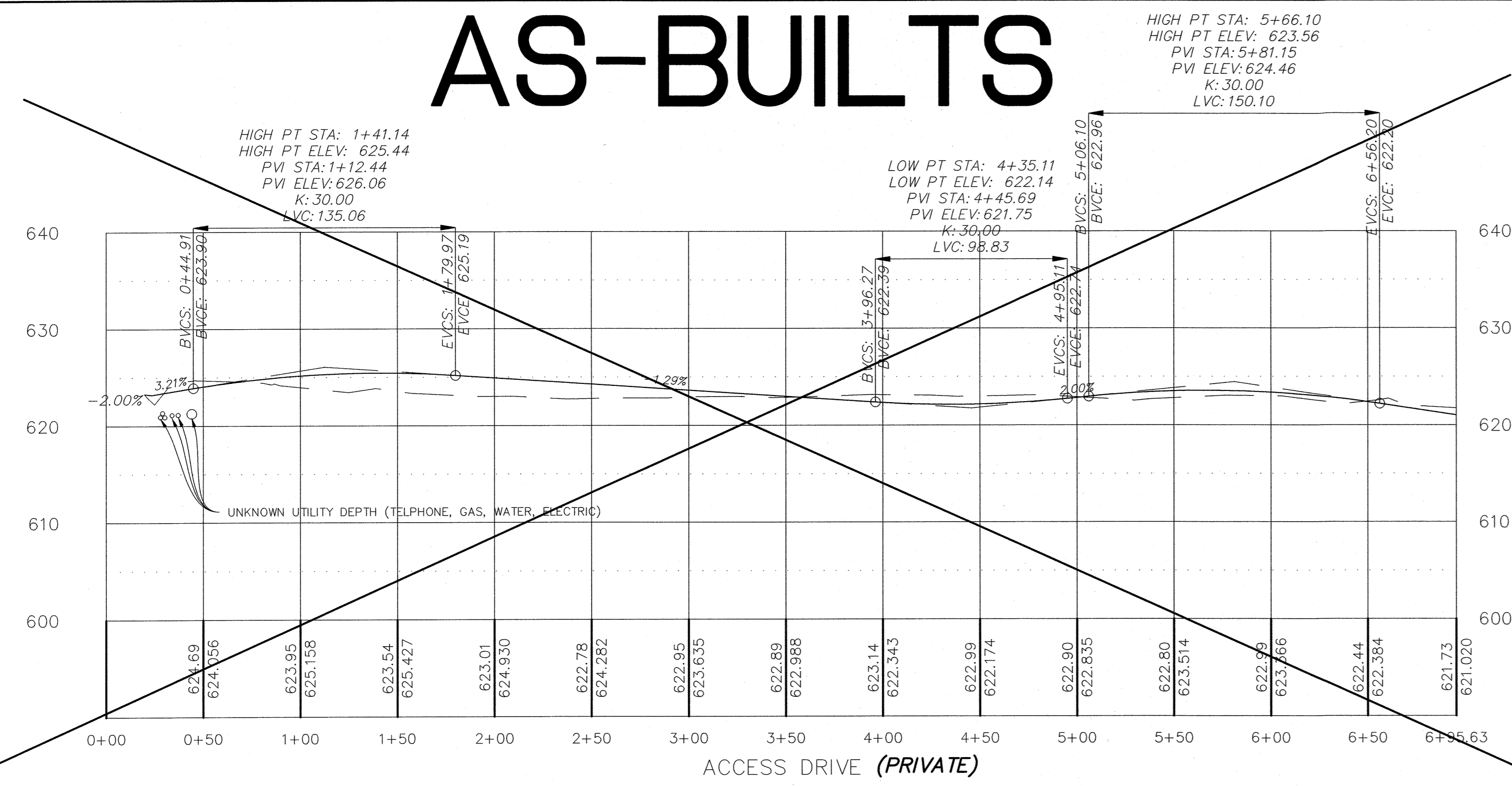
City of O'Fallon Improvement Plans

P+Z No.: SP19-000018
Approval Date: 6/6/2019
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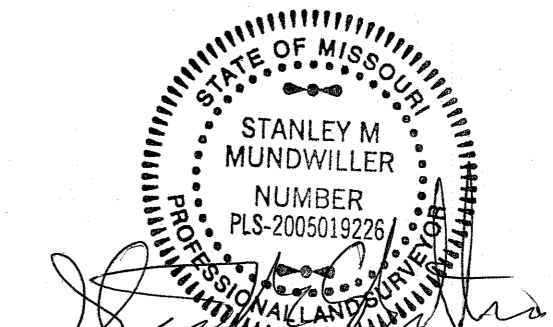
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10/21/19 IMPROVEMENT PLAN REVISION SUBMITTAL **

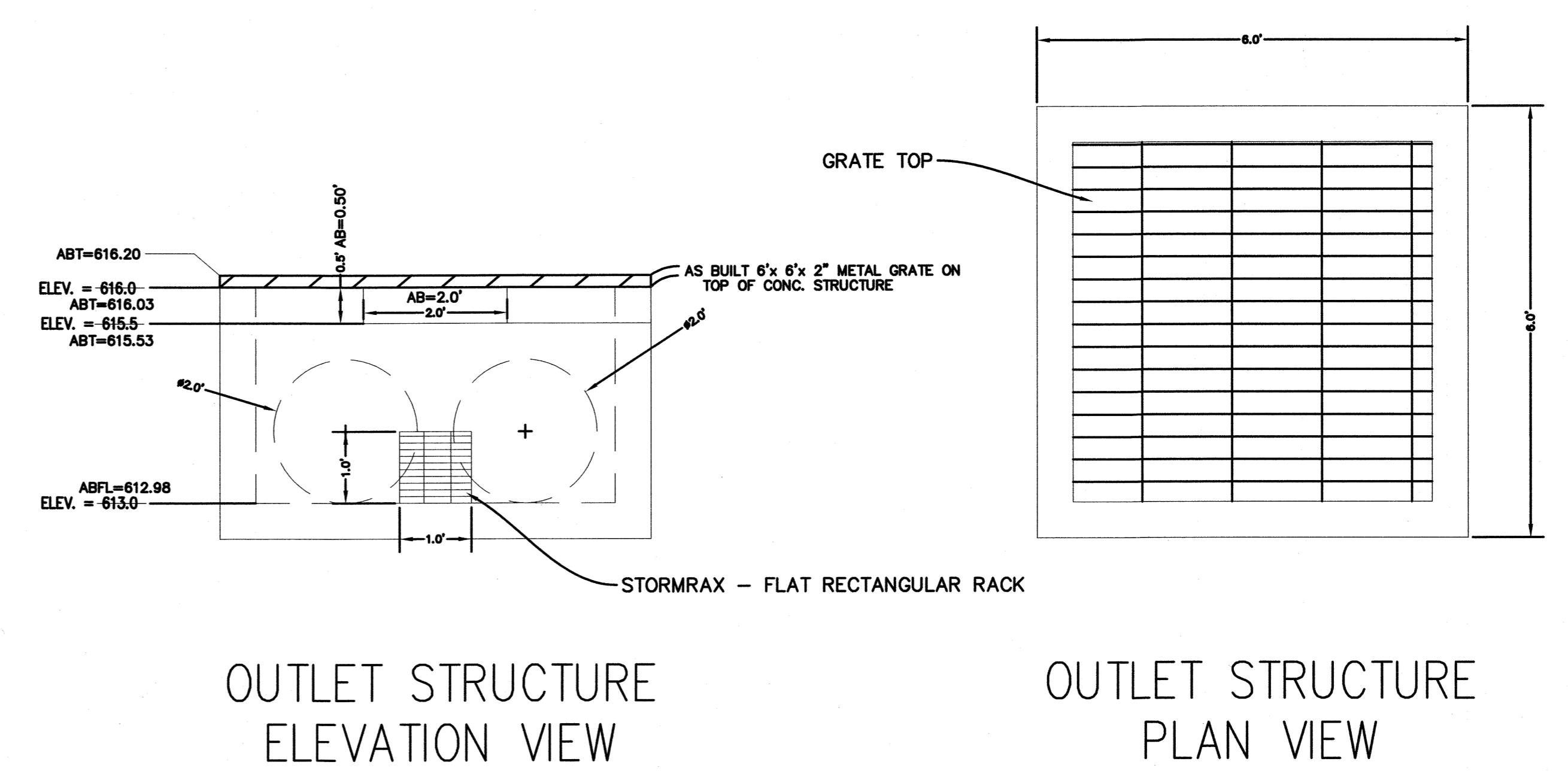
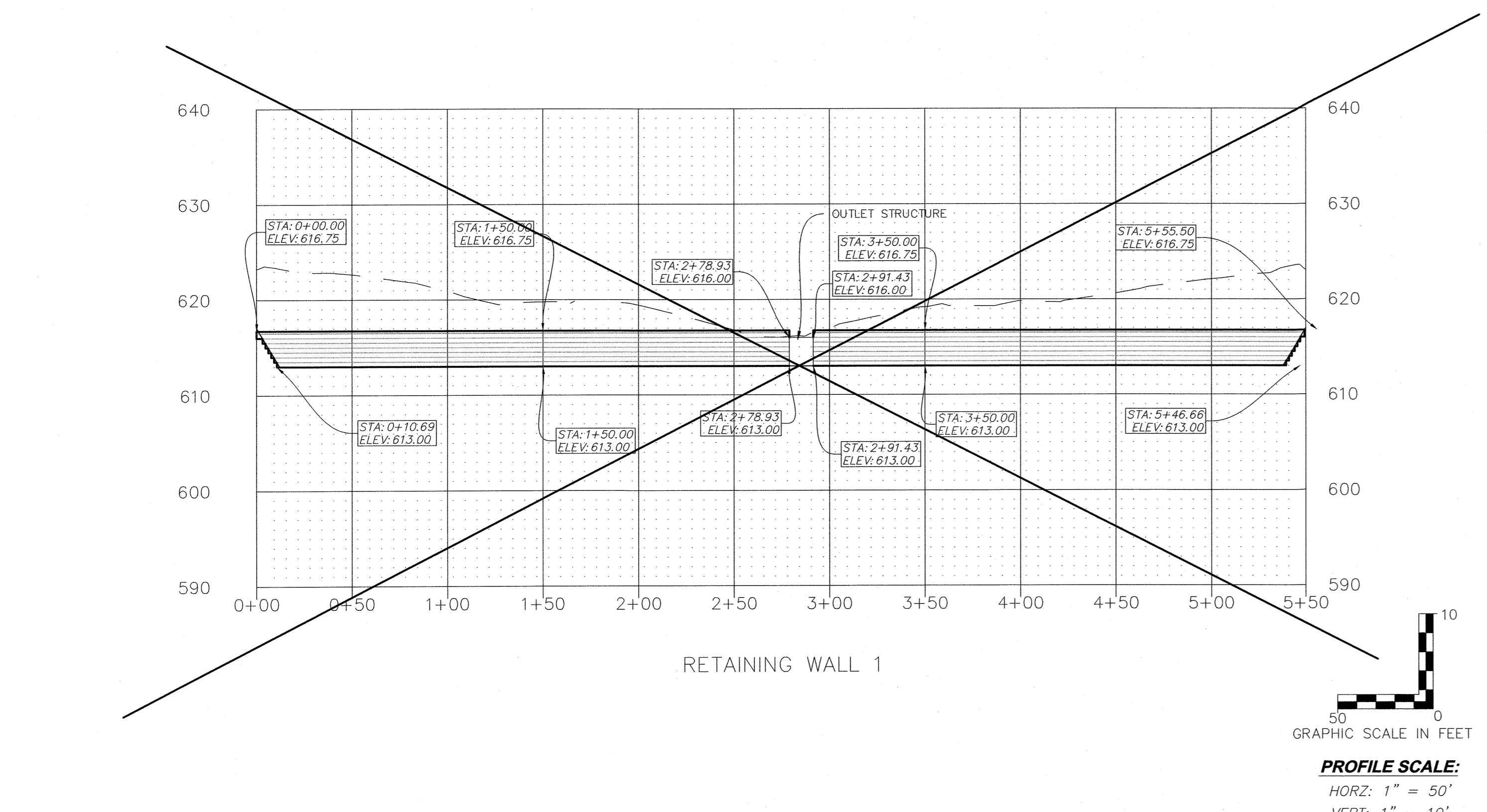
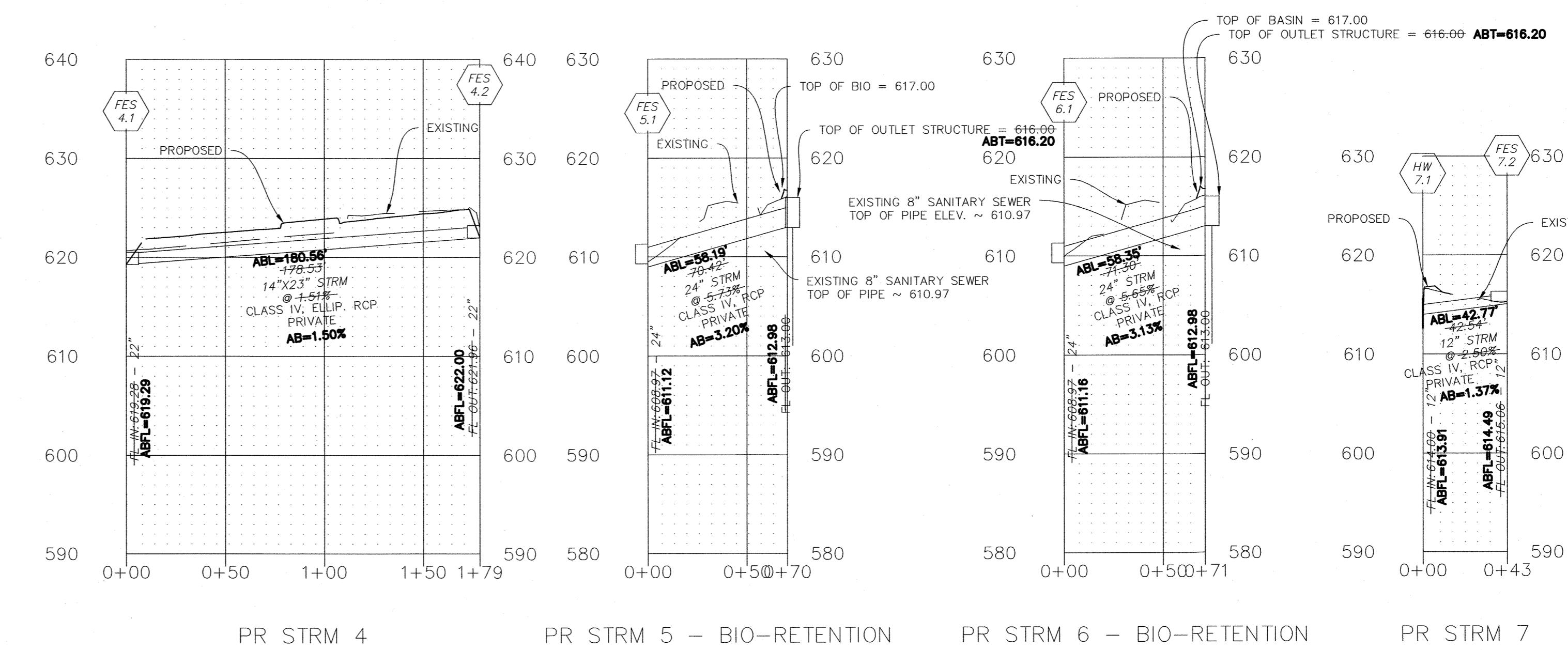
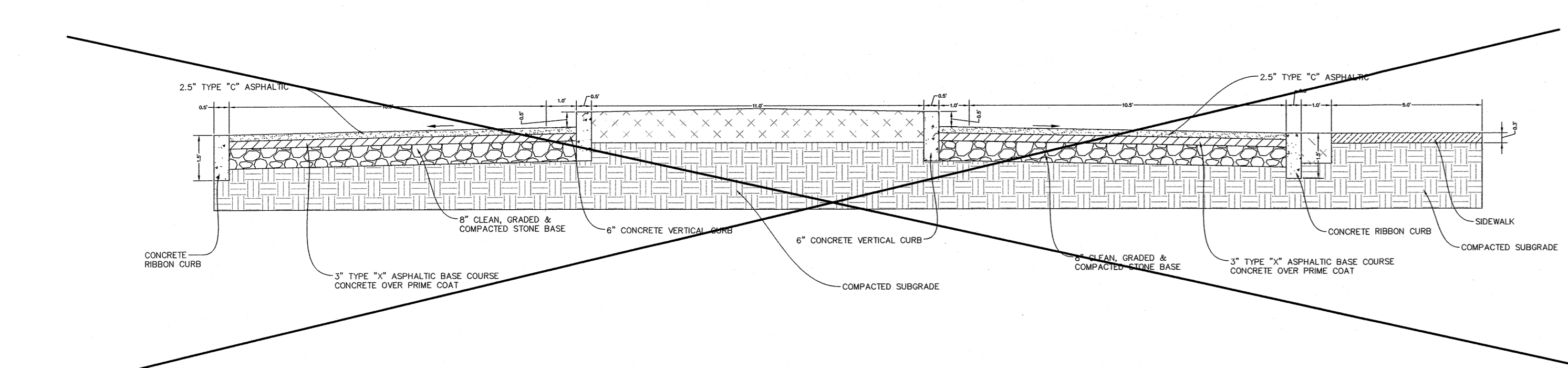
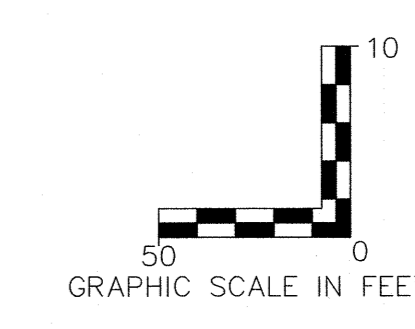
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*** 10/21/19 IMPROVEMENT PLAN REVISION SUBMITTAL ***