

PHASE I RESIDENTIAL - SOUTH IMPROVEMENTS PLANS

FOR THE STREETS OF CALEDONIA IN THE CITY OF O'FALLON, MISSOURI

AS-BUILT - PLAT 3

CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: ROBERT COPELAND DATE: JULY 13, 2020
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

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DETAIL SHEET	C14.05

AS-BUILTS APPROVED
February 7, 2024
AS-BUILT PUBLIC UTILITY
FINAL MEASUREMENTS

THE FOLLOWING UTILITIES HAVE BEEN LOCATED AND MEASURED AND THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS:

- STORM SEWERS, STORM SEWER LENGTHS, STORM SEWER PIPE SIZES, STORM SEWER FLOWLINES AND DEPTHS OF STORM SEWER STRUCTURES.
- SANITARY SEWERS, SANITARY SEWER LENGTHS, SANITARY SEWER PIPE SIZES, SANITARY SEWER FLOWLINES AND DEPTHS OF SANITARY SEWER STRUCTURES.
- FIRE HYDRANTS, WATER VALVES
- TOPOGRAPHY AND SECTIONS OF BASINS WITH SPOT ELEVATIONS.
- SPOT ELEVATIONS AT STREET INTERSECTION, CENTER OF CUL-DE-SAC AND CENTERLINE OF PERMANENT DRAINAGE SWALES THAT CARRY 1 C.F.S. OR MORE.
- LIGHT STANDARDS.

ALL PUBLIC UTILITIES SHOWN HEREON AS BEING AS-BUILT ARE LOCATED WITHIN DESIGNATED EXISTING OR PROPOSED EASEMENTS.

CB ENGINEERING INC.
DBA COCHRAN

Project Benchmark: Missouri Geographic Reference System SC-37.
Published Elevation = 631.23.

Site Benchmark #1: PK nail in asphalt shoulder along Highway DD.
Elev. = 554.04

Site Benchmark #2: PK nail in asphalt sidewalk along Caledonia Parkway South of Highway DD.
Elev. = 562.54

Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (i.e. Trenching, Blasting, etc.)

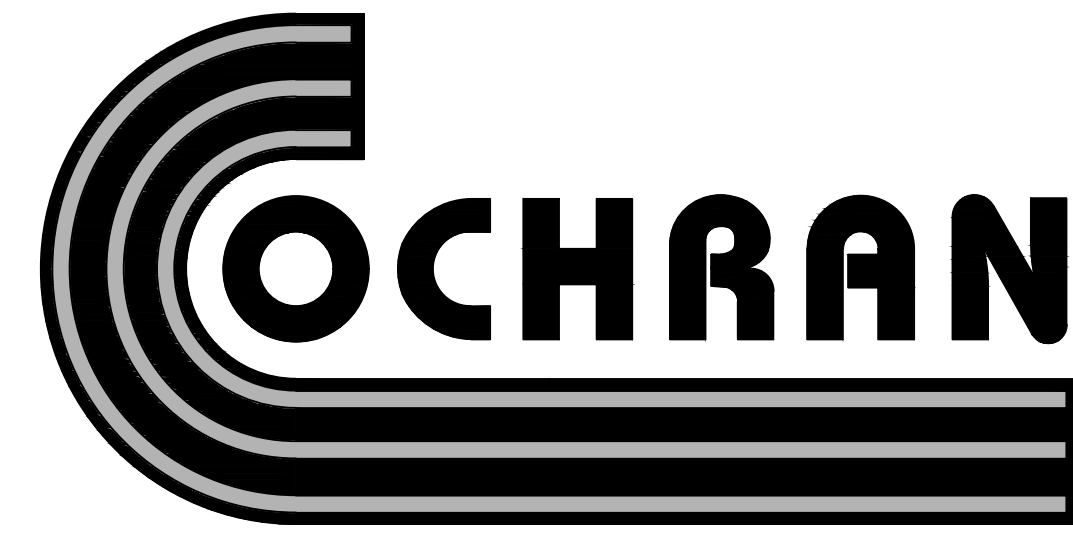
OWNER/DEVELOPER:
DD DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

CONTACT INFORMATION
OWNER / DEVELOPER
OWNER: DD LAND DEVELOPMENT, LLC
REPRESENTATIVE: WILLIAM ALLEN
ADDRESS: 10407 BAUR BLVD. SUITE B, ST. LOUIS, MO 63132
PHONE: 314-996-0300
STREETS/STORM SEWER
OWNER: CITY OF O'FALLON
REPRESENTATIVE: WADE MONTGOMERY
ADDRESS: 100 N. MAIN STREET O'FALLON, MO 63366
PHONE: 636-379-5567
WATER
OWNER: PUBLIC WATER SUPPLY DISTRICT #2
REPRESENTATIVE: CHUCK KRAKOSKY
ADDRESS: 100 WATER DRIVE O'FALLON, MO 63368
PHONE: 636-561-3737 EXT. 131
SANITARY SEWER
OWNER: DUCKETT CREEK
REPRESENTATIVE: MIKE MERKT
ADDRESS: 3550 HIGHWAY K, O'FALLON, MO 63368
PHONE: 636-441-1244
ELECTRIC
OWNER: CUIVRE RIVER ELECTRIC COOP.
REPRESENTATIVE: DAN SCHNEIDER
ADDRESS: 8757 HWY N, LAKE ST. LOUIS, MO
PHONE: 636-695-4741
GAS
OWNER: SPIRE
REPRESENTATIVE: RICHARD FROCK
ADDRESS: 1999 TRADE CENTER DR., EAST ST. PETERS, MO 63376
PHONE: 816-472-3489
TELEPHONE
OWNER: CENTURY LINK
REPRESENTATIVE: TIM HOWE
ADDRESS: 1151 CENTURYLINK DR., WENTZVILLE, MO, 63385
PHONE: 636-445-7055
TELEPHONE
OWNER: CHARTER COMMUNICATIONS
REPRESENTATIVE: LARRY RICHARDSON
ADDRESS: 101 NORTHWEST PLAZA DR. ST. ANN MO 63074
PHONE: 314-393-6295
SPECIAL NOTES :
FOR QUESTIONS OR CLARIFICATIONS CONTACT ELLIOTT REED AT 636-584-0540

FIRE DEPARTMENT
OWNER: WENTZVILLE FIRE DISTRICT
REPRESENTATIVE: CHRIS CUDDIHEE
ADDRESS: 209 WEST PEARCE BLVD. WENTZVILLE, MO 63385
PHONE: 636-332-9869
PHASE 1 RESIDENTIAL SOUTH OF DD: A TRACT OF LAND BEING PART OF LOTS 2 AND 3 OF THE JAMES BALDRIDGE ESTATE PARTITION IN U.S. SURVEY 297, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE 5TH P.M., CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WEST RIGHT OF WAY LINE OF POST ROAD 30' WIDE AND THE SOUTH LINE OF U.S. SURVEY 297; THENCE ALONG SAID SOUTH LINE S82°45'48"W 1402.17 FEET TO THE SOUTHEAST CORNER OF A TRACT OF LAND NOW OR FORMERLY CONVEYED TO MISSOURI DEPARTMENT OF CONSERVATION PER DEED RECORDED IN BOOK 2962 PAGE 1482; THENCE ALONG THE EAST LINE OF SAID MISSOURI DEPARTMENT OF CONSERVATION TRACT N27°36'45"W 871.18 FEET TO THE SOUTH RIGHT OF WAY LINE OF MISSOURI ROUTE DD; THENCE ALONG SAID SOUTH RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES; THENCE ALONG A CURVE DEFLECTING TO THE LEFT HAVING A RADIUS OF 1,678.76 FEET, AN ARC LENGTH OF 624.91 FEET, A CHORD COURSE OF N87°19'28"E 621.31 FEET; THENCE N59°39'37"E 38.85 FEET; THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE AND ALONG A CURVE DEFLECTING TO THE RIGHT HAVING A RADIUS OF 167.50 FEET, AN ARC LENGTH OF 236.45 FEET, A CHORD COURSE OF S82°55'00"E 217.30 FEET; THENCE ALONG A CURVE DEFLECTING TO THE LEFT HAVING A RADIUS OF 505.00 FEET, AN ARC LENGTH OF 686.07 FEET, A CHORD COURSE OF S81°23'48"E 643.51 FEET; THENCE N59°41'01"E 158.07 FEET TO A POINT ON THE WEST RIGHT OF WAY LINE OF THE SOUTH SERVICE ROAD; THENCE ALONG SAID WEST RIGHT OF WAY LINE THE FOLLOWING COURSES AND DISTANCES; THENCE ALONG A CURVE DEFLECTING TO THE RIGHT HAVING A RADIUS OF 874.93 FEET, AN ARC LENGTH OF 194.49 FEET, A CHORD COURSE OF S14°44'34"E 194.09 FEET; THENCE N81°37'31"E 65.00 FEET TO THE WEST RIGHT OF WAY LINE OF ABOVE MENTIONED POST ROAD; THENCE ALONG SAID WEST RIGHT OF WAY LINE S08°34'35"E 643.42 FEET TO THE POINT OF BEGINNING AND CONTAINING 30.00 ACRES OR 1,306,619.00 SQUARE FEET MORE OR LESS.
CITY COUNCIL CONDITIONS: JANUARY 9, 2020
1. Comply with City Code regarding Tree Preservation. The plan does not meet the required 20% tree preservation or account for tree mitigation of 15 per acre. There are discrepancies between the various numbers provided on the cover page and different exhibits. Please review and correct the total tree acreage, the total residential area acreage, and ensure that the right-of-way has been included in the tree preservation calculation, with the exception of Caledonia Pkwy.
2. Phase 2 of the residential development shall be designed so that a minimum of 20 percent of the existing trees in that phase area are preserved or all required mitigation trees can be replanted per the Tree Preservation Code.
3. Ingress/Egress points not within the proposed Phase 1 are not part of this review.
4. Approval from the Army Corps of Engineers, MoDNR, and U.S. Fish and Wildlife shall be required with Construction Plans.
5. The clubhouse and pool amenity will require a separate Final Plan submittal.
6. Connect the mailbox kiosk near the 'C' lots to the sidewalk.
7. Provide approval regarding the removal of the pipeline and easement.
8. Trees from future residential phases shall not be removed until a Final Plan has been approved for the future phases.
9. Work with staff on the pedestrian crossings throughout the development.
10. Prior to the issuance of building permits for 40% of the total units, all recreational amenities shall be open for use.
11. Provide the ten (10) smallest lots within Phase 1.
12. Where appropriate, this plan should show how the developer will comply with the requirement to stub out utility service to all commercial lots.
13. The portion of the trail along Highway DD on the applicant's property shall be constructed with this phase.
14. The mitigation trees within the rear yards of the A lots adjacent to Highway DD shall be protected by an easement.
15. All water lines, sanitary and storm sewers are to cross the pavement perpendicular to the centerline, 15 degree offsets may be considered.
16. Pipe runs and connections under the street shall be at the minimum needed.
17. Revisions to the landscaping plan will be required to address concerns that the mitigation trees as shown to be replanted will meet City Code and be healthy.
18. Provide an interim roadside ditch on Dalriada & Longhaven for the intermediate gravel shoulder.
19. Provide islands in the 42' radius cul-de-sacs.
20. Outlets for areas where storm water is by passing a detention basin shall be mitigated so as not to erode the creek bank offsite or on site by controlling the velocity of the 100 year storm discharge.
21. Trail around the basins and recreational areas and to O'Day Park are to be 6 foot wide.
22. Stormwater cleansing will be required per City Code.
23. Signs shall be reviewed through a separate review process.
24. Sidewalks not within right-of-way are to be private.
25. The average density of development within the "PUD" shall remain the same as would be permitted if the area were to be developed conventionally. Future phases will be required to provide the density calculation to confirm compliance with the maximum density allowed for the entire Planned Unit Development.
26. Fire hydrants are to be a minimum of 18' behind the curb.
27. All lots are to have easements per City Code.
28. All right of way radii at the intersections are to be 25'.
29. Due to the channelized and un-detained flow for the lots adjacent to O'Day park, please show the top of the creek bank for the connecting creek in O'Day park.
* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows: October 1 through May 31 7:00 A.M. To 7:00 P.M. Monday Through Sunday June 1 Through September 30 6:00 A.M. To 8:00 P.M. Monday Through Friday 7:00 A.M. To 8:00 P.M. Saturday and Sunday
* The area of this phase of development is 30.00 acres South of Highway DD 34.99 acres North of Highway DD The area of land disturbance is 37.00 acres South of Highway DD 38.55 acres North of Highway DD Number of proposed lots is 68 lots South of Highway DD 96 lots North of Highway DD Building setback information. Front 20' Side 6' Rear 15'
* The estimated Phase I sanitary flow in gallons per day is 164 homes * 370 gal/home/day = 60,680 gallons
* Landscape Requirements South DD Phase 1 residential South of Hwy. DD 68 single family lots - 1 tree per lot = 68 trees Phase 1 residential South of Hwy. DD 12 corner lots X 1 tree per lot = 12 trees Highway frontage on DD 800 L.F./1 tree per 50 ft. = 16 trees Tree preservation 30.00 acres X 15 trees/acre = 450 trees Phase 1 collector roads tree preservation 1.42 acres X 15 trees/acre = 22 trees Total Phase 1 residential trees required South of DD = 569 trees Total trees provided: 569 trees
VICINITY MAP NO SCALE

P+Z No. 19-005174
Approval Date: Jan. 10, 2020
Permit No. RSP20-000001

PROJECT NO. 17-6821



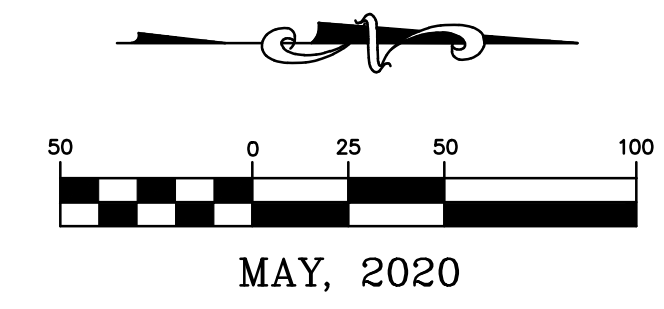
- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

530A E. INDEPENDENCE DRIVE, UNION, MISSOURI 63084
TELEPHONE (636) 584-0540
FAX (636) 584-0512
E-MAIL mail@cochraneng.com

MAY, 2020
REVISED: JUNE 18, 2020



STREET LIGHTING PLAN SOUTH (AS-BUILT)



EXISTING		PROPOSED	
	PROPERTY LINE		PROPERTY LINE
	RIGHT-OF-WAY		RIGHT-OF-WAY
	LOT LINE		LOT LINE
	EASEMENT		EASEMENT
	UNDERGROUND ELECTRIC		UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE		UNDERGROUND TELEPHONE
	UNDERGROUND FIBER OPTIC		UNDERGROUND FIBER OPTIC
	SANITARY SEWER		SANITARY SEWER
	SANITARY MANHOLE		SANITARY MANHOLE
	STORM SEWER		STORM SEWER
	INLET		INLET
	GRATED INLET		GRATED INLET
	FLARED END SECTIONS		FLARED END SECTIONS
	GAS LINE		GAS LINE
	WATER LINE		WATER LINE
	FIRE HYDRANTS		FIRE HYDRANTS
	WATER VALVE		WATER VALVE
	LIGHT		LIGHT
	ASPHALT PAVEMENT		ASPHALT PAVEMENT

CUIVRE RIVER WILL INSTALL ALL CONDUIT, PRIMARY & SECONDARY WIRING AND STREET LIGHTS.

636-594-0540 (tel.)
636-594-0512 (fax)
mail@ochran.com

CHORAN

- Civil Engineering
- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-465-8772 for utility location information.

All OSHA rules & regulations and all applicable local codes and construction requirements shall be strictly followed (i.e. trenching, blasting, etc.)

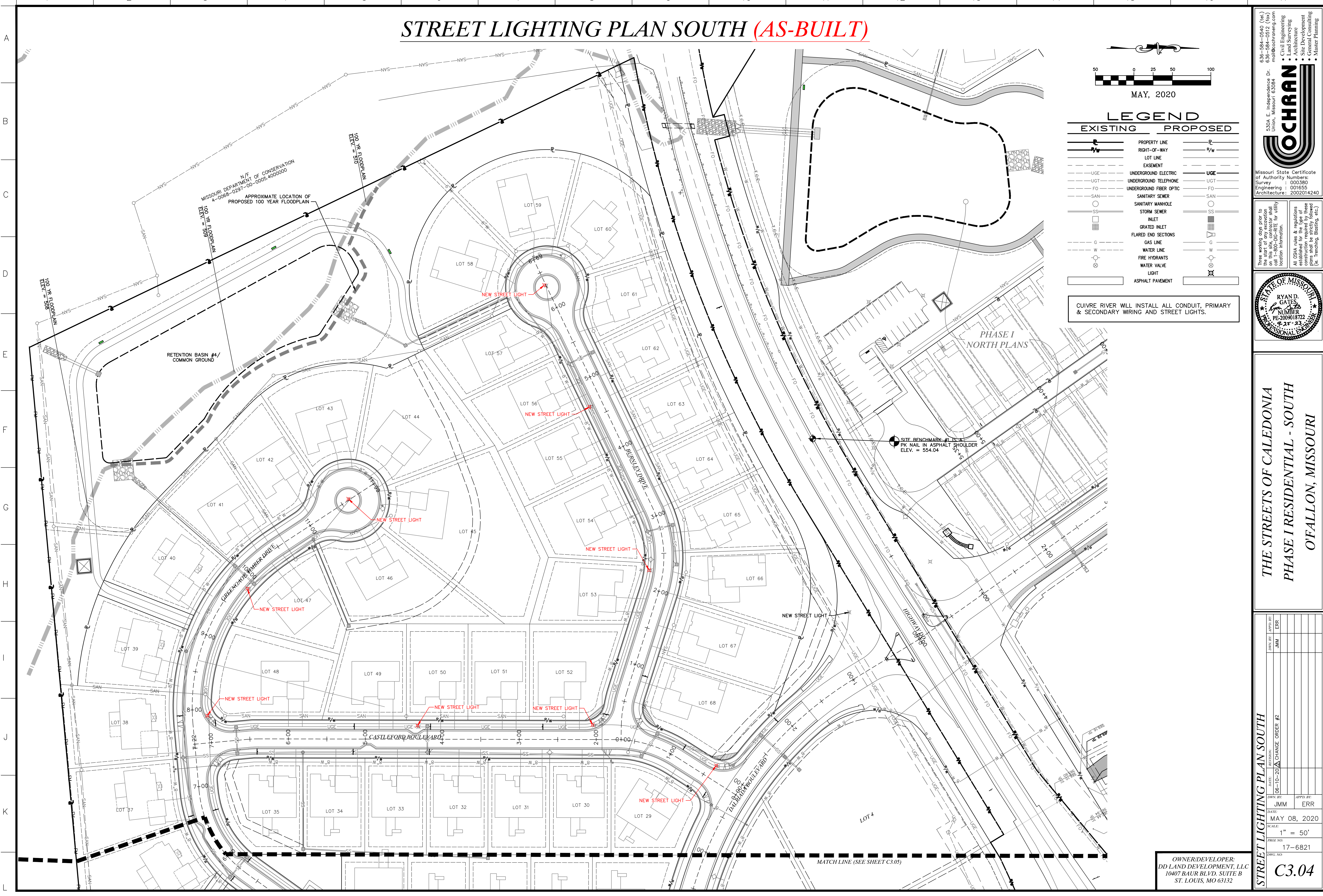
STATE OF MISSOURI
RYAN GATES
REGISTERED PROFESSIONAL ENGINEER
NUMBER PE-2000018722
EXPIRES 12-31-23

THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

DATE: 08-10-20	REVISION: CHANGE ORDER #2
DATE: MAY 08, 2020	SCALE: 1" = 50'
PROJ. NO: 17-6821	SHEET NO: C3.04

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

Drawing name: F:\17-6821 - 860 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\05_Street Lighting Plan South.dwg Tab: STREET LIGHTING PLAN SOUTH - Plotted on: Sep 25, 2023 - 1:56pm Plotted by: Jmeyer

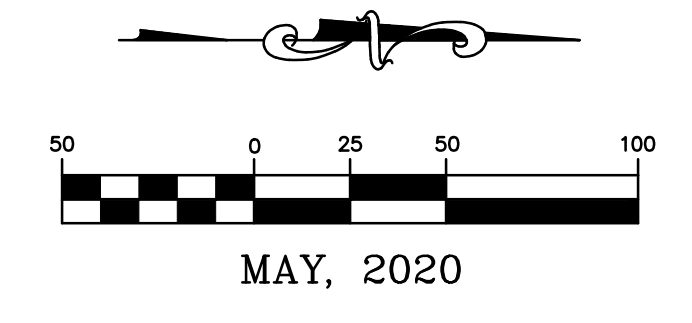


MATCH LINE (SEE SHEET C3.05)

WATER PLAN SOUTH

AS-BUILT 12-17-20

"O" IN OPEN WAS SHOT FOR FIRE HYDRANT AS-BUILTS



MAY, 2020

LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY
	LOT LINE
	EASEMENT
	BUILDING SETBACK
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBER OPTIC
	SANITARY SEWER
	SANITARY MANHOLE
	STORM SEWER
	INLET
	GRATED INLET
	FLARED END SECTIONS
	GAS LINE
	WATER LINE
	FIRE HYDRANTS
	WATER VALVE
	FENCE
	LIGHT
	ASPHALT PAVEMENT

- NOTES:**
1. WATER DISTRICT REQUIRES A MINIMUM OF 42" AND A MAXIMUM OF 72" OF COVER OVER IT'S WATER MAINS.
 2. ALL STREET CROSSINGS SHALL HAVE FULL DEPTH TRENCH COMPACTED GRANULAR BACKFILL.
 3. ALL VERTICAL BENDS TO INCLUDE RETAINER GLANDS.
 4. ALL METER PITS MUST BE INSTALLED IN GREEN SPACE PER PWS2 2 SPECIFICATIONS.
 5. ALL OFF-SITE WATER SYSTEM WORK MUST BE RESTORED WITH SOD UNLESS OTHER CONSIDERATION IS REQUESTED BY THE OFF-SITE PROPERTY OWNER.
 6. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. COPIES OF ALL REQUIRED PERMITS SHALL BE PROVIDED TO THE WATER DISTRICT PRIOR TO CONSTRUCTION.
 7. WATER EXTENSION AGREEMENTS WILL BE REQUIRED FOR EACH PHASE BEFORE CONSTRUCTION CAN BEGIN.
 8. ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PWS2/2 OF ST. CHARLES COUNTY GUIDELINES AND SPECIFICATIONS AS APPROVED BY MODNR REVIEW NO. 6050805-13

OCHRAN
Engineering & Architecture, Inc.

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002104240

Three working days prior to the start of any excavation call 1-800-UGC-RTTE for utility location information.

All OSHA rules & regulations in effect shall be strictly followed. Construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)

STATE OF MISSOURI

RYAN GATES
NUMBER
PE-200018122
2-25-23

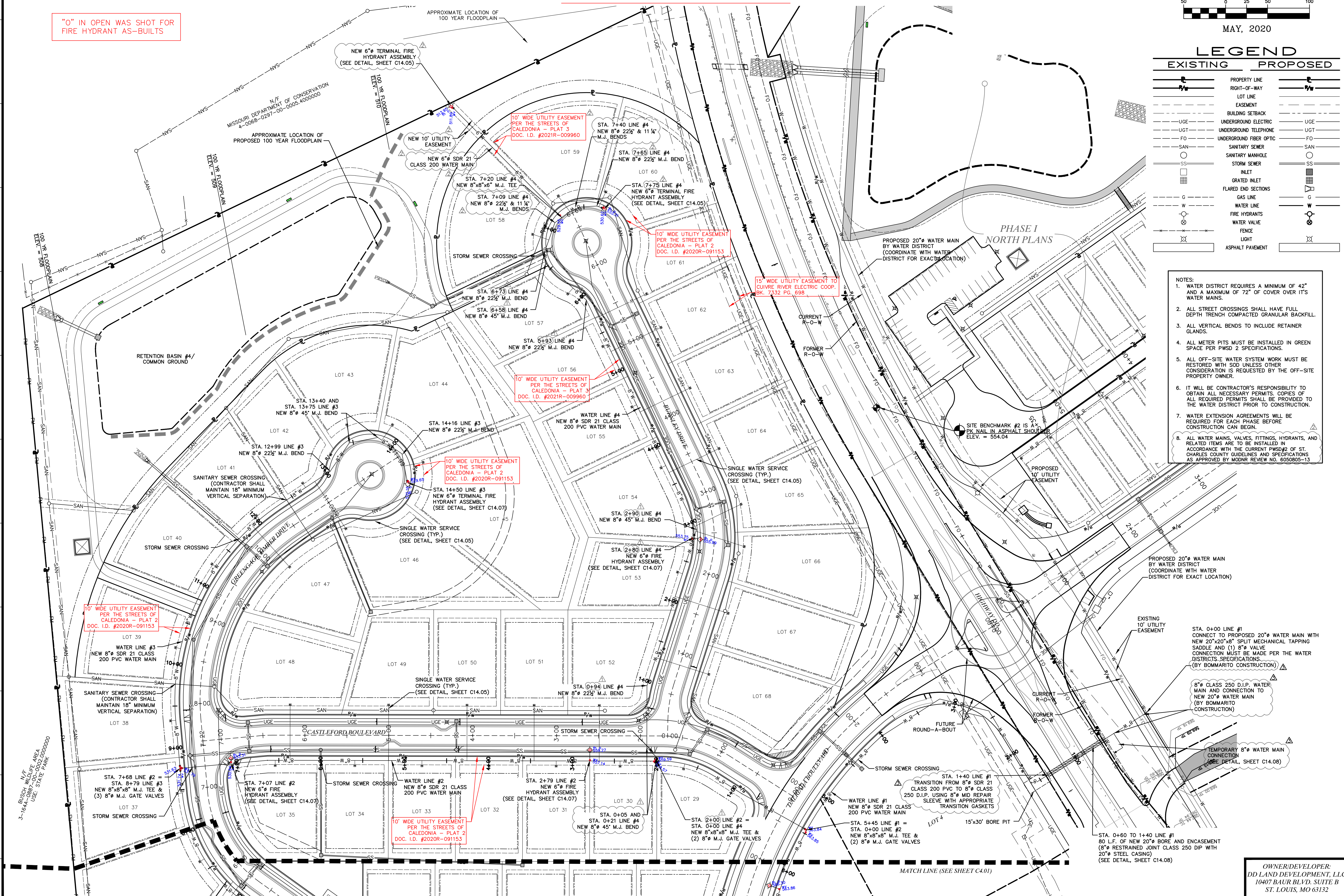
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

DATE	APP'D BY	APP'D BY	DATE	APP'D BY
05-22-20	ERR	ERR	05-22-20	ERR
08-10-20	ERR	ERR	08-10-20	ERR
11-10-20	ERR	ERR	11-10-20	ERR
DATE: JMM		DATE: ERR		
DATE: MAY 08, 2020		DATE: ERR		
SCALE: 1" = 50'		SCALE: ERR		
PROJ. NO: 17-6821		PROJ. NO: ERR		
DATE: 17-6821		DATE: ERR		

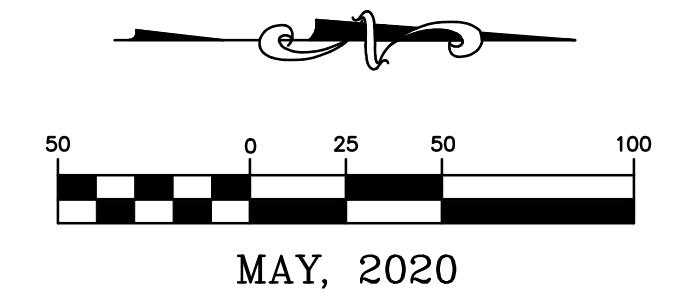
OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

C4.0



Drawing name: F:\17-6821 - 860 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\07_Water Plan South.dwg Tab: WATER PLAN SOUTH Plotted on: Sep 25, 2023 at 1:57pm Plotted by: jreyer

GRADING PLAN SOUTH (AS-BUILT)

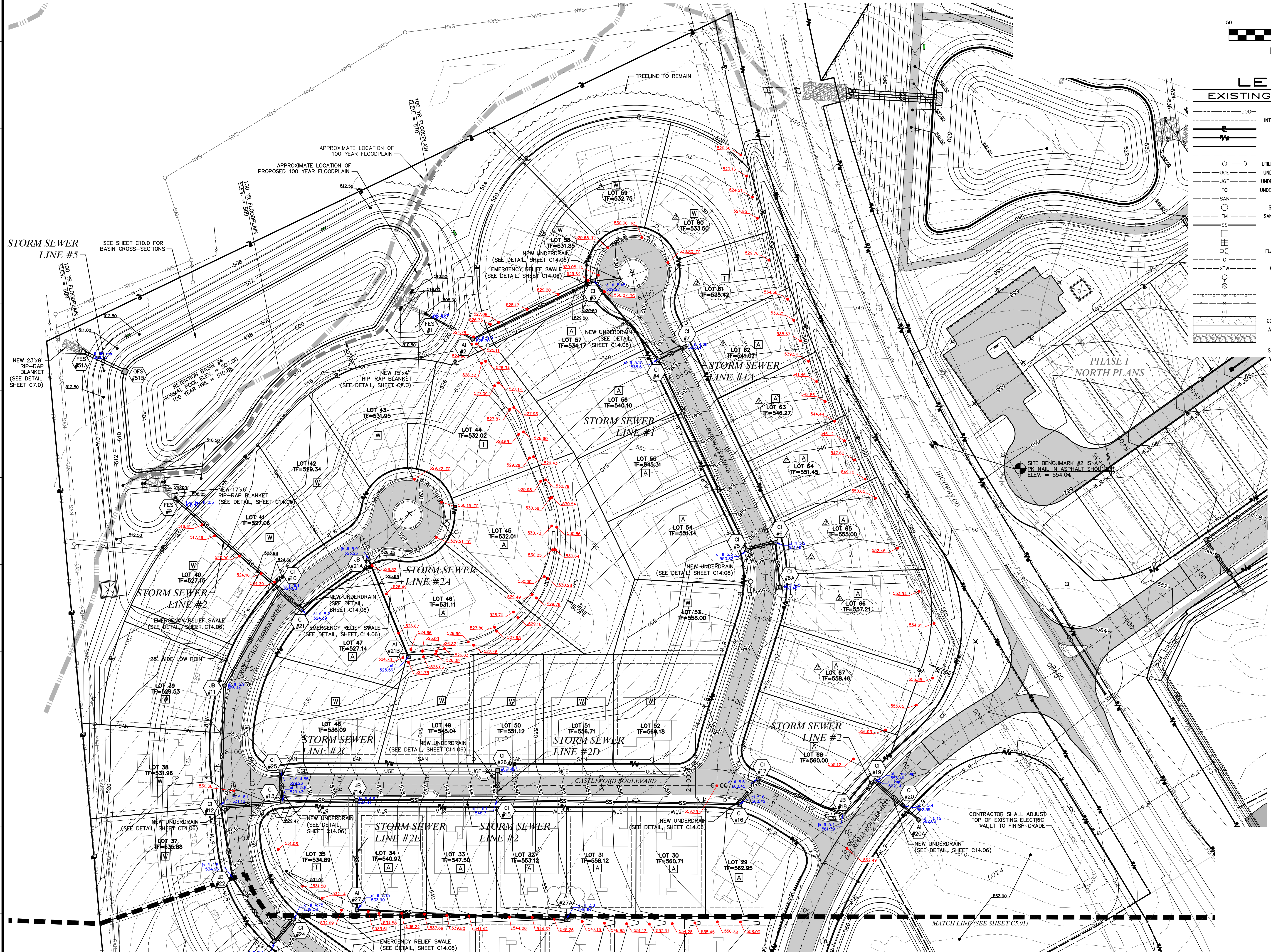


MAY, 2020

EXISTING		PROPOSED	
	INDEX CONTOUR		500
	INTERMEDIATE CONTOUR		498
	PROPERTY LINE		
	RIGHT-OF-WAY		
	LOT LINE		
	EASEMENT		
	UTILITY POLE / GUY WIRE		
	UNDERGROUND ELECTRIC		UGE
	UNDERGROUND TELEPHONE		
	UNDERGROUND FIBER OPTIC		
	SANITARY SEWER		SAN
	SANITARY MANHOLE		
	SANITARY FORCE MAIN		SS
	STORM SEWER		SS
	INLET		
	GRATED INLET		
	FLARED END SECTIONS		
	GAS LINE		G
	WATER LINE (SIZE)		X"W
	FIRE HYDRANTS		
	WATER VALVE		
	GUARDRAIL		
	FENCE		
	LIGHT		
	CONCRETE PAVEMENT		
	ASPHALT PAVEMENT		
	RIP-RAP		
	STANDARD BASEMENT		A
	WALKOUT BASEMENT		W
	TRANSITION LOT		T

THE RETENTION BASIN MUST BE A MINIMUM OF 10' DEEP AS MEASURED FROM THE LOWEST POINT OF THE BASIN TO NORMAL POOL.

PEDESTRIAN WALKWAYS WILL BE ADA COMPLIANT



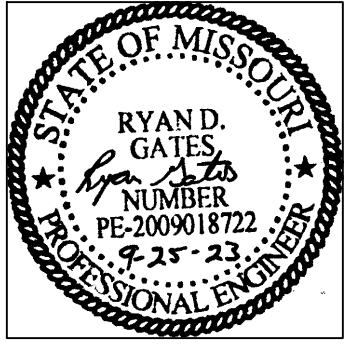
636-594-0540 (tel.)
636-594-0512 (fax)
mail@ochran.com
530A E. Independence Dr.
Union, Missouri 63084

CHHRAN
Civil Engineering
Land Surveying
Architecture
Site Development
General Consulting
Master Planning

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002104240

Three working days prior to the start of any excavation call 1-800-368-3872 for utility location information.

All OSHA rules & regulations construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.).



THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

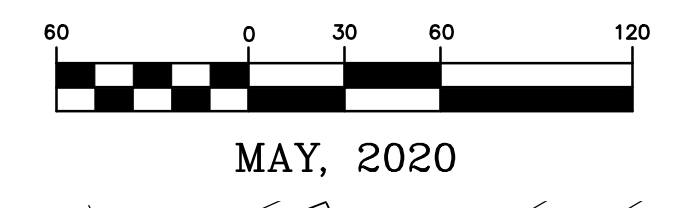
DATE	APP'D BY	DATE	APP'D BY
05-22-20	ERR	05-22-20	ERR
06-10-20	ERR	06-10-20	ERR
08-08-20	JMM	08-08-20	ERR

DATE: MAY 08, 2020
SCALE: 1" = 50'
PROJ. NO.: 17-6821
DRAWING NO.: C5.0

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

Drawing name: F:\17-6821 - 860 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\GRD_Grading Plan South.dwg Tab: GRADING PLAN SOUTH Plotted on: Sep 25, 2023 - 2:04pm Plotted by: jmeier

STORM SEWER PLAN OVERVIEW SOUTH (AS-BUILT)



MAY, 2020

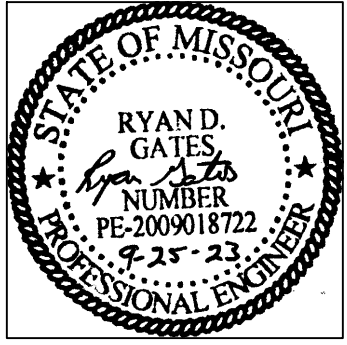
END OF PHASE I
RESIDENTIAL STORM
SEWER @ JB #35

STORM SEWER LINE
(SEE CALEDONIA PLANS
PREPARED BY COCHRAN)

636-594-0540 (tel.)
636-594-0512 (fax)
mailed@cochran.com
630A E. Independence Dr.
Union, Missouri 63084

COCHRAN
Civil Engineering
Land Surveying
Architecture
Site Development
General Consulting
Master Planning

Missouri State Certificate
of Authority Numbers:
Survey: 000380
Engineering: 016555
Architecture: 2002104240



THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

STORM SEWER PLAN OVERVIEW SOUTH

DATE	BY	REVISION
08-10-20	JMM	CHANGE ORDER #2

DATE	BY	REVISION
MAY 08, 2020	JMM	ERR

SCALE: 1" = 60'

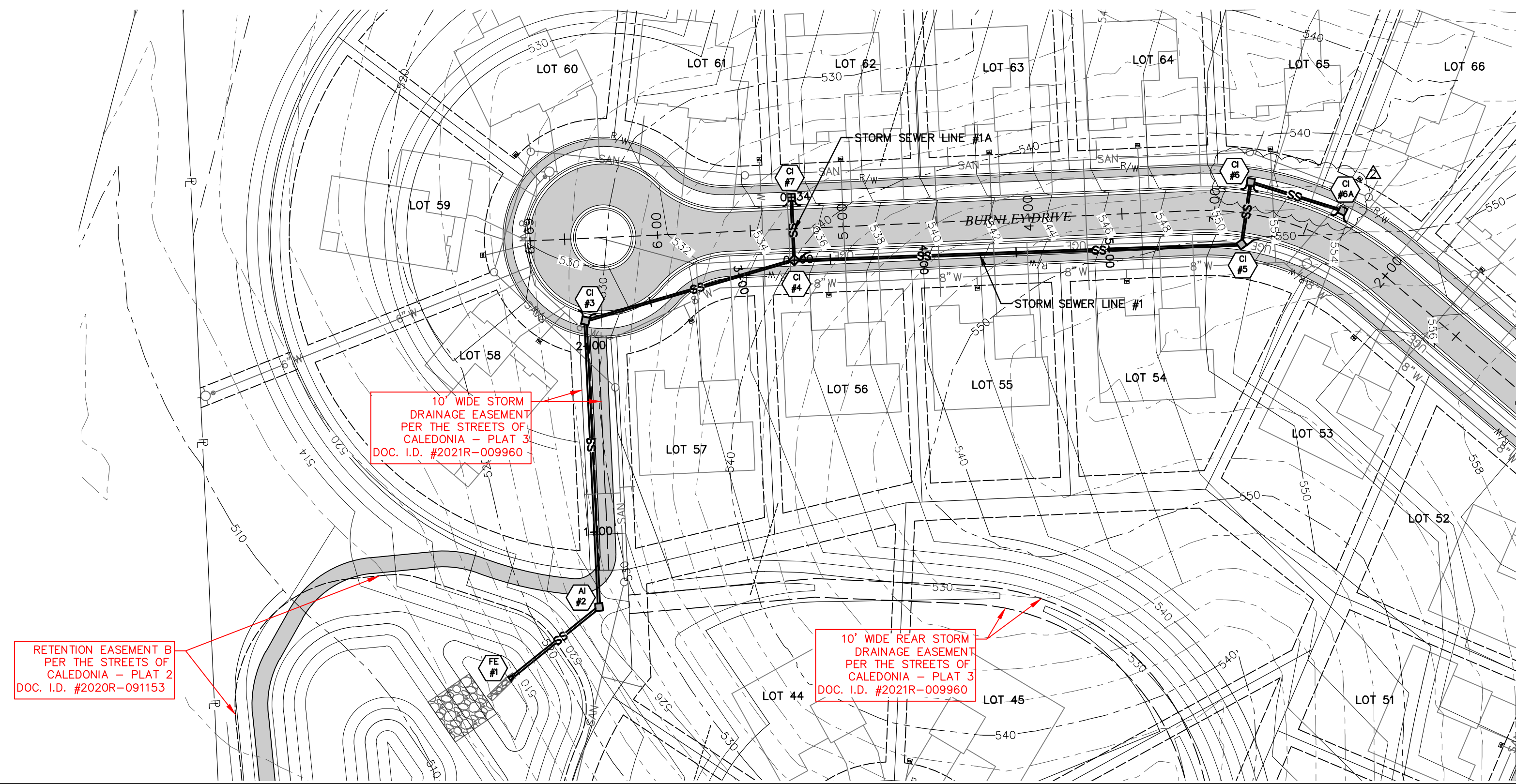
PROJ. NO.: 17-6821

DWG. NO.: C9.0

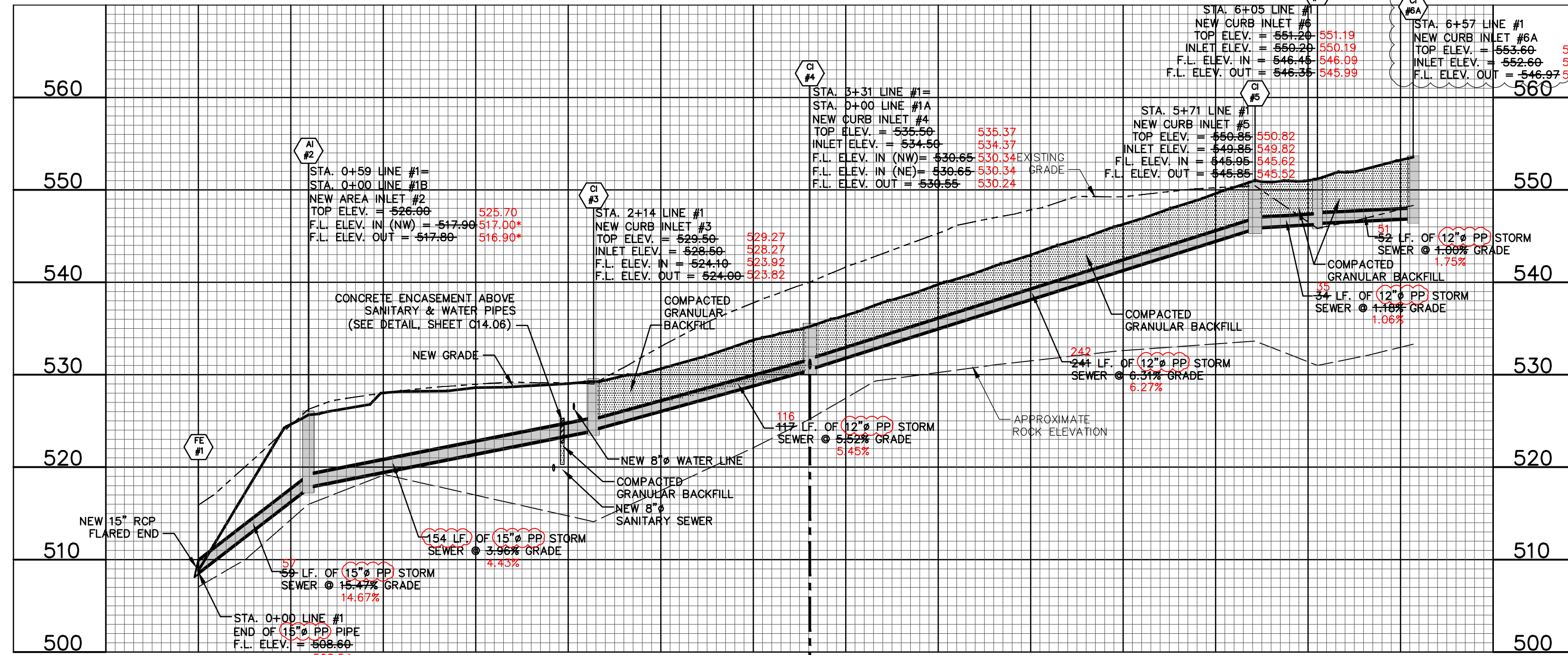
OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

Drawing name: F:\17-6821 - 860 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\16_Storm Sewer Plan Overview South.dwg Tab: STORM OVERVIEW PLAN SOUTH Plotted on: Nov 03, 2023 - 8:37am Plotted by: j_meyer

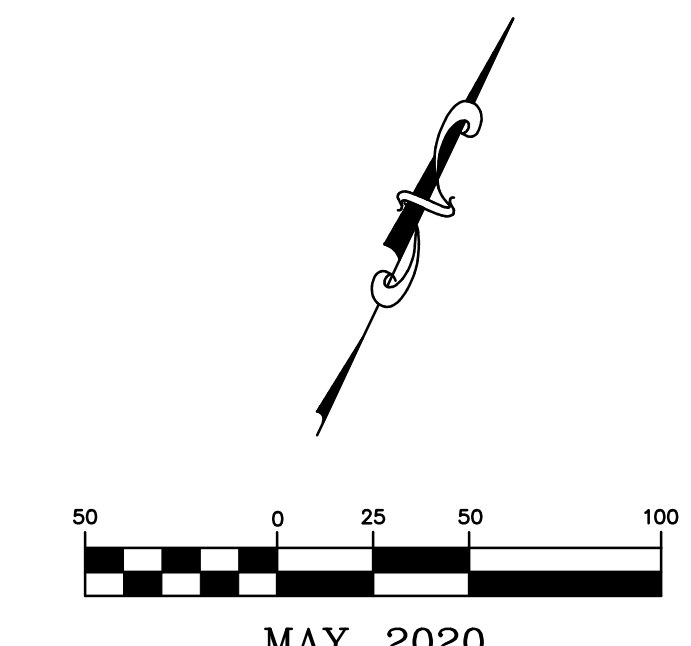
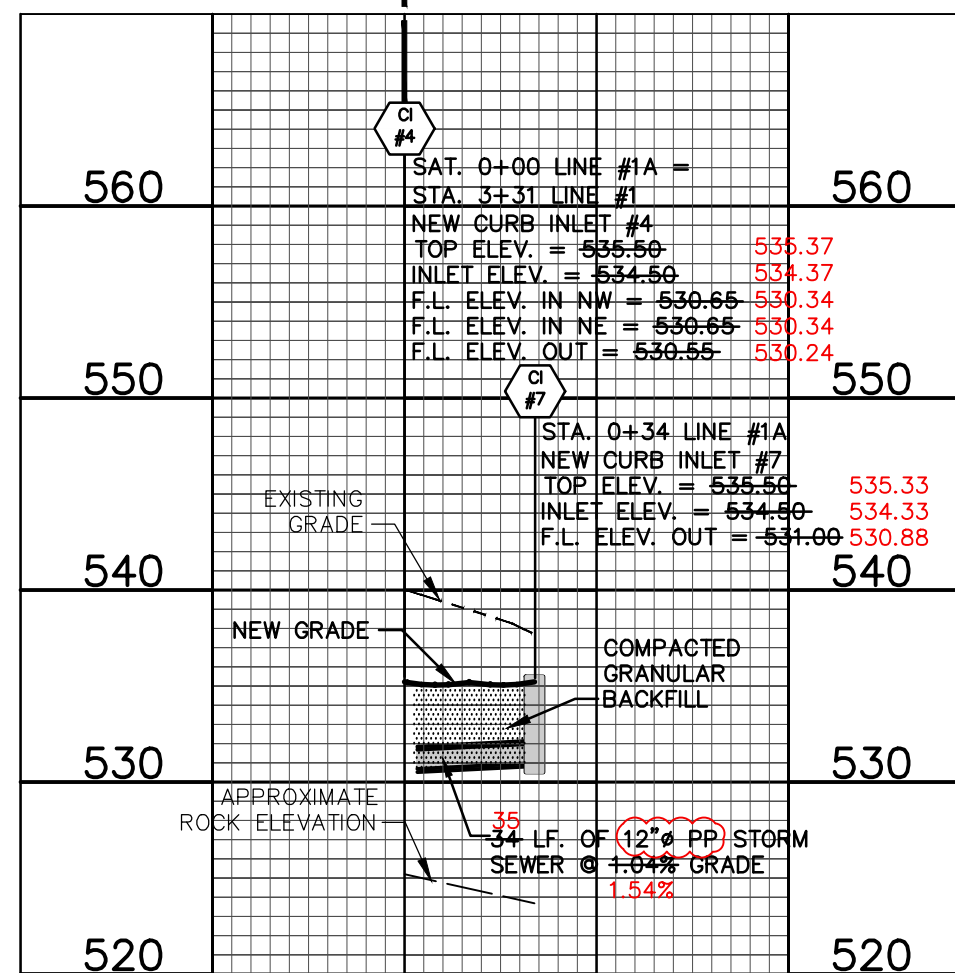
STORM SEWER PLAN & PROFILE LINE #1 & 1A (AS-BUILT)



LINE #1



LINE #1A



LEGEND

EXISTING	PROPOSED
500	500
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINE	LOT LINE
EASEMENT	EASEMENT
AE	AERIAL ELECTRIC
UTILITY POLE / GUY WIRE	UTILITY POLE / GUY WIRE
UGE	UNDERGROUND ELECTRIC
CATV	UNDERGROUND CABLE TV
UGT	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
SAN	SANITARY SEWER
FM	SANITARY MANHOLE
SS	SANITARY FORCE MAIN
SS	STORM SEWER
INLET	INLET
GRATED INLET	GRATED INLET
FLARED END SECTIONS	FLARED END SECTIONS
GAS LINE	GAS LINE
GAS VALVE	GAS VALVE
GAS METER	GAS METER
WATER LINE (SIZE)	WATER LINE (SIZE)
FIRE HYDRANTS	FIRE HYDRANTS
WATER VALVE	WATER VALVE
WATER METER	WATER METER
GUARDRAIL	GUARDRAIL
TREE	TREE
FENCE	FENCE
LIGHT	LIGHT
CONCRETE PAVEMENT	CONCRETE PAVEMENT

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS OTHERWISE NOTED

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

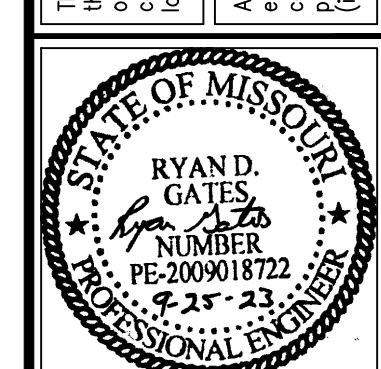
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636-584-0512 (fax)
mail@ochran.com

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- General Consulting
- Master Planning

530A E. Independence Dr.
Union, Missouri 63084

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002014240



THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

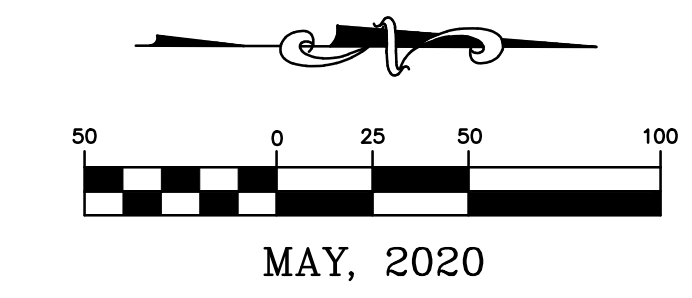
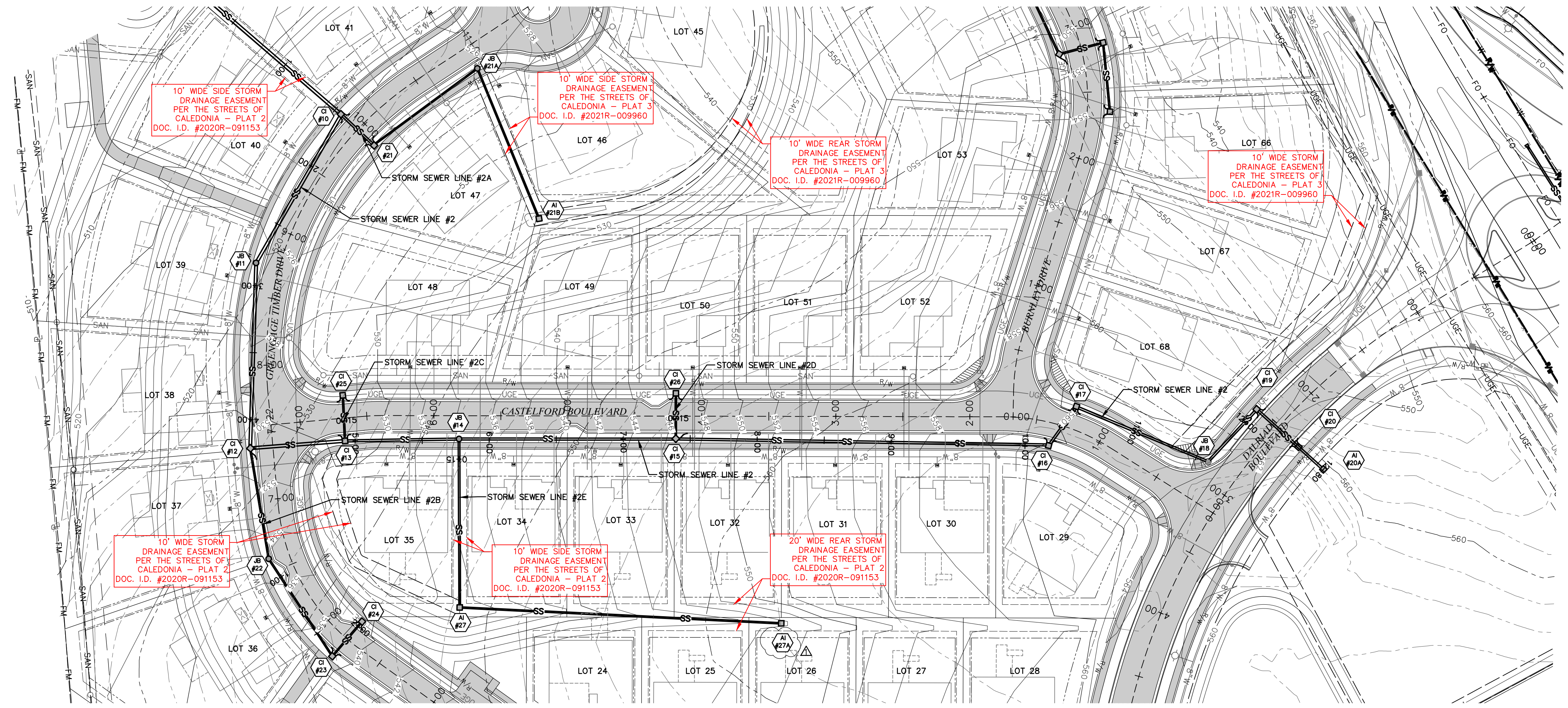
DATE	BY	APP'D BY	REVISION
08-10-20	AMM	ERR	CHANGE ORDER #2
	BAB	ERR	

DATE: MAY 08, 2020
HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO: 17-6821
DWG. NO: C9.01

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 - South\17_Storm Sewer Plan and Profile Lines #1 - South.dwg LAYOUT TAB: STORM LINE #1 1A 1B-SOUTH PLOTTED ON: Nov 03, 2023 - 8:53am PLOTTED BY: jmeier

STORM SEWER PLAN & PROFILE LINES #2A, 2B, & 2E (AS-BUILT)



MAY, 2020

LEGEND

EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINE	LOT LINE
EASEMENT	EASEMENT
AERIAL ELECTRIC	AERIAL ELECTRIC
UTILITY POLE / GUY WIRE	UTILITY POLE / GUY WIRE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND CABLE TV	UNDERGROUND CABLE TV
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY FORCE MAIN	SANITARY FORCE MAIN
STORM SEWER	STORM SEWER
INLET	INLET
GRATED INLET	GRATED INLET
FLARED END SECTIONS	FLARED END SECTIONS
GAS LINE	GAS LINE
GAS VALVE	GAS VALVE
GAS METER	GAS METER
WATER LINE (SIZE)	WATER LINE (SIZE)
FIRE HYDRANTS	FIRE HYDRANTS
WATER VALVE	WATER VALVE
WATER METER	WATER METER
GUARDRAIL	GUARDRAIL
TREE	TREE
FENCE	FENCE
LIGHT	LIGHT
CONCRETE PAVEMENT	CONCRETE PAVEMENT

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

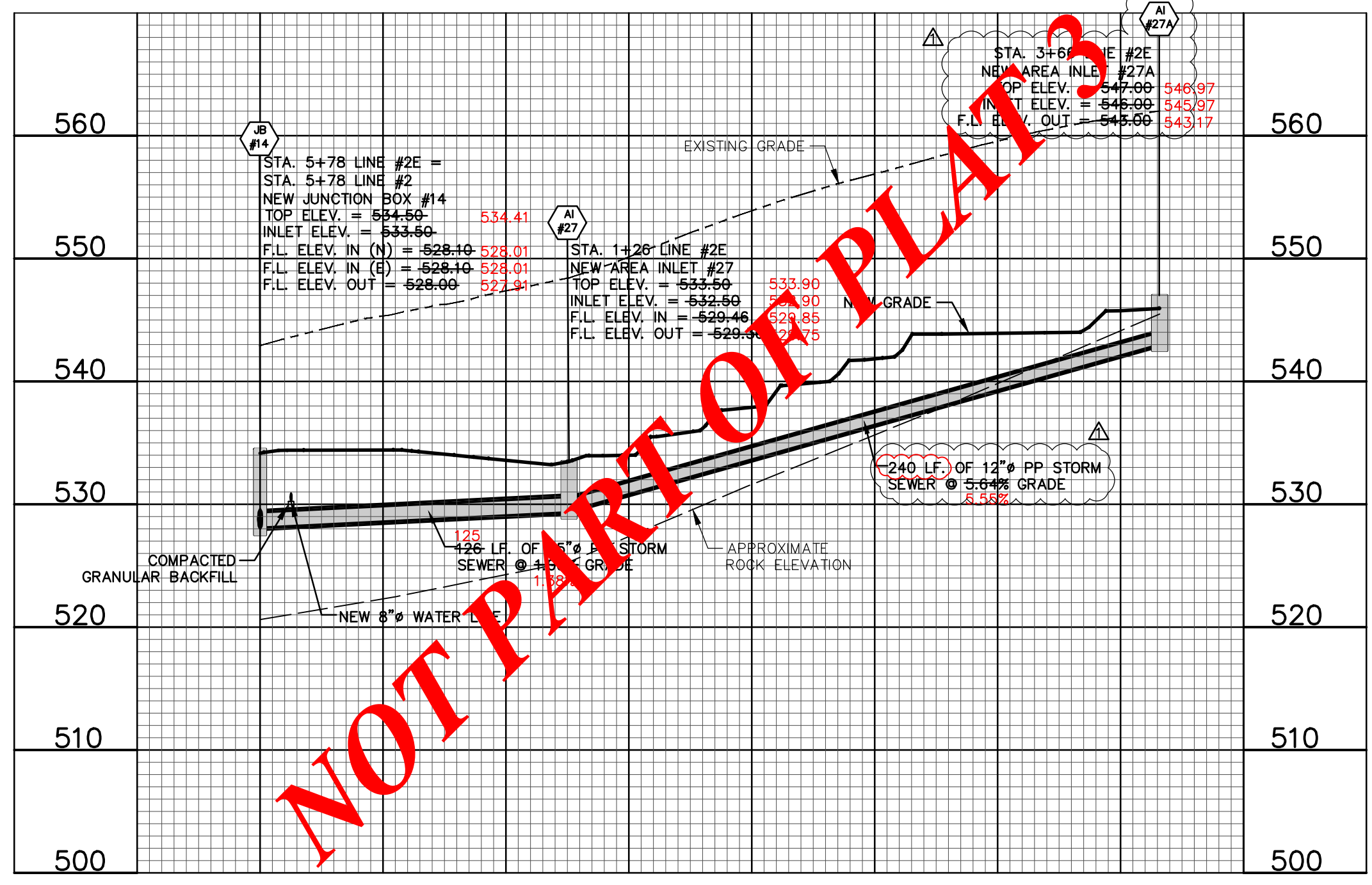
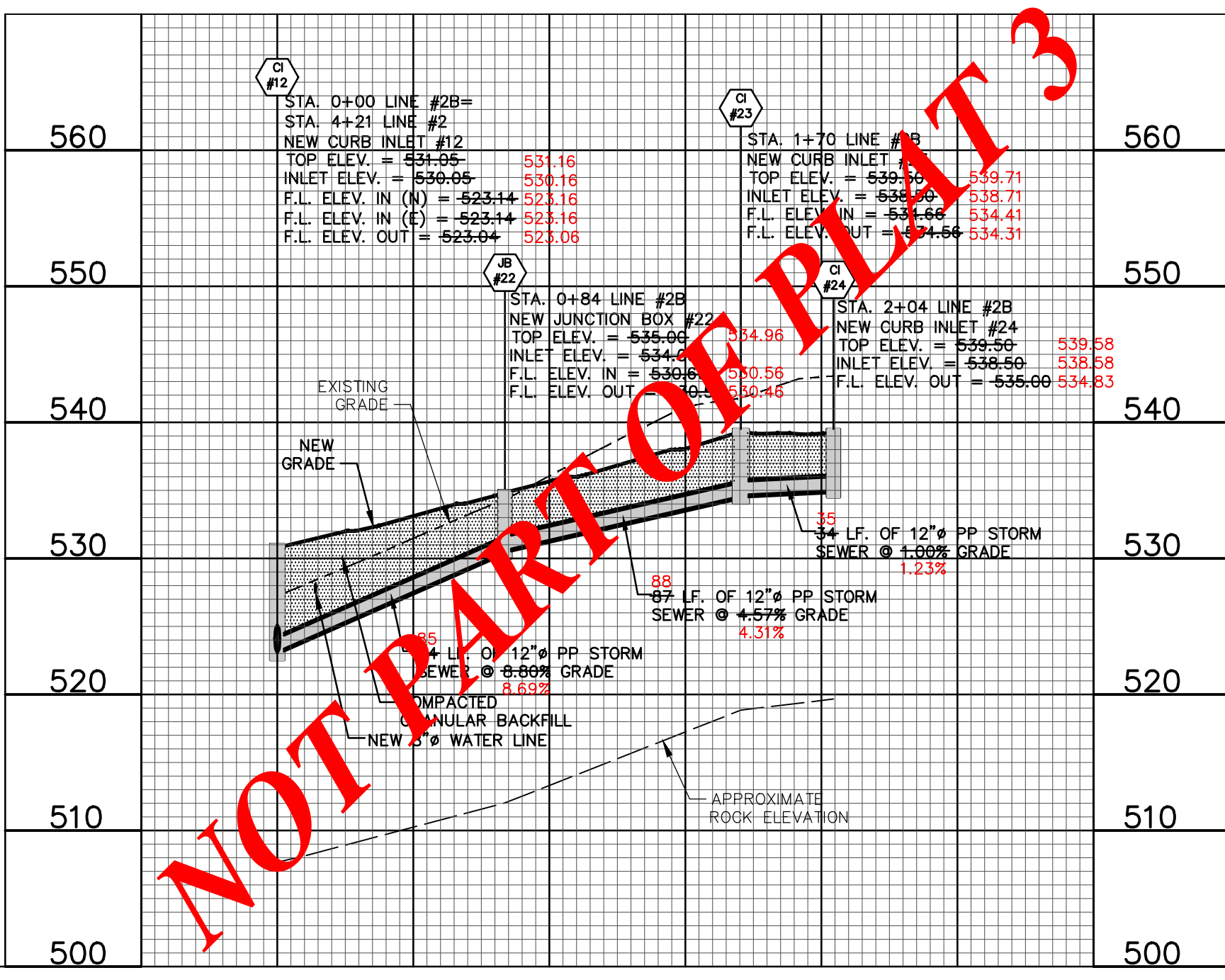
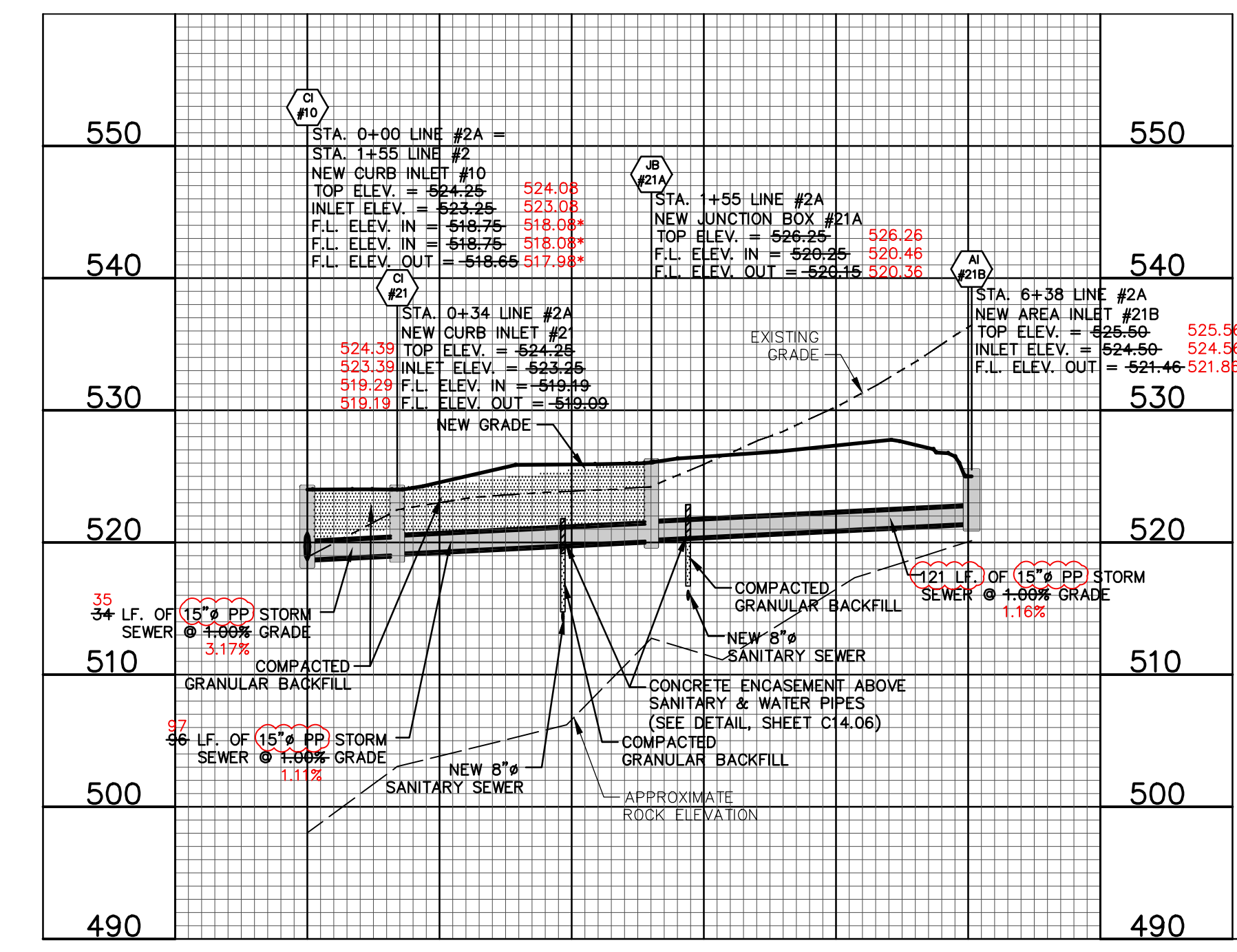
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS OTHERWISE NOTED

LINE #2A (PLAT 3)

LINE #2B

LINE #2E

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.



NOT PART OF PLAT 3

NOT PART OF PLAT 3

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Site Development
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Master Planning

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002104240

THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

STORM SEWER PLAN & PROFILE LINES #2A, 2B, & 2E

DATE: 05-22-2020 CHANGE ORDER #1

DATE: MAY 08, 2020

SCALE: 1"=50'

SCALE: 1"=10'

PROJ. NO: 17-6821

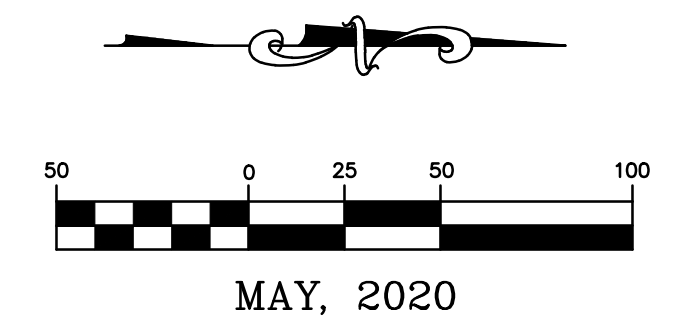
DATE: 05-22-2020

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

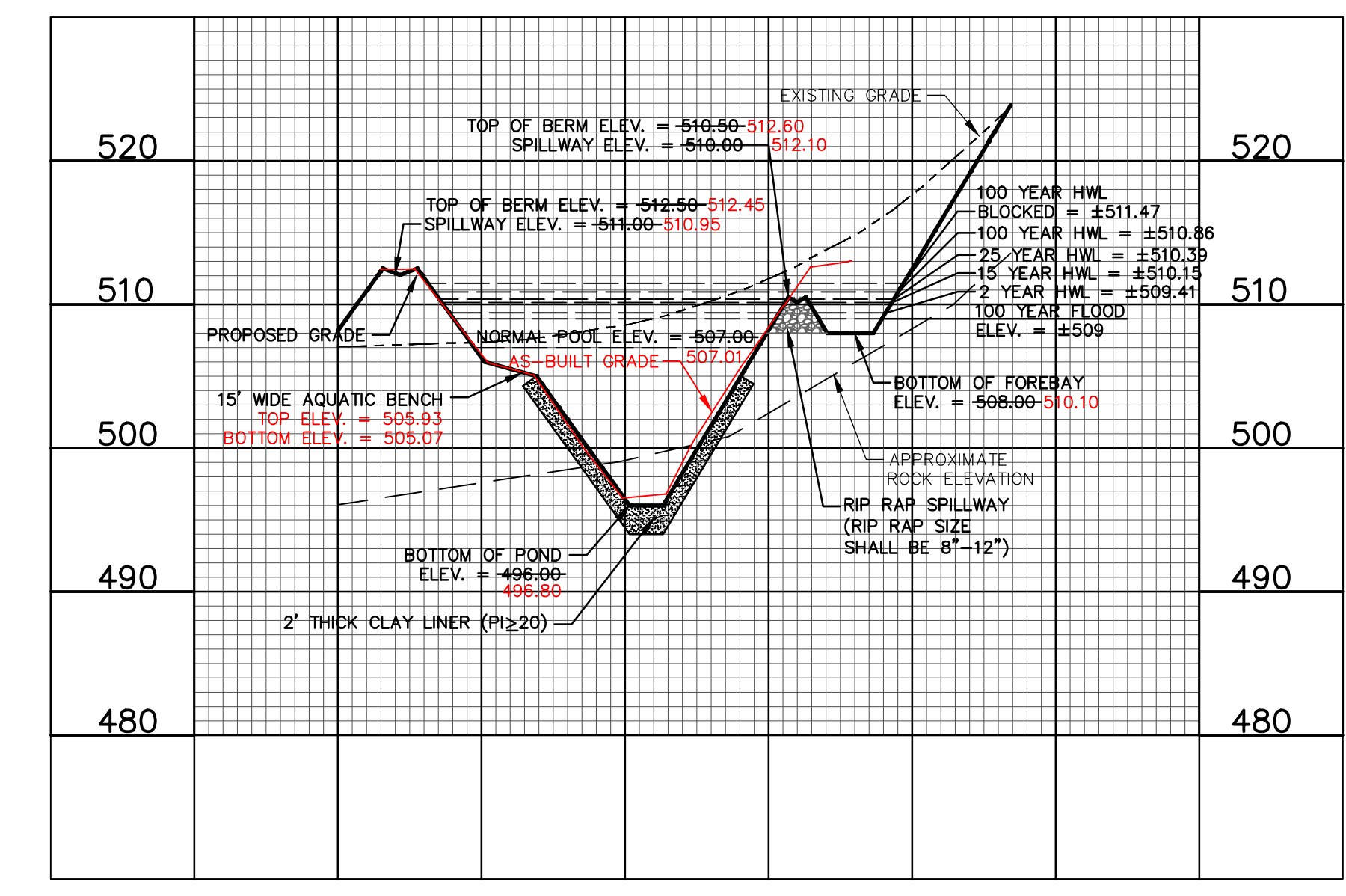
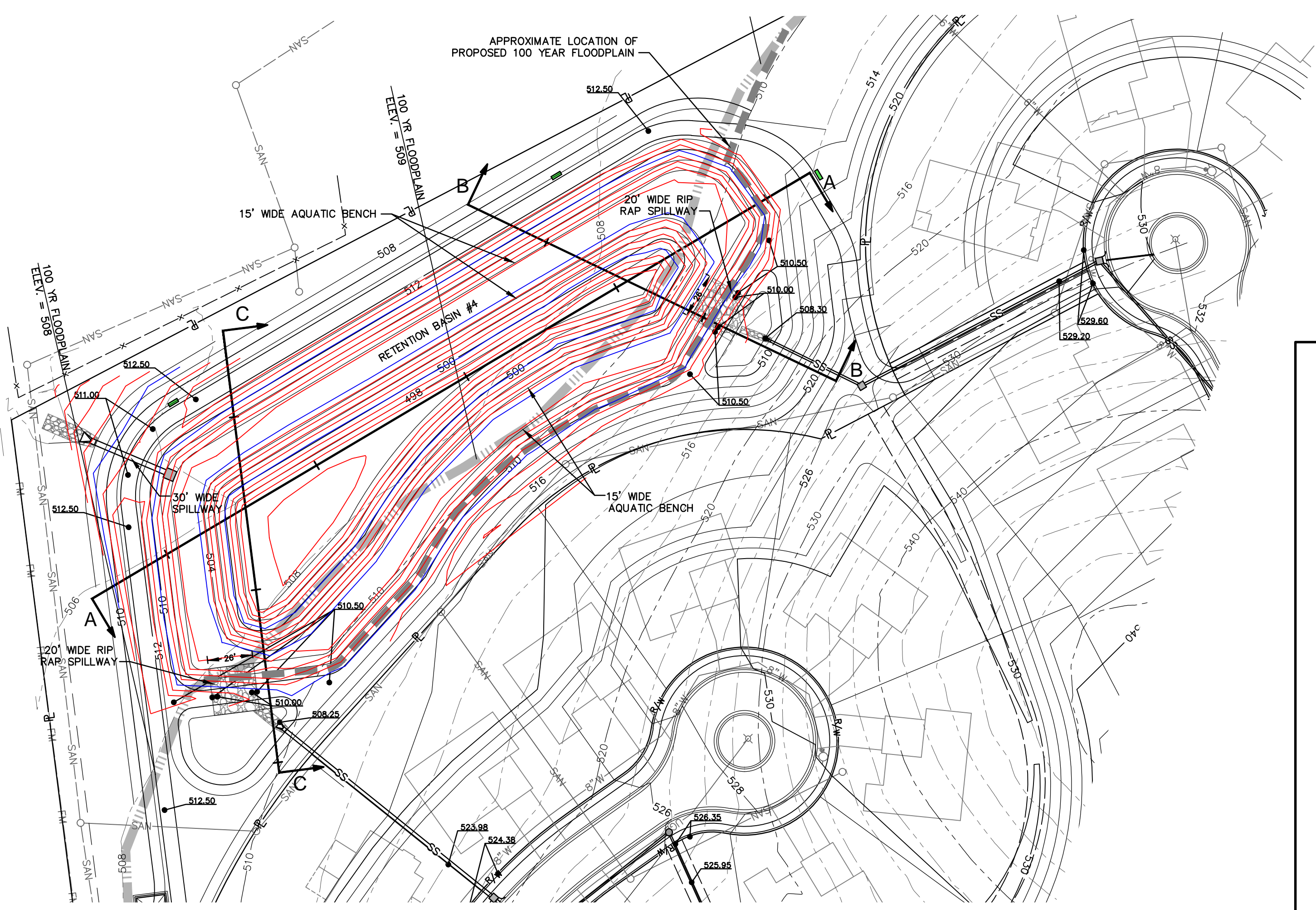
C9.03

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\19_Storm Sewer Plan and Profile Lines #2A, 2B, 2C, & 2E - South.dwg LAYOUT TAB: Storm Lines #2A, 2B, 2C, & 2E - SOUTH PLOTTED BY: rgrates

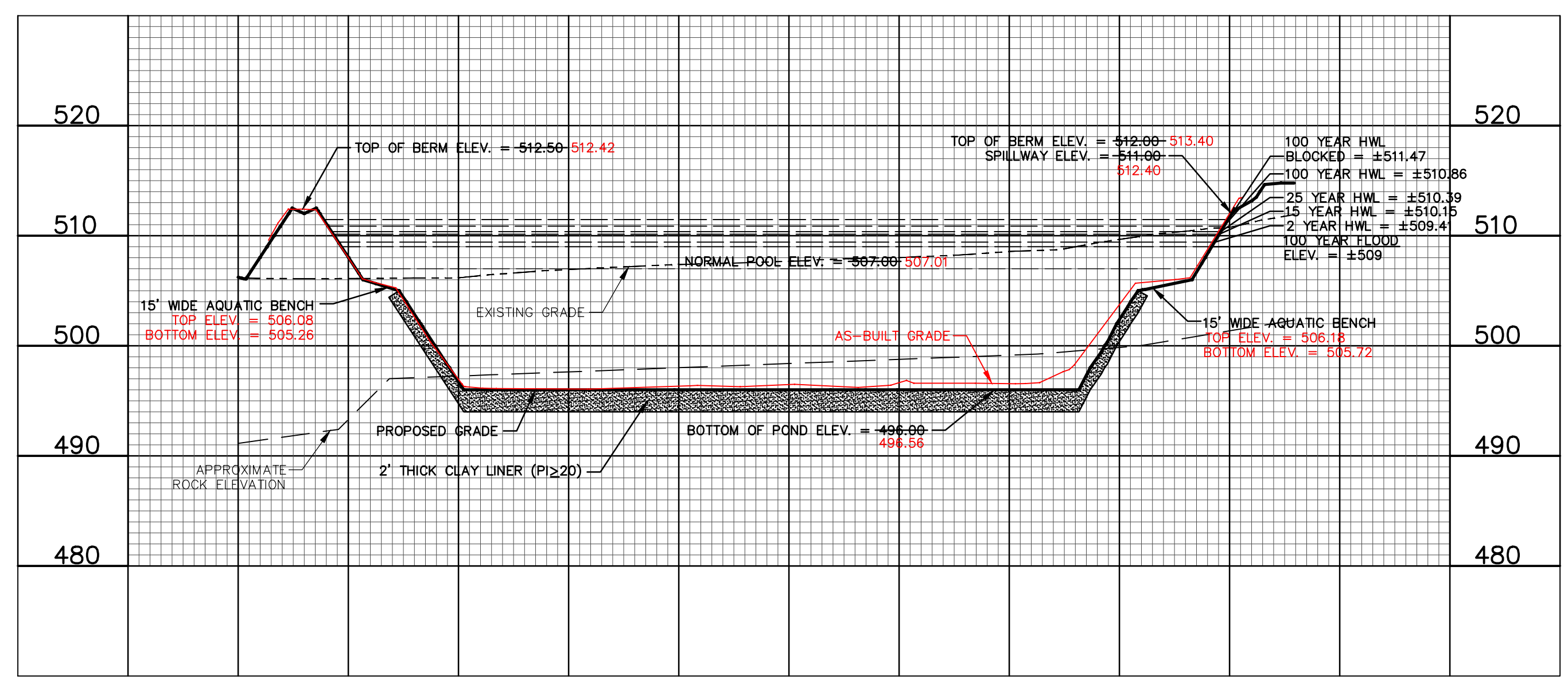
RETENTION BASIN #4 CROSS-SECTIONS (AS-BUILT)



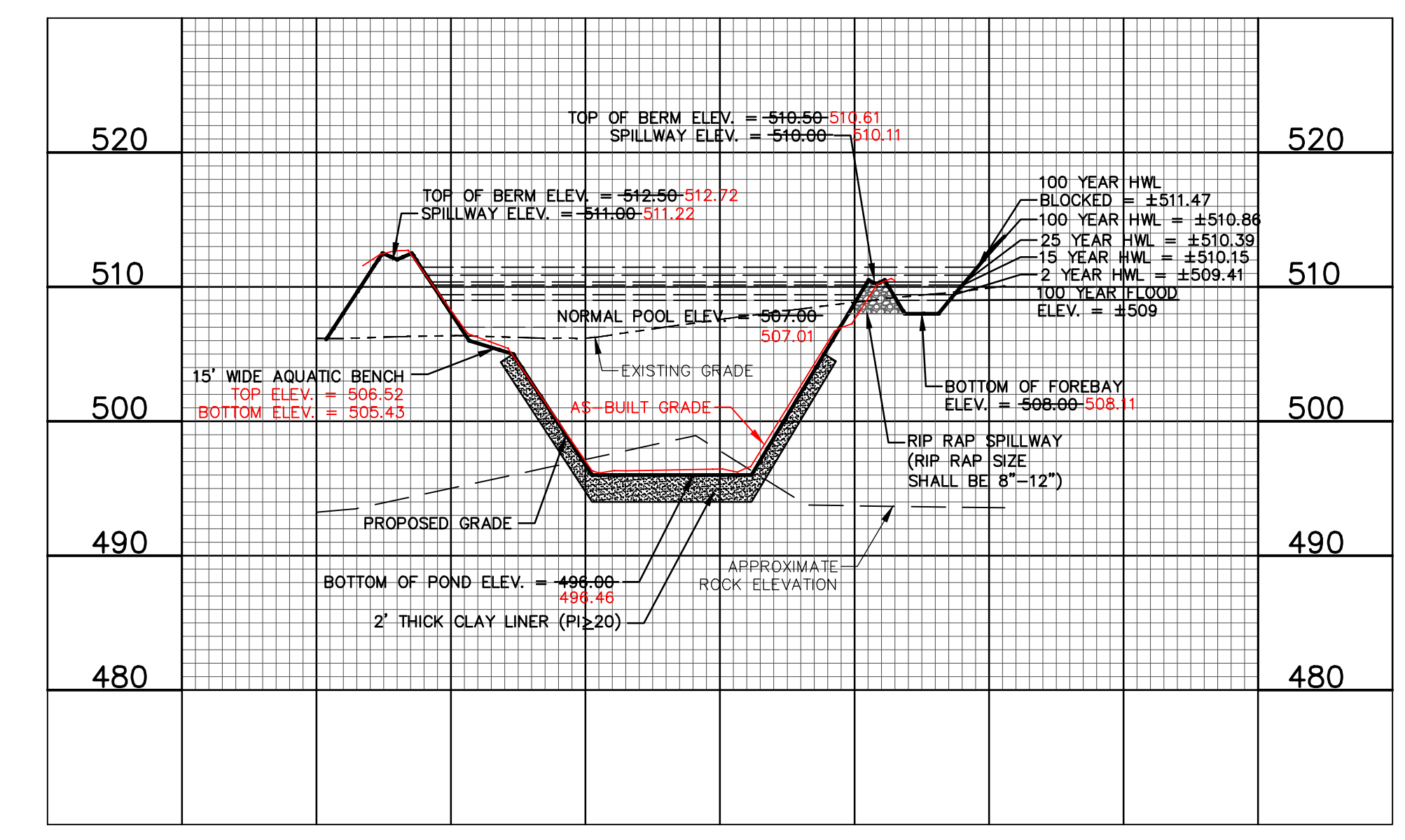
MAY, 2020



BASIN #4 - CROSS-SECTION B-B



BASIN #4 - CROSS-SECTION A-A



BASIN #4 - CROSS-SECTION C-C

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mail@ochran.com

COCHRAN

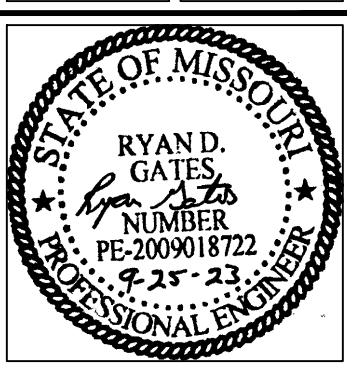
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- Land Surveying
- Architecture
- Site Development
- General Consulting
- Master Planning

530A E. Independence Dr.
Union, Missouri 63084

Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-461-8712 for utility location information.

All OSHA rules & regulations and construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.).



THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

RETENTION BASIN #4 CROSS-SECTIONS

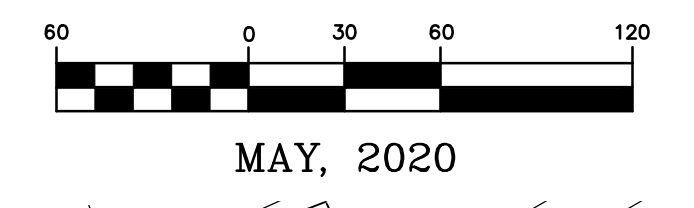
DATE	REVISION	BY	APP'D BY
08-10-20	CHANGE ORDER #2	JMM	ERR

DATE: MAY 08, 2020
FROM SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO: 17-6821
DWG. NO: C10.0

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

SANITARY SEWER PLAN OVERVIEW SOUTH (AS-BUILT)

LEGEND	
EXISTING	PROPOSED

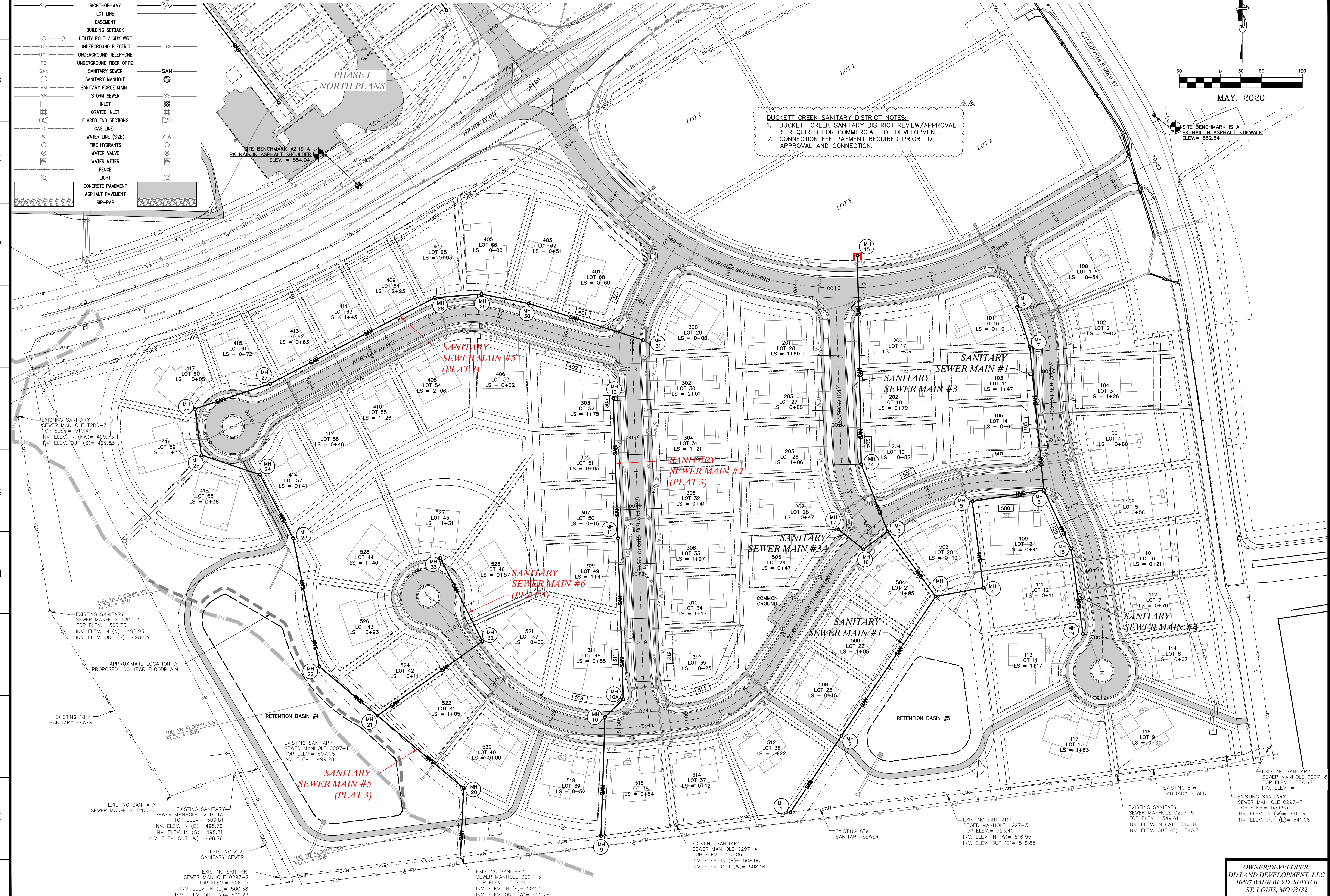


MAY, 2020

DUCKETT CREEK SANITARY DISTRICT NOTES:
 1. DUCKETT CREEK SANITARY DISTRICT REVIEW/APPROVAL IS REQUIRED FOR COMMERCIAL LOT DEVELOPMENT.
 2. CONNECTION FEE PAYMENT REQUIRED PRIOR TO APPROVAL AND CONNECTION.

SITE BENCHMARK #2 IS A PK NAIL IN ASPHALT SHOULDER ELEV. = 554.04

SITE BENCHMARK IS A PK NAIL IN ASPHALT SIDEWALK ELEV. = 562.54

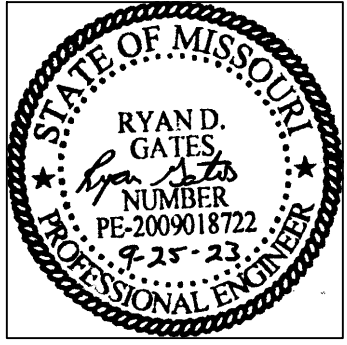


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Missouri State Certificate of Authority Numbers:
 Survey: 000380
 Engineering: 001655
 Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-933-8372 for utility location information.

All OSHA rules & regulations construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)



THE STREETS OF CALEDONIA
 PHASE I RESIDENTIAL - SOUTH
 O'FALLON, MISSOURI

DATE	BY	APP'D BY	DESCRIPTION
08-10-20	JUG	ERR	CHANGE ORDER #2
08-15-20	JUG	ERR	DUCKETT CREEK COMMENTS
MAY 08, 2020	JUG	ERR	

SCALE: 1" = 60'
 PROJ. NO: 17-6821
 DATE: MAY 08, 2020

OWNER/DEVELOPER:
 DD LAND DEVELOPMENT, LLC
 10407 BAUR BLVD, SUITE B
 ST. LOUIS, MO 63132

C11.0

Drawing name: E:\17-6821 - 860 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\27_Sanitary Sewer Plan Overview - South.dwg Tab: SANITARY OVERVIEW PLAN SOUTH Plotted by: jmeyer

SANITARY SEWER PLAN & PROFILE

LINE #2 (AS-BUILT)

EXISTING SANITARY SEWER MANHOLE 0297-3
TOP ELEV. = 507.41
INV. ELEV. IN (E) = 502.31
INV. ELEV. OUT (W) = 502.26

10' WIDE UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

PERMANENT EASEMENT TO DUCKETT CREEK SANITARY DIST. BK. 3742 PG. 2185

N/W AUGUST A. BUSCH MEMORIAL CONSERVATION AREA

EXISTING SANITARY SEWER MANHOLE 0297-4
TOP ELEV. = 515.86
INV. ELEV. IN (E) = 508.06
INV. ELEV. OUT (W) = 508.16

10' WIDE SIDE UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

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10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

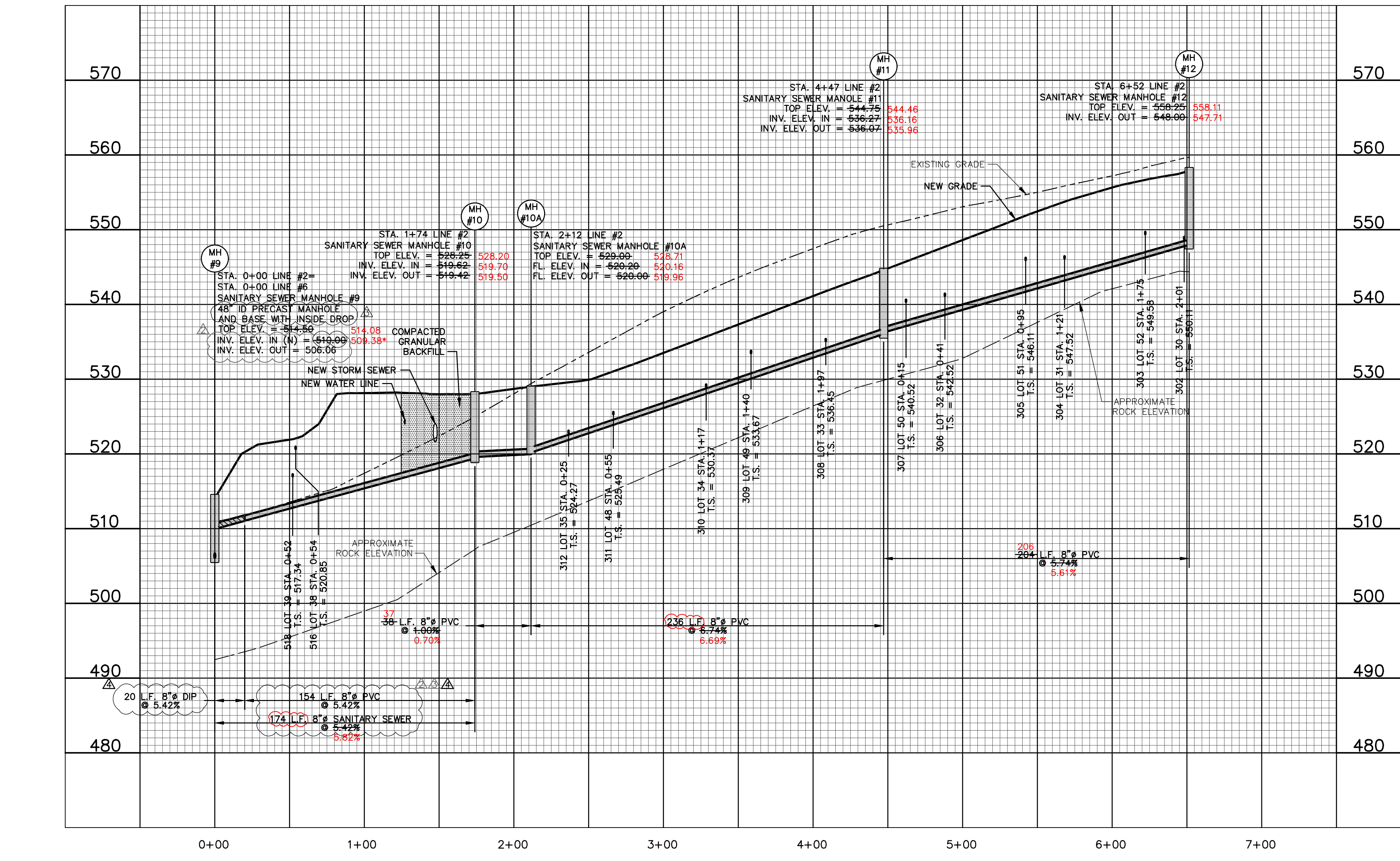
10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153

10' WIDE FRONT UTILITY EASEMENT PER THE STREETS OF CALEDONIA - PLAT 2 DOC. I.D. #2020R-091153



LEGEND

EXISTING	PROPOSED
500	INDEX CONTOUR
498	INTERMEDIATE CONTOUR
---	PROPERTY LINE
---	RIGHT-OF-WAY
---	LOT LINE
---	EASEMENT
AE	AERIAL ELECTRIC
UPE	UTILITY POLE / GUY WIRE
UGE	UNDERGROUND ELECTRIC
CATV	UNDERGROUND CABLE TV
UGT	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
SAN	SANITARY SEWER
○	SANITARY MANHOLE
FM	SANITARY FORCE MAIN
SS	STORM SEWER
□	INLET
□	GRATED INLET
---	FLARED END SECTIONS
---	GAS LINE
---	GAS VALVE
---	GAS METER
X-W	WATER LINE (SIZE)
---	FIRE HYDRANTS
---	WATER VALVE
---	WATER METER
---	FENCE
---	LIGHT
---	CONCRETE PAVEMENT

- DUCKETT CREEK SANITARY DISTRICT NOTES:**
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
 - INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (636)441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED.
 - THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
 - SANITARY SEWER PIPE SHALL BE SDR 35 PVC PER ASTM D 3034 OR SCHEDULE 50 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
 - ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.
- ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.
- ALL SANITARY SEWER LATERALS AND SANITARY MAINS THAT CROSS UNDER THE PAVEMENT MUST HAVE PROPER GRANULAR BACKFILL AND REQUIRED COMPACTION.

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

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636-584-0512 (fax)
mail@ochran.com
530A E. Independence Dr.
Union, Missouri 63084

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Missouri State Certificate of Authority Numbers:
Survey: 000380
Engineering: 010555
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-463-8176 for utility location information.

All OSHA rules & regulations and state & local construction requirements for these plans shall be strictly followed (ie. trenching, blasting, etc.)

STATE OF MISSOURI
RYLAND GATES
REGISTERED PROFESSIONAL ENGINEER
NUMBER
PE-2000018122
EXPIRES 12-31-23

THE STREETS OF CALEDONIA
PHASE I RESIDENTIAL - SOUTH
O'FALLON, MISSOURI

SANITARY SEWER PLAN & PROFILE LINE #2

DATE	APP'D BY	REVISION
08-10-20	BAB	CHANGE ORDER #2
08-15-20	ERR	DUCKETT CREEK COMMENTS
08-18-20	ERR	DUCKETT CREEK COMMENTS

DATE: MAY 08, 2020
HORIZ. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C11.02

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD, SUITE B
ST. LOUIS, MO 63132

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 1 South\29_Sanitary Sewer Plan and Profile Lines #2 - South.dwg LAYOUT TAB: SANITARY LINE #2 - SOUTH PLOTTED ON: Sep 25, 2023 - 3:51pm PLOTTED BY: j_meyer

