

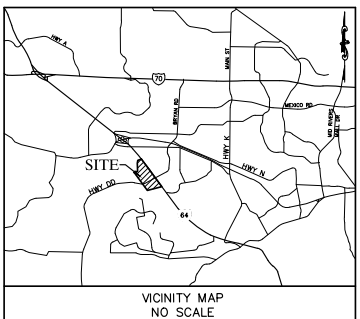


<b>CONTACT INFORMATION</b>
<b>OWNER</b>
OWNER: <u>DD LAND DEVELOPMENT, LLC</u>
REPRESENTATIVE: <u>JEFF THOLE</u>
ADDRESS: <u>16407 BAUR BLVD, SUITE B, ST. LOUIS, MO 63132</u>
PHONE: <u>314-996-0300</u>
<b>STREETS/STORM SEWER</b>
OWNER: <u>CITY OF OFFALLON</u>
REPRESENTATIVE: <u>WADE MONTGOMERY</u>
ADDRESS: <u>100 N. MAIN STREET OFFALLON, MO 63366</u>
PHONE: <u>636-379-5387</u>
<b>WATER</b>
OWNER: <u>PUBLIC WATER SUPPLY DISTRICT #2</u>
REPRESENTATIVE: <u>CHUCK KRAKOSKY</u>
ADDRESS: <u>100 WATER DRIVE OFFALLON, MO 63365</u>
PHONE: <u>636-561-3737 EXT. 131</u>
<b>SANITARY SEWER</b>
OWNER: <u>DUCKETT CREEK</u>
REPRESENTATIVE: <u>MIKE MERK</u>
ADDRESS: <u>3550 HIGHWAY K, OFFALLON, MO 63368</u>
PHONE: <u>636-441-1244</u>
<b>ELECTRIC</b>
OWNER: <u>CUVRE RIVER ELECTRIC COOP.</u>
REPRESENTATIVE: <u>DAN SCHNEIDER</u>
ADDRESS: <u>8757 HWY N, LAKE ST. LOUIS, MO</u>
PHONE: <u>636-495-4741</u>
<b>GAS</b>
OWNER: <u>SPIRE</u>
REPRESENTATIVE: <u>RICHARD FROCK</u>
ADDRESS: <u>1999 TRADE CENTER DR., EAST ST. PETERS, MO 63376</u>
PHONE: <u>816-473-3489</u>
<b>TELEPHONE</b>
OWNER: <u>CENTURY LINK</u>
REPRESENTATIVE: <u>TIM HOWE</u>
ADDRESS: <u>1151 CENTURYLINK DR., WENTZVILLE, MO 63385</u>
PHONE: <u>636-445-7055</u>
<b>TELEPHONE</b>
OWNER: <u>CHARTER COMMUNICATIONS</u>
REPRESENTATIVE: <u>LARRY RICHARDSON</u>
ADDRESS: <u>101 NORTHWEST PLAZA DR. ST. ANN MO 63074</u>
PHONE: <u>314-393-6295</u>
<b>SPECIAL NOTES :</b>
FOR QUESTIONS OR CLARIFICATIONS CONTACT ELLIOTT REED AT 636-584-8540

<b>FIRE DEPARTMENT</b>																					
OWNER: <u>WENTZVILLE FIRE DISTRICT</u>																					
REPRESENTATIVE: <u>CHRIS CUDDIHEE</u>																					
ADDRESS: <u>209 WEST PEARCE BLVD, WENTZVILLE, MO 63385</u>																					
PHONE: <u>636-332-8869</u>																					
<b>DEVELOPER</b>																					
OWNER: <u>FAINE FAMILY HOMES</u>																					
REPRESENTATIVE: <u>JEFF THOLE</u>																					
ADDRESS: <u>16407 BAUR BLVD, SUITE B, ST. LOUIS, MO 63132</u>																					
PHONE: <u>314-996-0300</u>																					
<b>CITY CONDITIONS:</b>																					
Planning and Zoning Commission recommends approval of the Final Plan based on the following findings and conditions:																					
1. Prior to the issuance of building permits for 40% of the total units, all recreational amenities shall be open for use.																					
2. Ensure that mail kiosks and on street parking is revised per the sight distance study.																					
3. The Municipal Code requirements listed above shall be addressed on the Construction Site Plans.																					
4. Signs shall be reviewed through a separate review process.																					
5. Work with staff on the pedestrian crossings throughout the development.																					
6. Revised the width on the typical lot detail from 50' to 52'.																					
* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows: October 1 through May 31 7:00 A.M. To 7:00 P.M. Monday Through Sunday June 1 through September 30 6:00 A.M. To 8:00 P.M. Monday Through Friday 7:00 A.M. To 8:00 P.M. Saturday and Sunday																					
* The area of this phase of development is 31.38 acres Number of proposed units is 101 Building setback information: Front 20' Side 6' Rear 15'																					
* The estimated Phase 4 sanitary flow in gallons per day is 101 homes * 370 gal/home/day = 55,870 gallons																					
* Landscape Requirements Phase 4 Phase 4 residential lots: 101 Single Family lots = 1 tree per unit = 101 trees Phase 4 residential lots: 14 corner lots X 1 tree per lot = 14 trees Tree preservation 31.38 acres X 15 trees/acre = 470.7 or 471 trees Total Phase 4 residential trees required = 636 trees Total Phase 4 trees provided: 636 trees																					
<table border="1"> <thead> <tr> <th>PHASE</th> <th>AREA</th> <th>PRESERVATION TREES</th> </tr> </thead> <tbody> <tr> <td>1 NORTH</td> <td>32.23 AC</td> <td>488 TREES</td> </tr> <tr> <td>1 SOUTH</td> <td>4.90 AC</td> <td>450 TREES</td> </tr> <tr> <td>2</td> <td>4.90 AC</td> <td>104 TREES</td> </tr> <tr> <td>3</td> <td>53.39 AC</td> <td>801 TREES</td> </tr> <tr> <td>4</td> <td>31.38 AC</td> <td>471 TREES</td> </tr> <tr> <td>TOTAL</td> <td>134.20 AC</td> <td>2,314 TREES</td> </tr> </tbody> </table>	PHASE	AREA	PRESERVATION TREES	1 NORTH	32.23 AC	488 TREES	1 SOUTH	4.90 AC	450 TREES	2	4.90 AC	104 TREES	3	53.39 AC	801 TREES	4	31.38 AC	471 TREES	TOTAL	134.20 AC	2,314 TREES
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<b>P&amp;Z No. 21-010873</b>																					
<b>P&amp;Z Approval Date: 03/03/22</b>																					
<b>Permit No.</b>																					
Project Benchmark: Missouri Geographic Reference System Station SC-37, Published Elevation = 631.23.																					
Site Benchmark #1: Cross along Caledonia Parkway adjacent to Townhouse Lots 445-449 Elev. = 583.38																					
Site Benchmark #2: Cross along Caledonia Parkway adjacent to Townhouse Lots 420-423 Elev. = 596.64																					
(See Grading Plan, Sheet C5.0)																					

# PHASE 4 RESIDENTIAL IMPROVEMENTS PLANS FOR THE STREETS OF CALEDONIA IN THE CITY OF OFFALLON, MISSOURI

CITY OF OFFALLON  
ENGINEERING DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: \_\_\_\_\_ DATE \_\_\_\_\_  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN



PROJECT NO. 17-6821



- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

530A E. INDEPENDENCE DRIVE, UNION, MISSOURI 63084  
TELEPHONE (636) 584-0540  
FAX (636) 584-0512  
E-MAIL mail@cochraneeng.com

**MAY, 2022**  
**REVISED: JULY 13, 2022**

**AS-BUILT**

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SANITARY SEWER LINES #40-#41 PLAN & PROFILES	C11.01
SANITARY SEWER LINES #42-#43 PLAN & PROFILES	C11.02
SANITARY SEWER LINE #44 PLAN & PROFILE	C11.03
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SANITARY SEWER LINES #45 & #46 PHASE 4B PLAN & PROFILES	C11.04B
SANITARY SEWER LINE #47A PLAN & PROFILE	C11.05
SANITARY SEWER ZONE OF INFLUENCE	C11.06
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CARDON DRIVE STA-0+20 - 13+00 PLAN & PROFILE	C12.02
CARDON DRIVE STA-13+00 - 19+98 PLAN & PROFILE	C12.03
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KENSIE DRIVE PLAN & PROFILE	C12.05
RODDENS WAY PLAN & PROFILE	C12.06
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DETAIL SHEET	C14-10
DETAIL SHEET	C14-11
DETAIL SHEET	C14-12
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**AS-BUILT PUBLIC UTILITY FINAL MEASUREMENTS**

THE FOLLOWING UTILITIES HAVE BEEN LOCATED AND MEASURED AND THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS:

- STORM SEWERS, STORM SEWER LENGTHS, STORM SEWER PIPE SIZES, STORM SEWER FLOWLINES AND DEPTHS OF STORM SEWER STRUCTURES.
- SANITARY SEWERS, SANITARY SEWER LENGTHS, SANITARY SEWER PIPE SIZES, SANITARY SEWER FLOWLINES AND DEPTHS OF SANITARY SEWER STRUCTURES.
- FIRE HYDRANTS, WATER VALVES, WATER MAINS, SANITARY SEWER PIPE SIZES, SANITARY TOPOGRAPHY AND SECTIONS OF BASINS WITH SPOT ELEVATIONS.
- SPOT ELEVATIONS AT STREET INTERSECTION, CENTER OF C&A-DE-S&C AND CENTERLINE OF PERMANENT DRAINAGE SWALES THAT CARRY 1 C.F.S. OR MORE.
- LIGHT STANDARDS.

ALL PUBLIC UTILITIES SHOWN HEREON AS BEING AS-BUILT ARE LOCATED WITHIN DESIGNATED EXISTING OR PROPOSED EASEMENTS.

ALL SHEETS WITH THIS SUBMITTAL ARE SHOWN IN THE ABOVE SHEET INDEX.

CB ENGINEERING INC.  
DBA COCHRAN

Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DOG-RTS for utility information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

OWNER/DEVELOPER:  
DD LAND DEVELOPMENT, LLC  
16407 BAUR BLVD, SUITE B  
ST. LOUIS, MO 63132

# WATER PLAN - PHASE 4 (AS-BUILT)

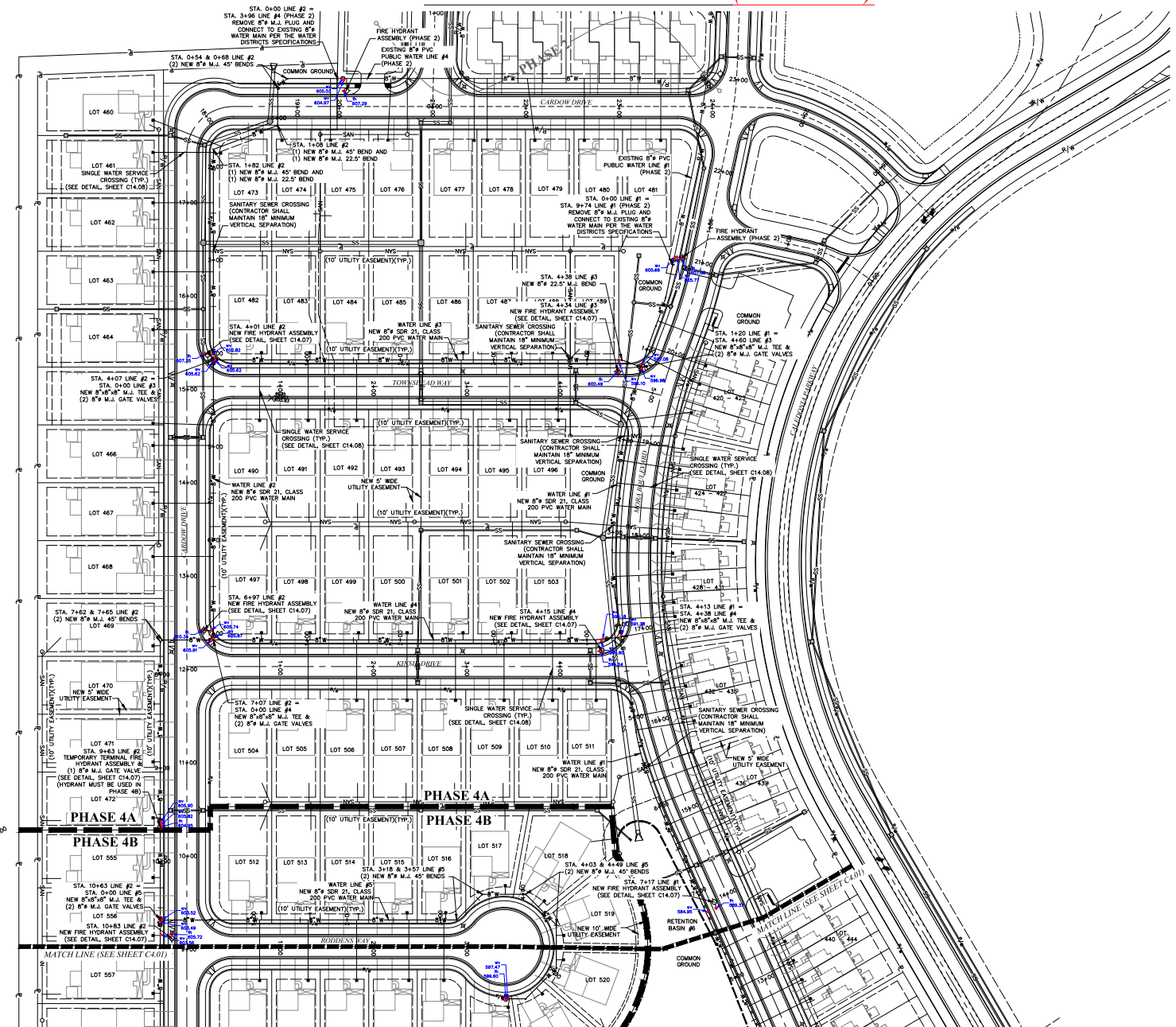


MAY, 2022

LEGEND	
EXISTING	PROPOSED

- NOTES:**
1. WATER DISTRICT REQUIRES A MINIMUM OF 40" AND A MAXIMUM OF 72" OF COVER OVER ITS WATER MAINS.
  2. ALL STREET CROSSINGS SHALL HAVE FULL DEPTH COMPACTED GRANULAR BACKFILL.
  3. ALL VERTICAL BENDS TO INCLUDE RETAINER GLANDS.
  4. ALL WATER PITS MUST BE INSTALLED IN GREEN SPACE PER PAR 2 SPECIFICATIONS.
  5. ALL OFF-SITE WATER SYSTEM WORK MUST BE RESTORED WITH SOIL UNLESS OTHER CONSIDERATION IS REQUESTED BY THE OFF-SITE PROPERTY OWNER.
  6. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. COPIES OF ALL REQUIRED PERMITS SHALL BE PROVIDED TO THE WATER DISTRICT PRIOR TO CONSTRUCTION.
  7. WATER EXTENSION AGREEMENTS WILL BE REQUIRED FOR EACH PHASE BEFORE CONSTRUCTION CAN BEGIN.
  8. WATER DISTRICT REQUIRES AT LEAST 18" OF HORIZONTAL SEPARATION BETWEEN CROSSINGS.
  9. WATER DISTRICT REQUIRES ONE (1) WEEK NOTICE BEFORE THE START OF CONSTRUCTION.
  10. ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PWD02 OF ST. CHARLES COUNTY GUIDELINES AND SPECIFICATIONS AS APPROVED BY MODNR REVIEW NO. 600805-13.
  11. ALL PROPOSED CONNECTIONS TO AN EXISTING PUBLIC WATER MAIN SHALL BE MADE PER THE WATER DISTRICT'S SPECIFICATIONS.
  12. ALL PUBLIC FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW PER THE WATER DISTRICT'S SPECIFICATIONS.

FO" IN OPEN WAS SHOT FOR FIRE HYDRANT AS-BUILTS



100 South 10th St., Ste. 100  
 St. Louis, MO 63103 (417) 335-1000  
 1000 Independence Dr., Suite 100  
 St. Louis, MO 63105 (314) 435-1000

OCHAAN

A Professional Engineering Firm  
 Missouri State License No. 000000000  
 Professional Engineer: 000000000  
 Professional Engineer: 000000000  
 Professional Engineer: 000000000



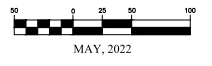
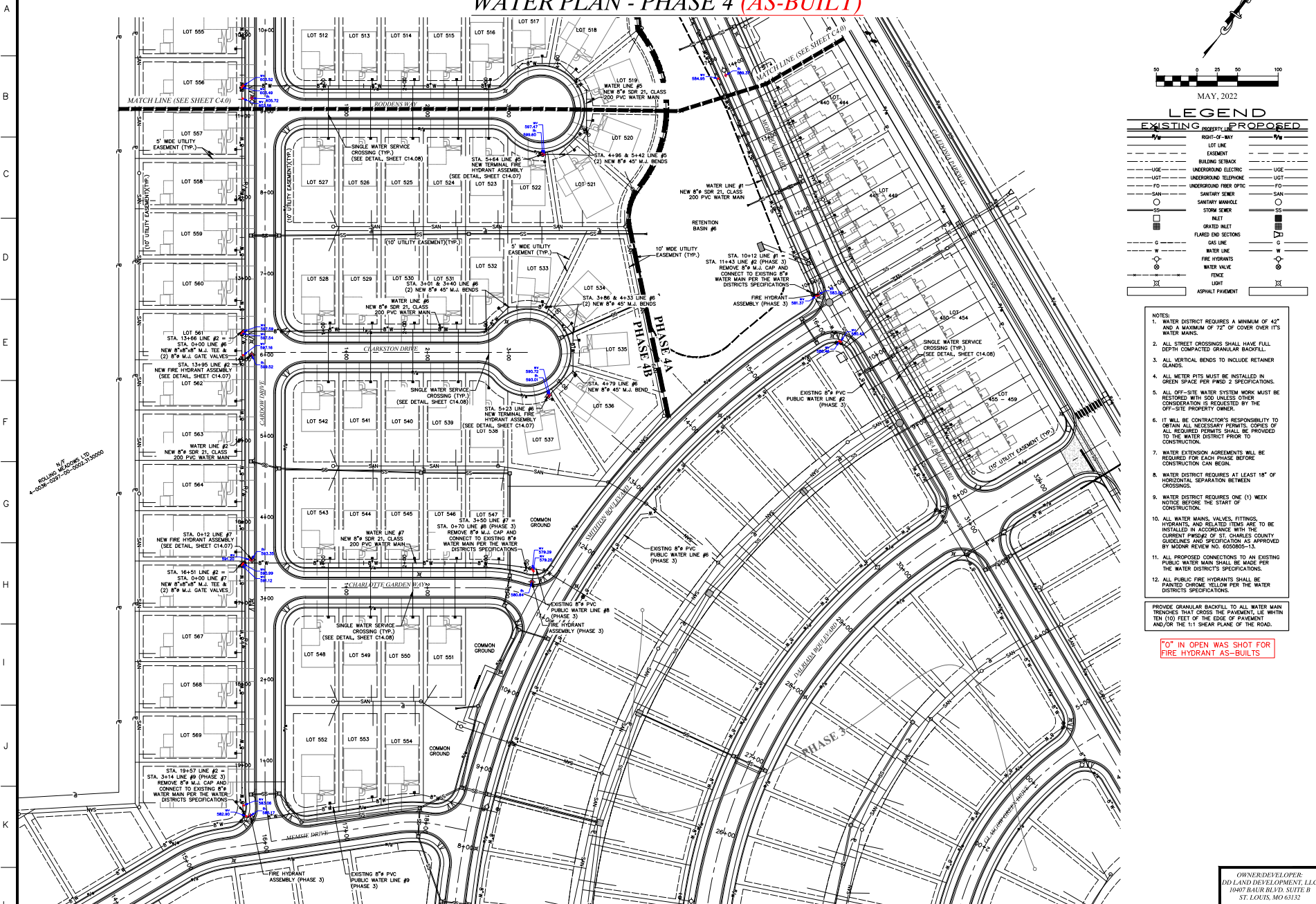
THE STREETS OF CALEDONIA  
 PHASE 4 RESIDENTIAL  
 OF FALLON, MISSOURI

DATE: 05/09/2022  
 TIME: 10:00 AM  
 DRAWN BY: JMM  
 CHECKED BY: ERR  
 MAY 09, 2022  
 1" = 50'  
 17-6821  
C4.0

OWNER/DEVELOPER:  
 DD LAND DEVELOPMENT, LLC  
 10407 BAUR BLVD, SUITE B  
 ST. LOUIS, MO 63132

Drawing name: F:\17-6821 - 300 Acres Tract along Hwy 40, Ofallon, MO\As-Built\Phase 4\02-Water Plan Phase 4.dwg, Title: WATER PLAN PHASE 4, Plotted on: Nov 06, 2023 - 8:51am, Plotted by: Jmeyer

# WATER PLAN - PHASE 4 (AS-BUILT)



### LEGEND

EXISTING		PROPOSED	
---	PROPERTY LINE	---	RIGHT-OF-WAY
---	LOT LINE	---	LOT LINE
---	EASEMENT	---	EASEMENT
---	BUILDING SETBACK	---	BUILDING SETBACK
---	UNDERGROUND ELECTRIC	---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE	---	UNDERGROUND TELEPHONE
---	UNDERGROUND FIBER OPTIC	---	UNDERGROUND FIBER OPTIC
---	SANITARY SEWER	---	SANITARY SEWER
---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	STORM SEWER	---	STORM SEWER
---	GAS LINE	---	GAS LINE
---	WATER LINE	---	WATER LINE
---	FLARED END SECTIONS	---	FLARED END SECTIONS
---	TERACE	---	TERACE
---	FIRE HYDRANTS	---	FIRE HYDRANTS
---	WATER VALVE	---	WATER VALVE
---	FENCE	---	FENCE
---	ASPHALT PAVEMENT	---	ASPHALT PAVEMENT
---	LOAD	---	LOAD

- NOTES:**
1. WATER DISTRICT REQUIRES A MINIMUM OF 4" AND A MAXIMUM OF 12" OF COVER OVER ITS WATER MAINS.
  2. ALL STREET CROSSINGS SHALL HAVE FULL DEPTH COMPACTED GRANULAR BACKFILL.
  3. ALL VERTICAL BENDS TO INCLUDE RETAINER GLANDS.
  4. ALL WATER FITS MUST BE INSTALLED IN GREEN SPACE PER PAR 2 SPECIFICATIONS.
  5. ALL OFF-SITE WATER SYSTEM WORK MUST BE RESTORED WITH 500 LBSES OTHER BACKFILL. CONSIDERATION IS REQUESTED BY THE OFF-SITE PROPERTY OWNER.
  6. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. COPIES OF ALL REQUIRED PERMITS SHALL BE PROVIDED TO THE WATER DISTRICT PRIOR TO CONSTRUCTION.
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  12. ALL PUBLIC FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW PER THE WATER DISTRICT'S SPECIFICATIONS.

PROVIDE GRANULAR BACKFILL TO ALL WATER MAIN TRENCHES THAT CROSS THE PAVEMENT, USE WHITEN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SHEAR PLANE OF THE ROAD.

"0" IN OPEN WAS SHOT FOR FIRE HYDRANT AS-BUILTS

Scale: 1" = 50'

Graphic Scale: 0, 25, 50, 100 feet

MAY 09, 2022

1" = 50'

17-6821

**RYAN D. CLATTER**  
Professional Engineer  
No. 0002580  
PE-000117122  
EXPIRES 12/31/2025

**CHAD A. JOHNSON**  
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No. 0002580  
PE-000117122  
EXPIRES 12/31/2025

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EXPIRES 12/31/2025

**CHAD A. JOHNSON**  
Professional Engineer  
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PE-000117122  
EXPIRES 12/31/2025

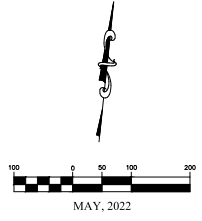
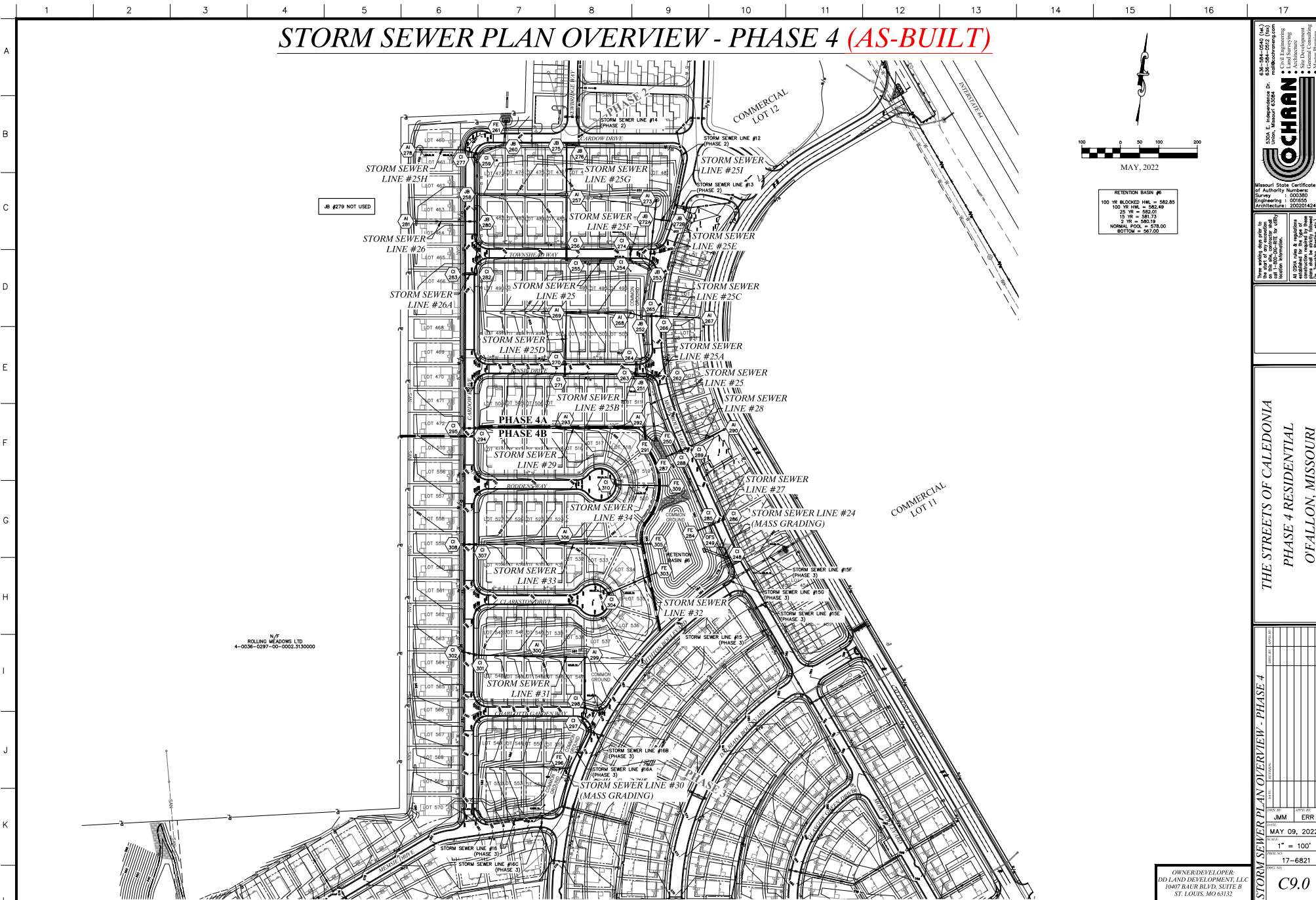
**CHAD A. JOHNSON**  
Professional Engineer  
No. 0002580  
PE-000117122  
EXPIRES 12/31/2025

**CHAD A. JOHNSON**  
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EXPIRES 12/31/2025

**CHAD A. JOHNSON**  
Professional Engineer  
No. 0002580  
PE-000117122  
EXPIRES 12/31/20



# STORM SEWER PLAN OVERVIEW - PHASE 4 (AS-BUILT)



RETENTION BASIN #6

100' RB BLOCKED IWL = 582.85
100' RB IWL = 582.49
25' RB = 582.21
15' RB = 581.72
5' RB = 580.18
NORMAL POOL = 578.00
BOTTOM = 567.00

-B #279 NOT USED

N/F  
ROLLING MEADOWS LTD  
4-0036-0297-00-0002.110000

CHAAN  
 1504 E. Independence Dr.  
 Union, Missouri 63081  
 636-584-2012 (fax)  
 info@chaan.com  
 www.chaan.com

Missouri State Certificate of Authority Number: 0003380  
 Engineering: 001656  
 Architecture: 0002514240  
 Land Surveying: 0002514240  
 Professional Planning: 0002514240

This plan was prepared by CHAAN in the state of Missouri. The work was prepared by CHAAN in accordance with the Missouri Professional Engineering and Professional Land Surveying laws. CHAAN is not responsible for any errors or omissions in this plan. CHAAN is not responsible for any construction or other work not shown on this plan. CHAAN is not responsible for any construction or other work not shown on this plan. CHAAN is not responsible for any construction or other work not shown on this plan.

THE STREETS OF CALEDONIA  
 PHASE 4 RESIDENTIAL  
 OF FALLON, MISSOURI

STORM SEWER PLAN OVERVIEW - PHASE 4  
 DATE: 05/09/2022  
 DRAWN BY: JMM  
 CHECKED BY: ERR  
 DATE: MAY 09, 2022  
 SCALE: 1" = 100'  
 SHEET NO: 17-6821  
 PROJECT NO: C9.0

OWNER/DEVELOPER:  
 DD LAND DEVELOPMENT, LLC  
 10407 BAUR BLVD, SUITE B  
 ST. LOUIS, MO 63132

Drawing name: F:\17-6821 - 260 Acres Tract along Hwy 40, Ofallon, MO\As-Built\Phase 4\17\_Storm Sewer Plan Overview Phase 4.dwg Tab: Storm Sewer Plan Overview Phase 4.dwg Plotted on: Nov 23, 2022 - 2:30pm Plotted by: Jmeyer













# STORM SEWER PLAN & PROFILE

## LINES #27 - 29 - PHASE 4 (AS-BUILT)



HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

MAY, 2022

### LEGEND

EXISTING      PROPOSED

---	INDEX CONTOUR	---	INDEX CONTOUR
---	HYDROLOGIC CONTOUR	---	HYDROLOGIC CONTOUR
---	PROPERTY LINE	---	PROPERTY LINE
---	RIGHT-OF-WAY	---	RIGHT-OF-WAY
---	LOT LINE	---	LOT LINE
---	EASEMENT	---	EASEMENT
---	AIRIAL ELECTRIC	---	AIRIAL ELECTRIC
---	UTILITY POLE / GUY WIRE	---	UTILITY POLE / GUY WIRE
---	UNDERGROUND ELECTRIC	---	UNDERGROUND ELECTRIC
---	UNDERGROUND CABLE TV	---	UNDERGROUND CABLE TV
---	UNDERGROUND TELEPHONE	---	UNDERGROUND TELEPHONE
---	UNDERGROUND FIBER OPTIC	---	UNDERGROUND FIBER OPTIC
---	SANITARY SEWER	---	SANITARY SEWER
---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	SANITARY FORCE MAIN	---	SANITARY FORCE MAIN
---	STORM SEWER	---	STORM SEWER
---	INLET	---	INLET
---	GRADED INLET	---	GRADED INLET
---	FLARED END SECTIONS	---	FLARED END SECTIONS
---	GAS LINE	---	GAS LINE
---	GAS VALVE	---	GAS VALVE
---	GAS METER	---	GAS METER
---	WATER LINE (SIZE)	---	WATER LINE (SIZE)
---	FIRE HYDRANTS	---	FIRE HYDRANTS
---	WATER VALVE	---	WATER VALVE
---	WATER METER	---	WATER METER
---	GUARDRAIL	---	GUARDRAIL
---	TRUSS	---	TRUSS
---	LIGHT	---	LIGHT
---	CONCRETE PAVEMENT	---	CONCRETE PAVEMENT

RETENTION BASIN #6  
 100 YR BLOCKED INLET = 582.85  
 100 YR = 582.49  
 25 YR = 581.73  
 2 YR = 580.76  
 NORMAL POOL = 578.00  
 BOTTOM = 467.00

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

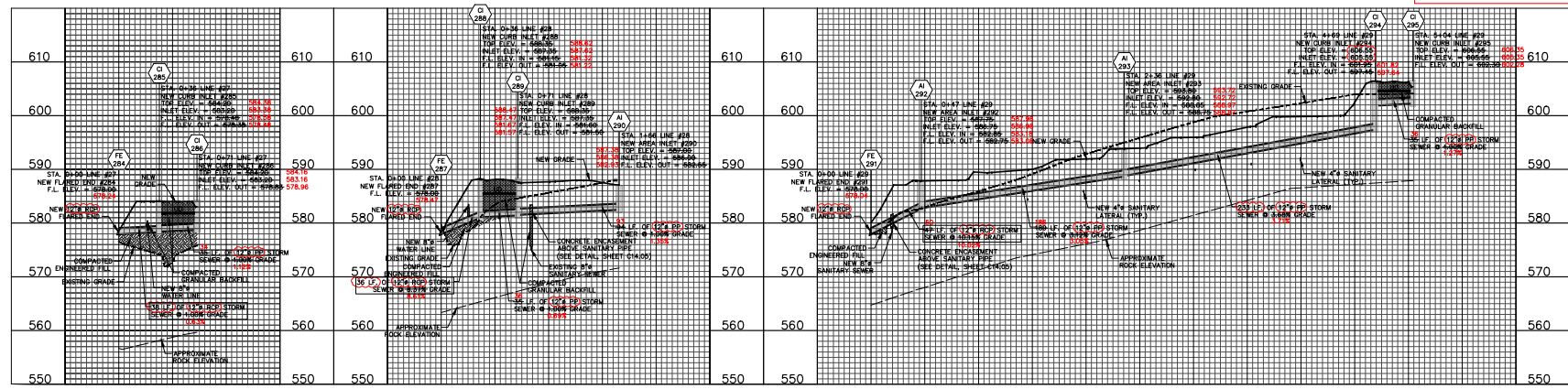
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

LINE #27

LINE #28

LINE #29

\* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.



OWNER/DEVELOPER:  
 DD LAND DEVELOPMENT, LLC  
 10407 BAUR BLVD, SUITE B  
 ST. LOUIS, MO 63132

**OCHAAN**  
 CONSULTING ENGINEERS

Missouri State Certificate of Authority Number: 000380  
 Engineering: 001600  
 Architecture: 0002014240

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• Architecture  
 • Civil Engineering  
 • Electrical Engineering  
 • Environmental Engineering  
 • Geotechnical Engineering  
 • Land Surveying  
 • Mechanical Engineering  
 • Planning  
 • Structural Engineering

THE STREETS OF CALEDONIA  
 PHASE 4 RESIDENTIAL  
 OF FALLON, MISSOURI

STORM SEWER PLAN & PROFILE LINES #27 - 29

JMM	ERR
MAY 09, 2022	
1"=50'	
1"=10'	
17-6821	

C9.04







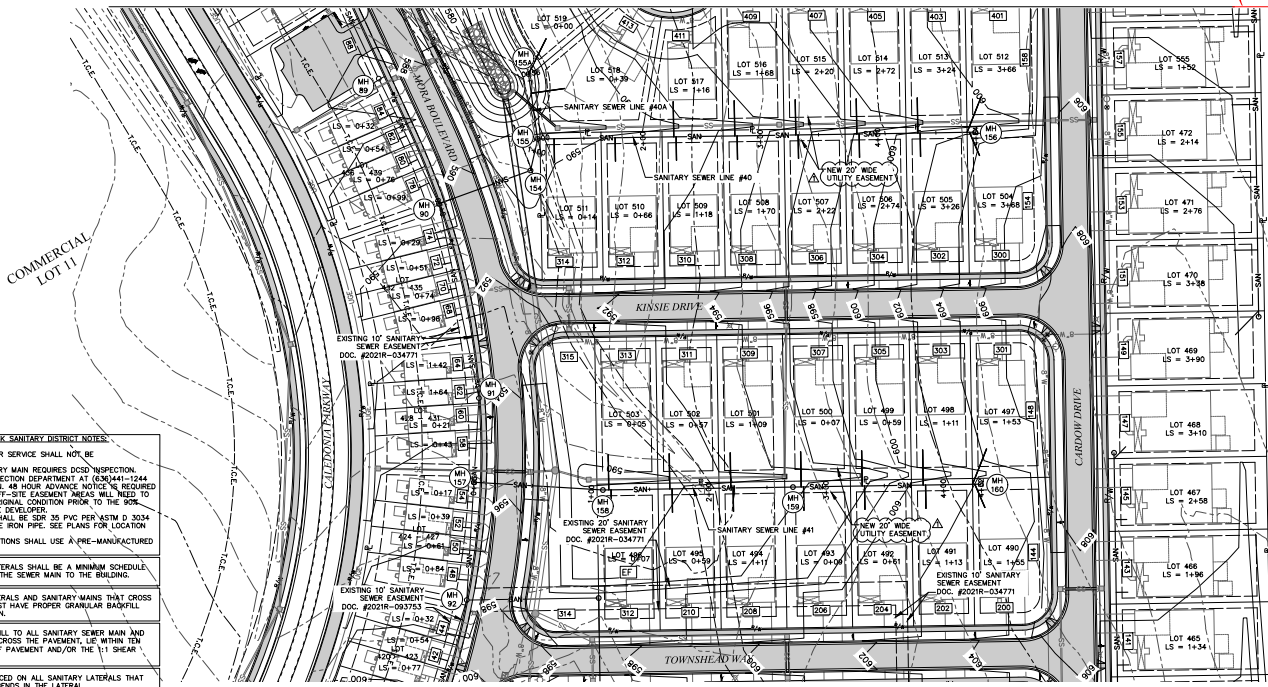




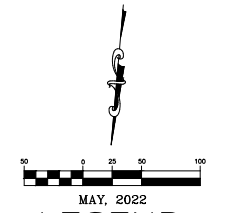




# SANITARY SEWER PLAN & PROFILE LINES #40 - 41 - PHASE 4A (AS-BUILT)



ROLLING W/P  
4-0036-0297-00-0002.3130000



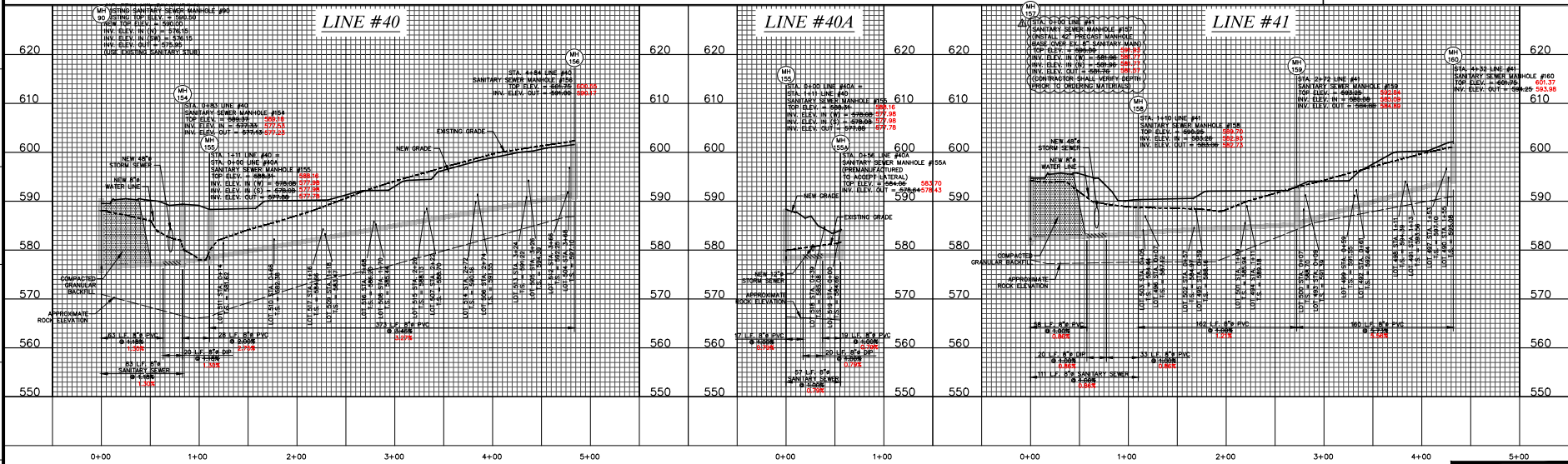
MAY, 2022

### LEGEND

EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERIMMEDIATE CONTOUR	INTERIMMEDIATE CONTOUR
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINE	LOT LINE
EXISTMENT	EXISTMENT
AERIAL ELECTRIC	AERIAL ELECTRIC
UTILITY POLE / GUY WIRE	UTILITY POLE / GUY WIRE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND CABLE TV	UNDERGROUND CABLE TV
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY FORCE MAIN	SANITARY FORCE MAIN
STORM SEWER	STORM SEWER
RESET	RESET
GRADED INLET	GRADED INLET
FLARED END SECTIONS	FLARED END SECTIONS
GAS LINE	GAS LINE
GAS WIRE	GAS WIRE
GAS METER	GAS METER
WATER LINE (S&E)	WATER LINE (S&E)
LIGHT	LIGHT
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
FENCE	FENCE
PAVEMENT	PAVEMENT

EXTENDED FOUNDATION MAY BE REQUIRED.  
(WILL BE DETAILED ON PLOT PLAN.)

- BUCKETT CREEK SANITARY DISTRICT NOTES:**
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
  - INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (636)441-2244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED. THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO THE DCSD ESCROW RELEASE TO THE DEVELOPER.
  - SANITARY SEWER PIPE SHALL BE 30" 35 PVC PER ASTM D 3034 OR SCHEDULE 40 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
  - ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.
- ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.
- ALL SANITARY SEWER LATERALS AND SANITARY MAINS THAT CROSS UNDER THE PAVEMENT MUST HAVE PROPER GRANULAR BACKFILL AND REQUIRED COMPACTION.
- PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, UP WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SLOPE PLAN OF THE ROAD.
- CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.



314 S. 4th St. Ste. 100  
St. Louis, MO 63102  
Tel: 314.433.4444  
Fax: 314.433.4445  
www.ochaan.com

3304 E. Independence Dr.  
St. Louis, Missouri 63026

**CHAAH**

Professional Engineer  
No. 000350  
Professional Engineer  
No. 001650  
Professional Engineer  
No. 002214240

Missouri State Certificate of Authority Number: 000350  
Professional Engineer: 001650  
Professional Engineer: 002214240

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THE STRAITS OF CALEDONIA  
PHASE 4A RESIDENTIAL  
OF FALLON, MISSOURI

OWNER/DEVELOPER:  
DD LAND DEVELOPMENT, LLC  
1067 BAUR BLVD. SUITE 9  
ST. LOUIS, MO 63132

DATE: MAY 09, 2022  
SCALE: 1"=50'  
SCALE: 1"=10'  
SHEET NO: 17-6821

DESIGNED BY: JMM  
CHECKED BY: ERR

PROJECT NO: C11.01

DWG NAME: FA17-6821 - 260 Area Tract along Hwy 41, Ofallon, MO (As-Built) Phase 4A Sanitary Sewer Lines #40-41. Phase 4 Area Tract along Hwy 41, Ofallon, MO (As-Built) Phase 4A Sanitary Sewer Lines #40-41. PLOTTED ON: Feb 23, 2023 - 11:30am. PLOTTED BY: JMM

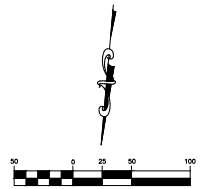
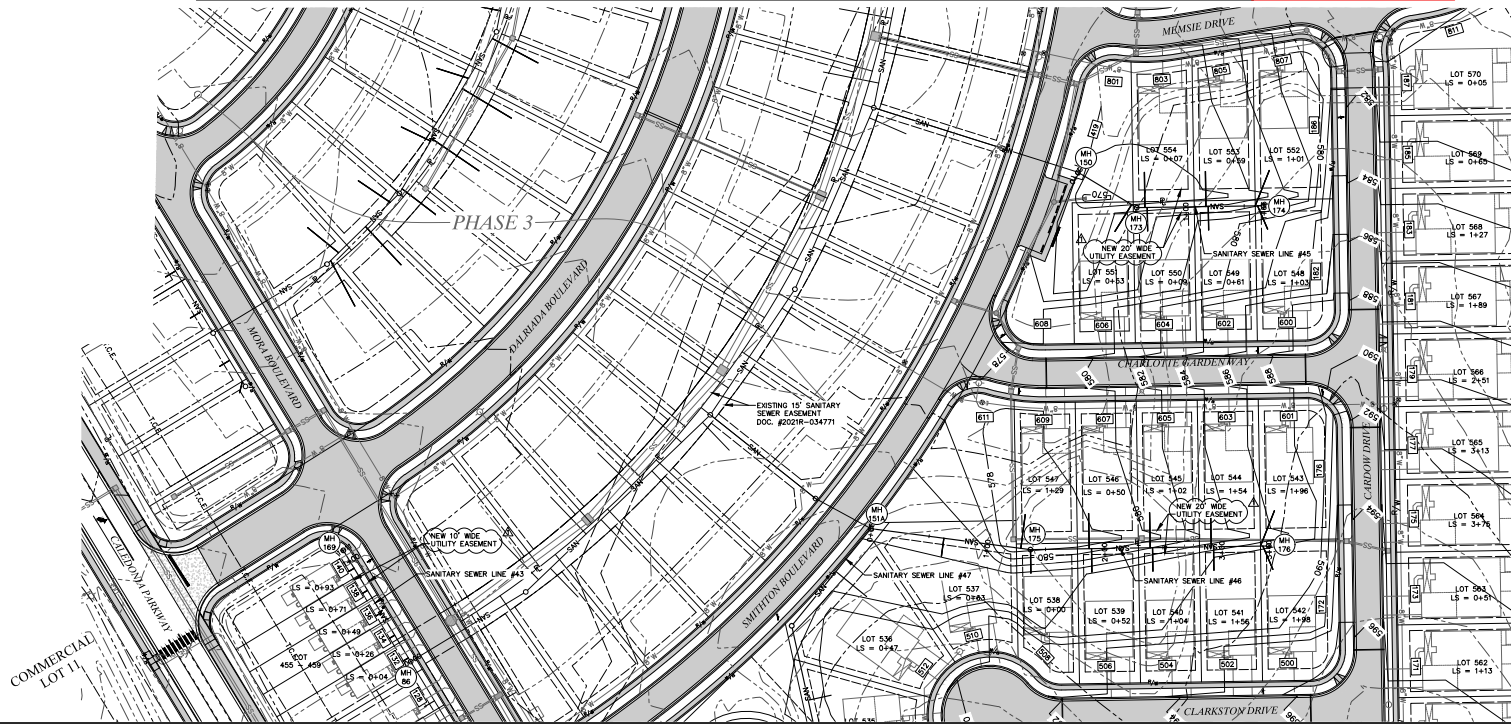








# SANITARY SEWER PLAN & PROFILE LINES #43 - PHASE 4A (AS-BUILT)



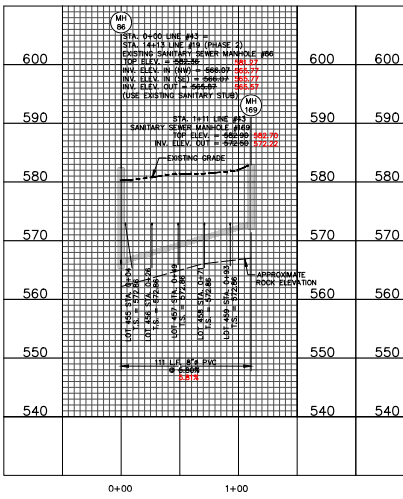
MAY, 2022

### LEGEND

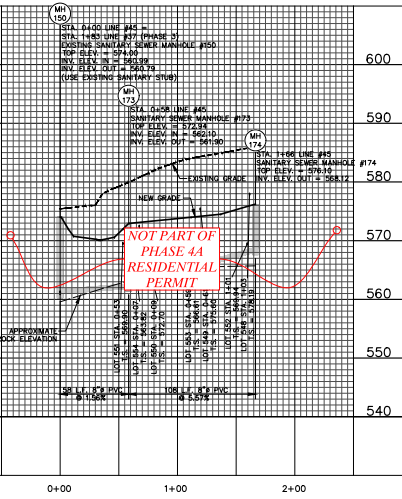
EXISTING	PROPOSED
INDEX CONTOUR	INDEX CONTOUR
INTERIMBARE CONTOUR	INTERIMBARE CONTOUR
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINE	LOT LINE
EASEMENT	EASEMENT
AERIAL ELECTRIC	AERIAL ELECTRIC
UTILITY POLE / DWP WIRE	UTILITY POLE / DWP WIRE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
UNDERGROUND CABLE TV	UNDERGROUND CABLE TV
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
STORM SEWER	STORM SEWER
FLARED END SECTIONS	FLARED END SECTIONS
GAS LINE	GAS LINE
GAS VALVE	GAS VALVE
GAS METER	GAS METER
WATER LINE (S&E)	WATER LINE (S&E)
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
FENCE	FENCE
PAVEMENT	PAVEMENT

- DUCKETT CREEK SANITARY DISTRICT NOTES:**
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
  - INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (630)441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED.
  - THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO THE WORK ESCROW RELEASE TO THE DEVELOPER. 35 PVC PER ASTM D 3034 OR SCHEDULE 50 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
  - ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.
  - ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.
  - ALL SANITARY SEWER LATERALS AND SANITARY MAINS THAT CROSS UNDER THE PAVEMENT MUST HAVE PROPER GRANULAR BACKFILL AND REQUIRED COMPACTION.
  - PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, LE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SLOPE OF THE ROAD.
  - CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.

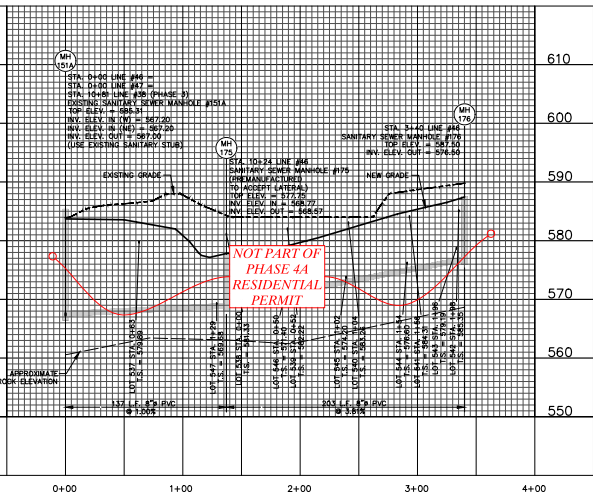
LINE #43



LINE #45



LINE #46



330 S. Independence Dr.  
St. Louis, MO 63102  
636-284-2072 (fax)  
636-284-2072 (cell)  
636-284-2072 (office)

**COCHAN**

Professional Engineer  
No. 000350  
Professional Engineer  
No. 000350

Missouri State Certificate of Authority Number: 000350  
Professional Engineer: 000350  
Professional Engineer: 000350

Missouri State Certificate of Authority Number: 000350  
Professional Engineer: 000350  
Professional Engineer: 000350

THE STREETS OF CALEDONIA  
PHASE 4A RESIDENTIAL  
OF FALLON, MISSOURI

SANITARY SEWER PLAN & PROFILE LINES #43  
1067 BAUR BLVD, SUITE D  
ST. LOUIS, MO 63132

OWNER/DEVELOPER:  
DD LAND DEVELOPMENT, LLC  
1067 BAUR BLVD, SUITE D  
ST. LOUIS, MO 63132

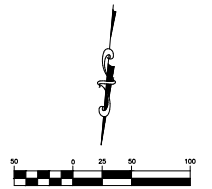
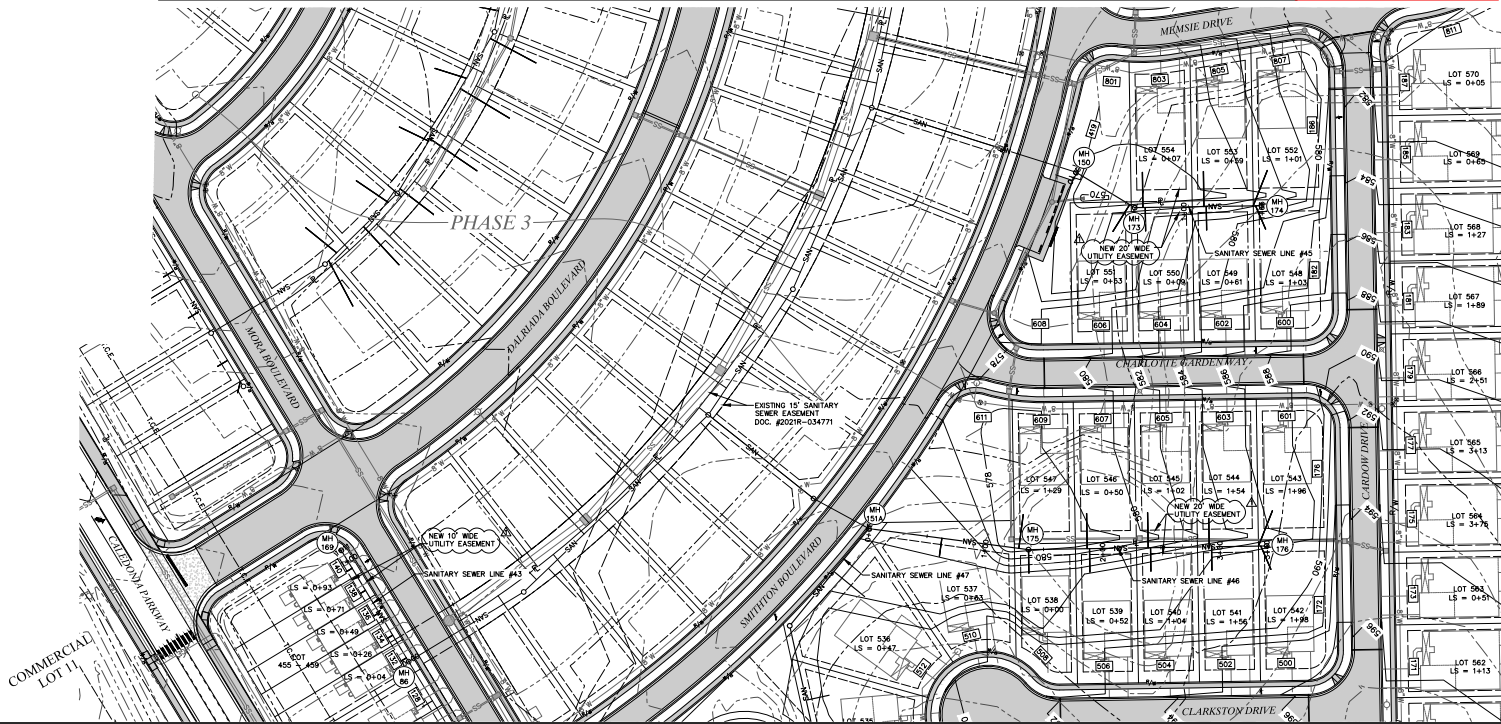
MAY 09, 2022

1"=50'  
1"=10'  
17-6821

C11.04A

DWG NAME: FA17-6821 - 260 Area Tract along Hwy 40, Ofallon, MO (As-Built) Phase 4A Sanitary Sewer Lines #43, 45 & 46. Phase 4a.dwg. LAYOUT DATE: C11.04A. PLOTTED ON: Feb 23, 2023 - 12:46pm. PLOTTED BY: jmyer

# SANITARY SEWER PLAN & PROFILE LINES #45 & 46 - PHASE 4B (AS-BUILT)



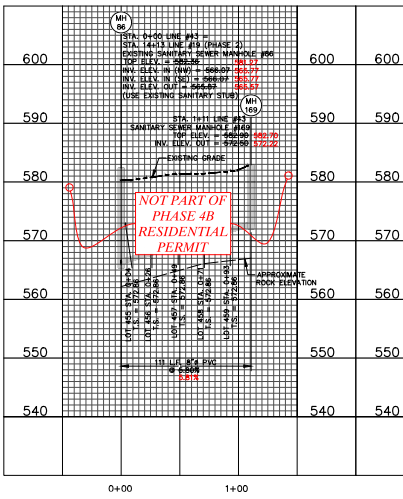
MAY, 2022

### LEGEND

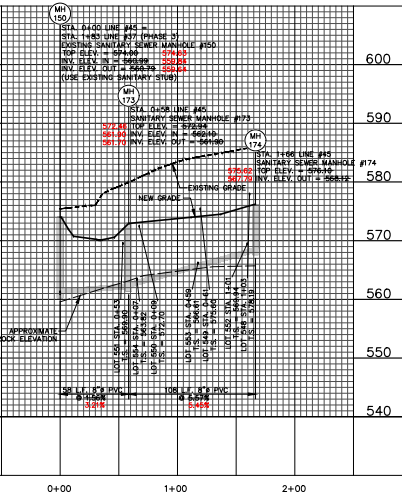
EXISTING	PROPOSED
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INTERIMBARE CONTOUR	INTERIMBARE CONTOUR
PROPERTY LINE	PROPERTY LINE
RIGHT-OF-WAY	RIGHT-OF-WAY
LOT LINE	LOT LINE
EASEMENT	EASEMENT
AERIAL ELECTRIC	AERIAL ELECTRIC
UTILITY POLE / DWP WIRE	UTILITY POLE / DWP WIRE
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
CATV	CATV
UNDERGROUND CABLE TV	UNDERGROUND CABLE TV
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
UNDERGROUND FIBER OPTIC	UNDERGROUND FIBER OPTIC
SANITARY SEWER	SANITARY SEWER
SANITARY MANHOLE	SANITARY MANHOLE
STORM SEWER	STORM SEWER
GRATED INLET	GRATED INLET
FLARED END SECTIONS	FLARED END SECTIONS
GAS LINE	GAS LINE
GAS VALVE	GAS VALVE
GAS METER	GAS METER
WATER LINE (S&E)	WATER LINE (S&E)
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
WATER METER	WATER METER
FENCE	FENCE
PAVEMENT	PAVEMENT

- #### DUCKETT CREEK SANITARY DISTRICT NOTES:
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  - PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, LE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SLOPE PLAN OF THE ROAD.
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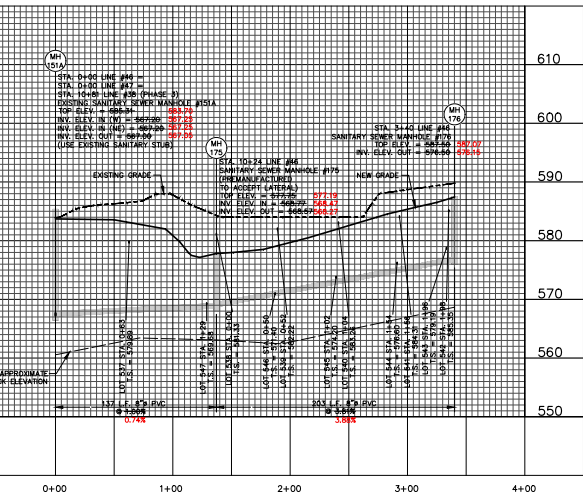
### LINE #43



### LINE #45



### LINE #46



314 S. 45th St. Ste. 100  
 636-284-2072 (fax)  
 636-284-2072 (cell)  
 mullican@mullican.com  
 mullican.com

3301 E. Independence Dr.  
 Independence, MO 64056

**MULICAN**

Professional Engineer  
 License No. 000350  
 Professional Engineer  
 License No. 000350

Missouri State Certificate of Authority Number: 000350  
 Engineering: 000350  
 Architecture: 000350  
 Professional Engineer License No. 000350

Missouri State Certificate of Authority Number: 000350  
 Engineering: 000350  
 Architecture: 000350  
 Professional Engineer License No. 000350

THE STREETS OF CALEDONIA  
 PHASE 4B RESIDENTIAL  
 OF FALLON, MISSOURI

SANITARY SEWER PLAN & PROFILE LINES #45, & 46  
 06-07-22A GREGG REVISED

DATE	BY	DESCRIPTION
MAY 09, 2022	JMM	ERR

SCALE: 1"=10'  
 SHEET NO. 17-6821

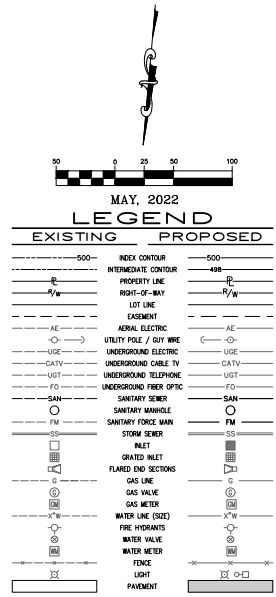
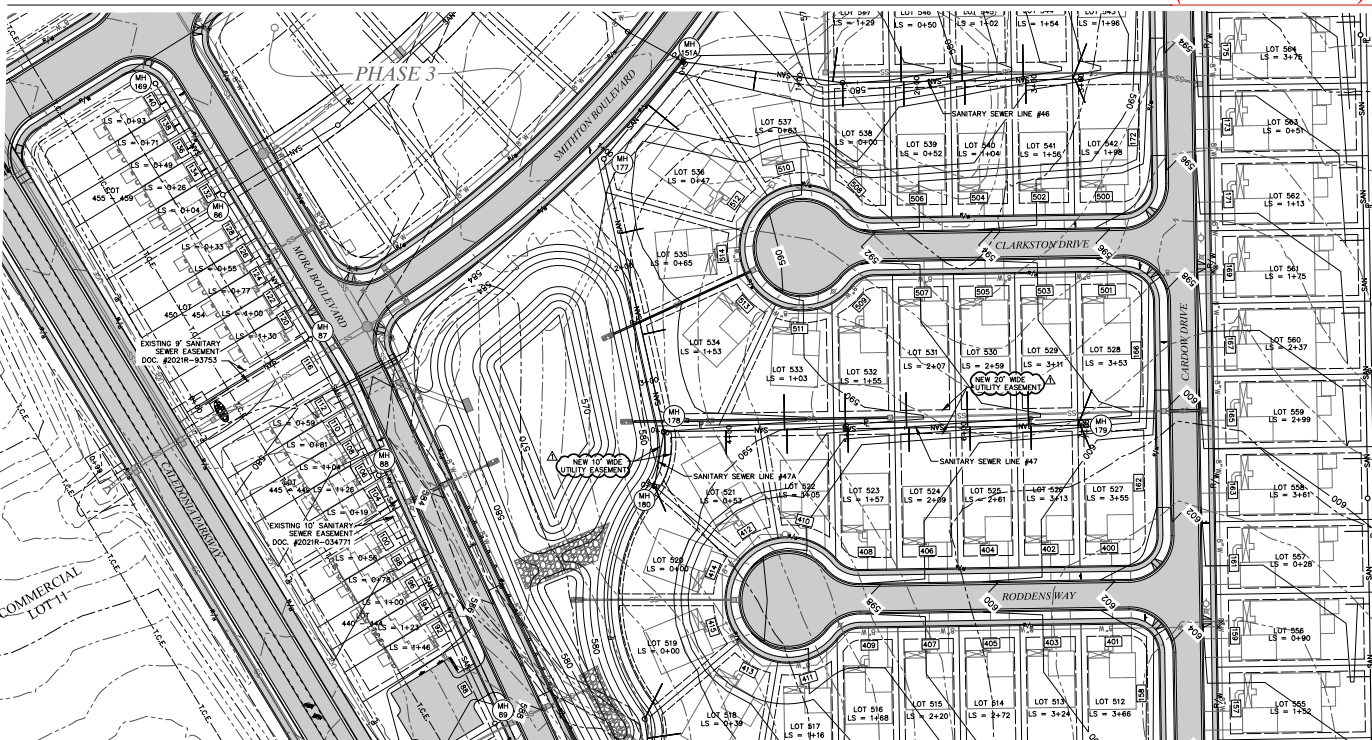
OWNER/DEVELOPER:  
 DD LAND DEVELOPMENT, LLC  
 10672 BAUR RD., SUITE D  
 ST. LOUIS, MO 63132

**C11.04B**

DWG NAME: FA17-6821 - 260 Area Tract along Hwy 40, Ofallon, MO (As-Built) Phase 4B Sanitary Sewer Lines #43, 45 & 46 - Phase 4B Residential Permit  
 PLOTTED ON: Aug 02, 2023 - 2:55pm  
 PLOTTED BY: jmm



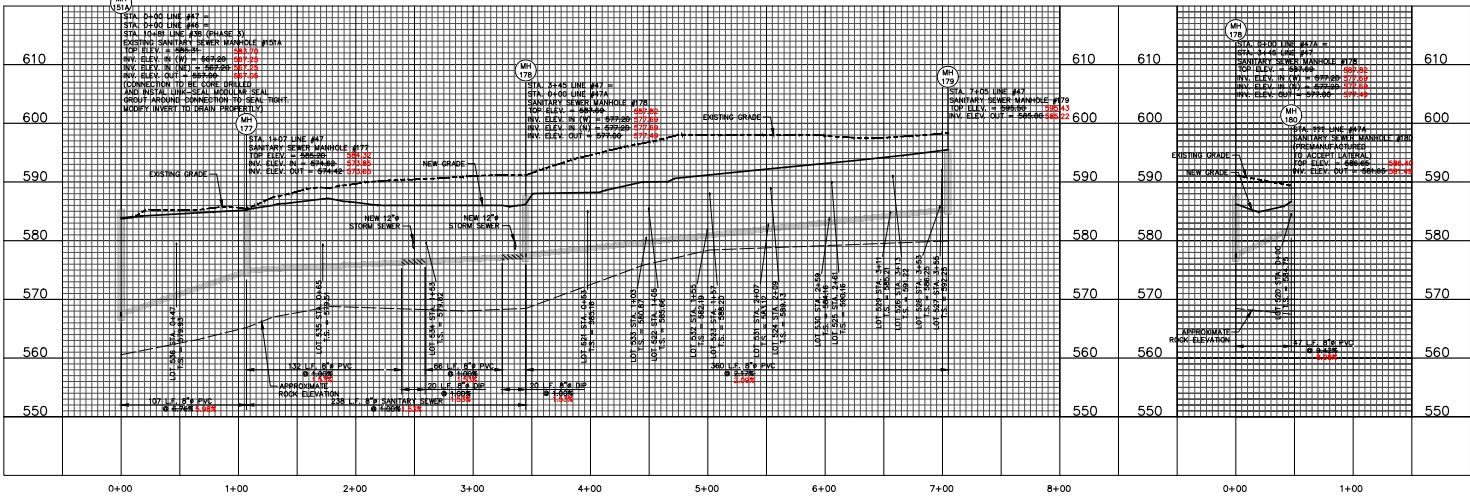
# SANITARY SEWER PLAN & PROFILE LINES #47 & 47A - PHASE 4B (AS-BUILT)



- DUCKETT CHECK SANITARY DISTRICT NOTES:**
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
  - INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (636)441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED.
  - THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO THE WORK. ESCROW RELEASE TO THE DEVELOPER. 35 PVC PER ASTM D 3034 OR SCHEDULE 50 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
  - ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.
  - ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.
- ALL SANITARY SEWER LATERALS AND SANITARY MAINS THAT CROSS UNDER THE PAVEMENT MUST HAVE PROPER GRANULAR BACKFILL AND REQUIRED COMPACTION.
- PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, LE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SLEAK PLAN OF THE ROAD.
- CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.

**LINE #47**

**LINE #47A**



3141 S. 14th St. St. Louis, MO 63104  
 636-344-2072 (fax)  
 636-344-2072 (cell)  
 636-344-2072 (home)  
 636-344-2072 (office)  
 636-344-2072 (fax)  
 636-344-2072 (cell)  
 636-344-2072 (home)  
 636-344-2072 (office)

**COCHAN**  
 A Subsidiary of  
 CH2M HILL  
 A GEACOR COMPANY

Missouri State Certificate of Authority Number: 000380  
 Engineering: 001650  
 Architecture: 0002514240

Professional Engineer  
 Professional Architect  
 Professional Surveyor  
 Professional Geologist  
 Professional Planner  
 Professional Engineer  
 Professional Architect  
 Professional Surveyor  
 Professional Geologist  
 Professional Planner

THE STREETS OF CALEDONIA  
 PHASE 4B RESIDENTIAL  
 OF FALLON, MISSOURI

SANITARY SEWER PLAN & PROFILE LINES #47 & 47A  
 06-01-22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231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