PHASE 4 RESIDENTIAL IMPROVEMENTS PLANS FOR THE STREETS OF CALEDONIA IN THE CITY OF O'FALLON, MISSOURI

CONTACT INFORMATION

OWNER

OWNER: DD LAND DEVELOPMENT, LLC
REPRESENTATIVE: JEFF THOELE
ADDRESS: 10407 BAUR BLVD. SUITE B, ST. LOUIS, MO 63132
PHONE: 314-996-0300

STREETS/STORM SEWER

OWNER: CITY OF O'FALLON
REPRESENTATIVE: WADE MONTGOMERY
ADDRESS: 100 N. MAIN STREET O'FALLON, MO 63366
PHONE: 636-379-5567

WATER

OWNER: PUBLIC WATER SUPPLY DISTRICT #2
REPRESENTATIVE: CHUCK KRAKOSKY
ADDRESS: 100 WATER DRIVE O'FALLON, MO 63368
PHONE: 636-561-3737 EXT. 131

SANITARY SEWER

OWNER: DUCKETT CREEK
REPRESENTATIVE: MIKE MERKT
ADDRESS: 3550 HIGHWAY K, O'FALLON, MO 63368
PHONE: 636-441-1244

ELECTRIC

OWNER: CUIVRE RIVER ELECTRIC COOP.
REPRESENTATIVE: DAN SCHNEIDER
ADDRESS: 8757 HWY N, LAKE ST. LOUIS, MO
PHONE: 636-695-4741

GAS

OWNER: SPIRE
REPRESENTATIVE: RICHARD FROCK
ADDRESS: 1999 TRADE CENTER DR., EAST ST. PETERS, MO 63376
PHONE: 816-472-3489

TELEPHONE

OWNER: CENTURY LINK
REPRESENTATIVE: TIM HOWE
ADDRESS: 1151 CENTURYLINK DR., WENTZVILLE, MO, 63385
PHONE: 636-445-7055

TELEPHONE

OWNER: CHARTER COMMUNICATIONS
REPRESENTATIVE: LARRY RICHARDSON
ADDRESS: 101 NORTHWEST PLAZA DR. ST. ANN MO 63074
PHONE: 314-393-6295

SPECIAL NOTES :

FOR QUESTIONS OR CLARIFICATIONS CONTACT ELLIOTT REED AT 636-584-0540

FIRE DEPARTMENT

OWNER: WENTZVILLE FIRE DISTRICT
REPRESENTATIVE: CHRIS CUDDIHEE
ADDRESS: 209 WEST PEARCE BLVD. WENTZVILLE, MO 63385
PHONE: 636-332-9869

DEVELOPER

OWNER: PAYNE FAMILY HOMES
REPRESENTATIVE: JEFF THOELE
ADDRESS: 10407 BAUR BLVD. SUITE B, ST. LOUIS, MO 63132
PHONE: 314-996-0300

CITY CONDITIONS:

Planning and Zoning Commission recommends approval of the Final Plan based on the following findings and conditions:

1. Prior to the issuance of building permits for 40% of the total units, all recreational amenitities shall be open for use.
2. Ensure that mail kiosk and on street parking is revised per the sight distance study.
3. The Municipal Code requirements listed above shall be addressed on the Construction Site Plans.
4. Signs shall be reviewed through a separate review process.
5. Work with staff on the pedestrian crossings throughout the development.
6. Revised the width on the typical lot detail from 50' to 52'.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 31.38 acres
Number of proposed units is 151
Building setback information. Front 20'
Side 6'
Rear 15'

* The estimated Phase 4 sanitary flow in gallons per day is 151 homes * 370 gal/home/day = 55,870 gallons

* Landscape Requirements Phase 4
Phase 4 residential lots: 151 Single Family lots – 1 tree per unit = 151 trees
Phase 4 residential lots: 14 corner lots X 1 tree per lot = 14 trees
Tree preservation 31.38 acres X 15 trees/acre = 470.7 or 471 trees

Total Phase 4 residential trees required = 636 trees

Total Phase 4 trees provided: 636 trees

PHASE	AREA	PRESERVATION TREES
1 NORTH	32.53 AC.	488 TREES
1 SOUTH	30.00 AC.	450 TREES
2	6.90 AC.	104 TREES
3	53.39 AC.	801 TREES
4	31.38 AC.	471 TREES
TOTAL	154.20 AC.	2,314 TREES

P&Z No. 21-010873
P&Z Approval Date: 03/03/22

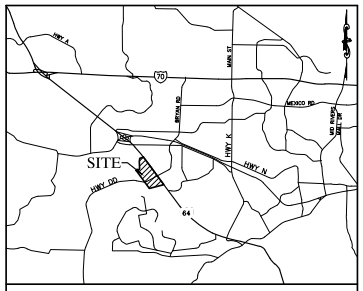
Permit No.

Project Benchmark: Missouri Geographic Reference System Station SC-37, Published Elevation = 631.23.

Site Benchmark #1: Cross along Caledonia Parkway adjacent to Townhouse Lots 445-449 Elev. = 583.38 (See Grading Plan, Sheet C5.0)

Site Benchmark #2: Cross along Caledonia Parkway adjacent to Townhouse Lots 420-423 Elev. = 596.64 (See Grading Plan, Sheet C5.01)

CITY OF O'FALLON
ENGINEERING DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: _____ DATE_____
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN



VICINITY MAP
NO SCALE

PROJECT NO. 17-6821

COCHRAN

- CIVIL ENGINEERING
- LAND SURVEYING
- ARCHITECTURE
- SITE DEVELOPMENT
- MASTER PLANNING
- GENERAL CONSULTING

530A E. INDEPENDENCE DRIVE, UNION, MISSOURI 63084
TELEPHONE (636) 584-0540
FAX (636) 584-0512
E-MAIL mail@cochraneng.com

MAY, 2022
REVISED: JULY 13, 2022

AS-BUILT

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AS-BUILT PUBLIC UTILITY FINAL MEASUREMENTS

THE FOLLOWING UTILITES HAVE BEEN LOCATED AND MEASURED AND THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS:

- STORM SEWERS, STORM SEWER LENGTHS, STORM SEWER PIPE SIZES, STORM SEWER FLOWLINES AND DEPTHS OF STORM SEWER STRUCTURES.
- SANITARY SEWERS, SANITARY SEWER LENGTHS, SANITARY SEWER PIPE SIZES, SANITARY SEWER FLOWLINES AND DEPTHS OF SANITARY SEWER STRUCTURES.
- FIRE HYDRANTS, WATER VALVES.
- TOPOGRAPHY AND SECTIONS OF BASINS WITH SPOT ELEVATIONS.
- SPOT ELEVATIONS AT STREET INTERSECTION, CENTER OF CUL-DE-SAC AND CENTERLINE OF PERMANENT DRAINAGE SWALES THAT CARRY 1 C.F.S. OR MORE.
- LIGHT STANDARDS.

ALL PUBLIC UTILITIES SHOWN HEREON AS BEING AS-BUILT ARE LOCATED WITHIN DESIGNATED EXISTING OR PROPOSED EASEMENTS.

ALL SHEETS WITHIN THIS SUBMITTAL ARE SHOWN IN THE ABOVE SHEET INDEX.

CB ENGINEERING INC.
DBA COCHRAN

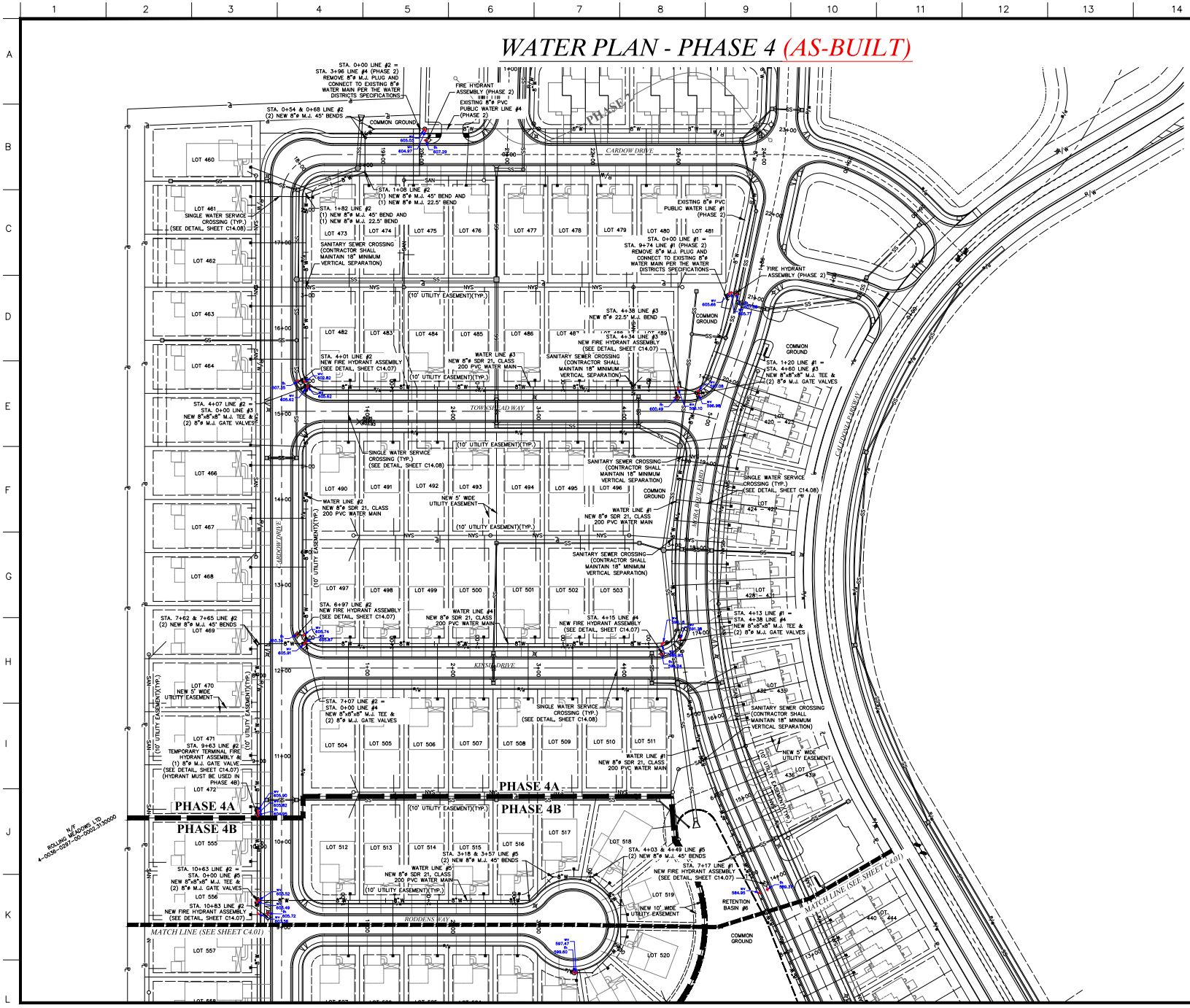
Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\00_Cover Sheet Phase 4.dwg LAYOUT TAB: COVER SHEET PLOTTED ON: Jun 07, 2024 - 3:38pm PLOTTED BY: rgates

WATER PLAN - PHASE 4 (AS-BUILT)



MAY, 2022

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY	
	LOT LINE	
	EASEMENT	
	BUILDING SETBACK	
UGE	UNDERGROUND ELECTRIC	UGE
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
W	WATER LINE	W
	FIRE HYDRANTS	
	WATER VALVE	
	FENCE	
	LIGHT	
	ASPHALT PAVEMENT	

NOTES:

1. WATER DISTRICT REQUIRES A MINIMUM OF 42" AND A MAXIMUM OF 72" OF COVER OVER IT'S WATER MAINS.
2. ALL STREET CROSSINGS SHALL HAVE FULL DEPTH COMPACTED GRANULAR BACKFILL.
3. ALL VERTICAL BENDS TO INCLUDE RETAINER GLANDS.
4. ALL METER PITS MUST BE INSTALLED IN GREEN SPACE PER PWSD 2 SPECIFICATIONS.
5. ALL OFF-SITE WATER SYSTEM WORK MUST BE RESTORED WITH SOD UNLESS OTHER CONSIDERATION IS REQUESTED BY THE OFF-SITE PROPERTY OWNER.
6. IT WILL BE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS. COPIES OF ALL REQUIRED PERMITS SHALL BE PROVIDED TO THE WATER DISTRICT PRIOR TO CONSTRUCTION.
7. WATER EXTENSION AGREEMENTS WILL BE REQUIRED FOR EACH PHASE BEFORE CONSTRUCTION CAN BEGIN.
8. WATER DISTRICT REQUIRES AT LEAST 18" OF HORIZONTAL SEPARATION BETWEEN CROSSINGS.
9. WATER DISTRICT REQUIRES ONE (1) WEEK NOTICE BEFORE THE START OF CONSTRUCTION.
10. ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT PWSD#2 OF ST. CHARLES COUNTY GUIDELINES AND SPECIFICATION AS APPROVED BY MDNR REVIEW NO. 6050805-13.
11. ALL PROPOSED CONNECTIONS TO AN EXISTING PUBLIC WATER MAIN SHALL BE MADE PER THE WATER DISTRICT'S SPECIFICATIONS.
12. ALL PUBLIC FIRE HYDRANTS SHALL BE PAINTED CHROME YELLOW PER THE WATER DISTRICTS SPECIFICATIONS.

PROVIDE GRANULAR BACKFILL TO ALL WATER MAIN TRENCHES THAT CROSS THE PAVEMENT, LIE WHTIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SHEAR PLANE OF THE ROAD.

"0" IN OPEN WAS SHOT FOR FIRE HYDRANT AS-BUILTS

OWNER/DEVELOPER:
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10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

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COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Strategic Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One Call 1-800-Dig-RITE for utility location information.

All OSHA rules & regulations established for the job site must be followed. Trench walls, ladders, etc. shall be strictly followed by trenching, shoring, etc.

STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009017722
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

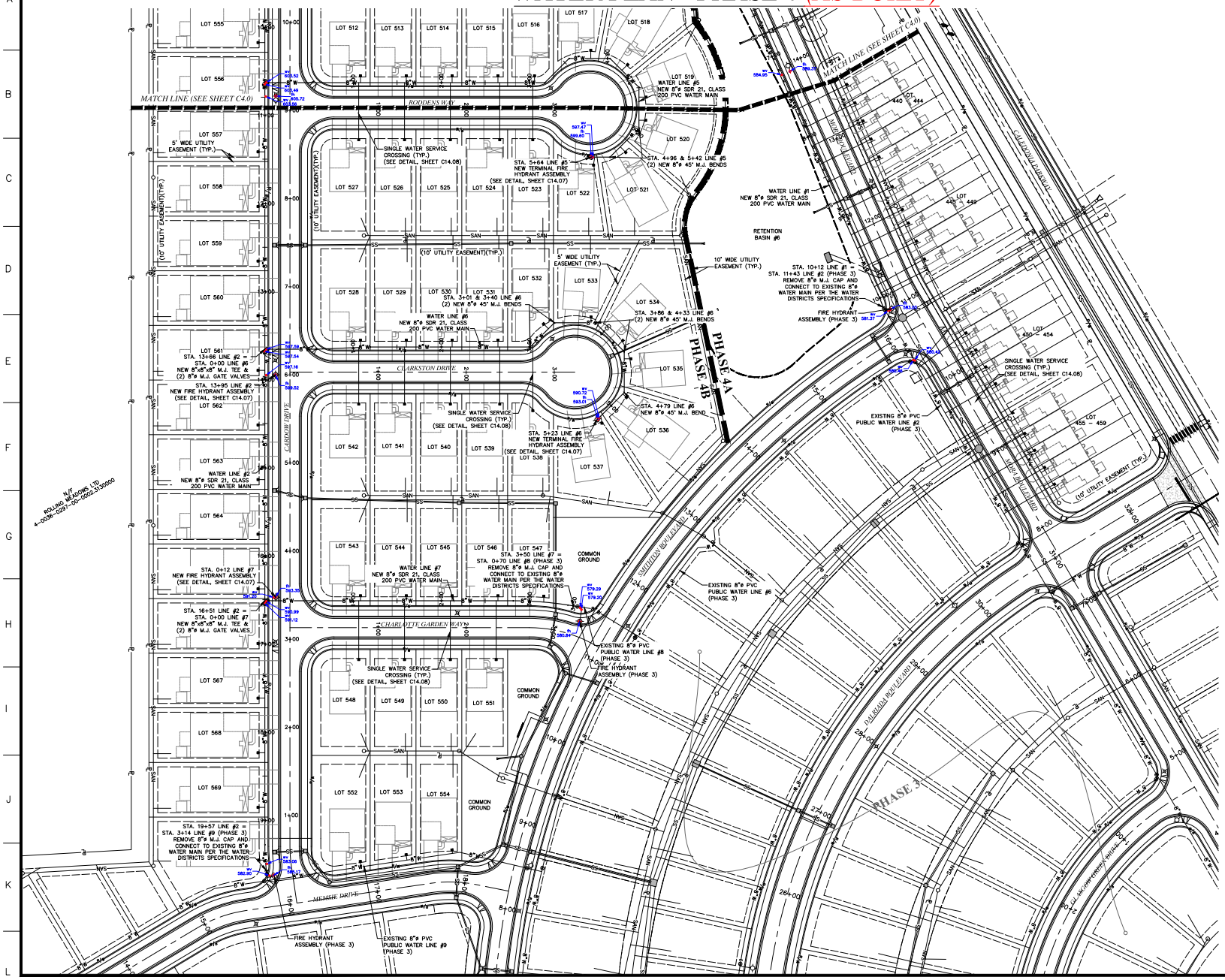
REVISIONS		
DATE	REVISION	APPD. BY

WATER PLAN - PHASE 4

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
SCALE: 1" = 50'	
PROJ. NO.: 17-6821	
DWG. NO.: C4.0	

Drawing name: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\09_Water Plan Phase 4.dwg Tab: WATER PLAN PH4-1 Plotted on: Nov 09, 2023 - 8:01am Plotted by: jmayer

WATER PLAN - PHASE 4 (AS-BUILT)



MAY, 2022

LEGEND

EXISTING		PROPOSED
	PROPERTY LINE	
	RIGHT-OF-WAY	
	LOT LINE	
	EASEMENT	
	BUILDING SETBACK	
UGE	UNDERGROUND ELECTRIC	UGE
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
W	WATER LINE	W
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	FENCE	
	LIGHT	
	ASPHALT PAVEMENT	

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• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Street Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-Dig-Rite for utility location information.

All OSHA rules & regulations established for the job site shall be strictly followed. Safety, Safety, Safety, etc.

STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009017722
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

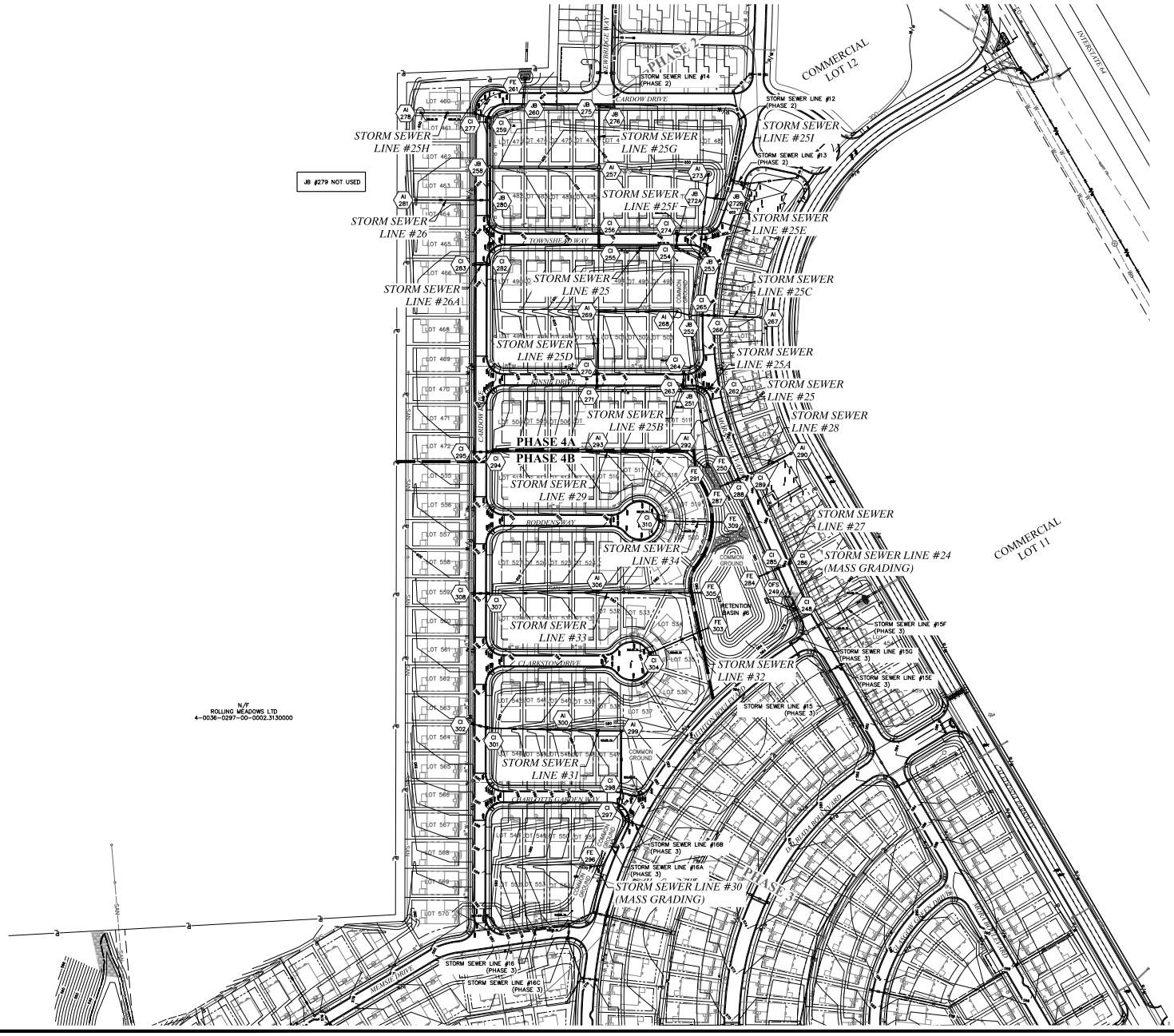
REV. NO.	DATE	REVISION	APPD. BY

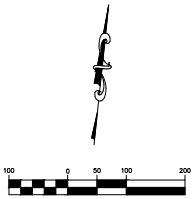
WATER PLAN - PHASE 4

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
SCALE: 1" = 50'	
PROJ. NO.: 17-6821	
DWG. NO.: C4.01	

Drawing name: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\09_Water Plan Phase 4.dwg Tab: WATER PLAN PH4-2 Plotted on: Nov 09, 2023 - 8:01am Plotted by: jmeyer

STORM SEWER PLAN OVERVIEW - PHASE 4 (AS-BUILT)





MAY, 2022

RETENTION BASIN #6
100 YR BLOCKED HWL = 582.85
100 YR HWL = 582.49
25 YR = 582.01
15 YR = 581.73
2 YR = 580.19
NORMAL POOL = 578.00
BOTTOM = 567.00

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Missouri State Certificate of Authority Numbers:
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Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One Call, call 1-800-Dig-RITE for utility location information.

All OSHA rules & regulations established for the job site shall be strictly followed. Plans shall be strictly followed to avoid wetlands, etc.

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

STORM SEWER PLAN OVERVIEW - PHASE 4

DATE	REVISIONS	DRW. BY	APPD. BY

DRW. BY	APPD. BY
JMM	ERR

DATE: MAY 09, 2022
SCALE: 1" = 100'
PROJ. NO.: 17-6821
DRWG. NO.: C9.0

Drawing name: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\16_Storm Sewer Plan Overview Phase 4.dwg Tab: STORM SEWER PLAN OVERVIEW PH4 Plotted on: Nov 23, 2022 - 2:33pm Plotted by: jmeyer

STORM SEWER PLAN & PROFILE
LINES #25 - 25B - PHASE 4 (AS-BUILT)

MAY, 2022

LEGEND

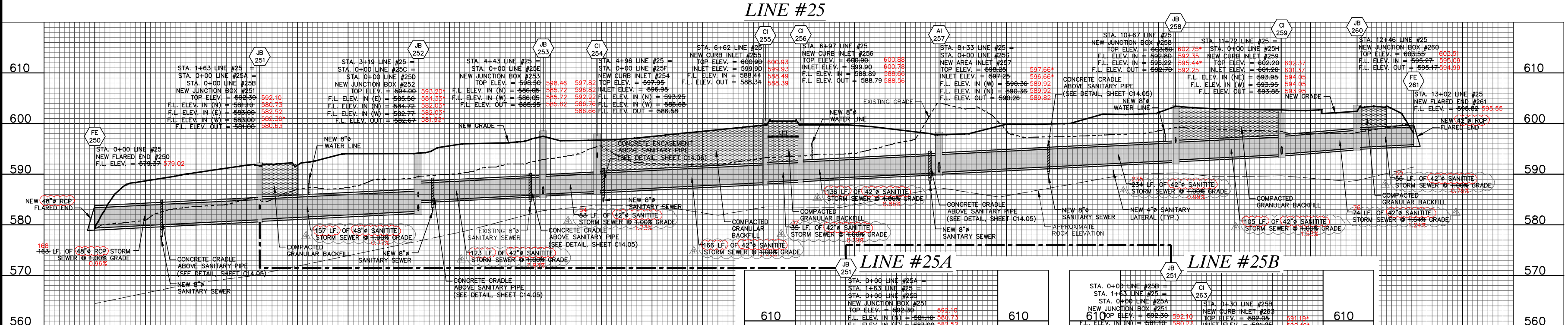
EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	498
	PROPERTY LINE	
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
	GAS METER	
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
	WATER METER	
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

UD = UNDERDRAIN (SEE DETAIL, SHEET C14.05)
T.I.E. (S) = TEMPORARY INLET ELEVATION (OPENING SIDE)

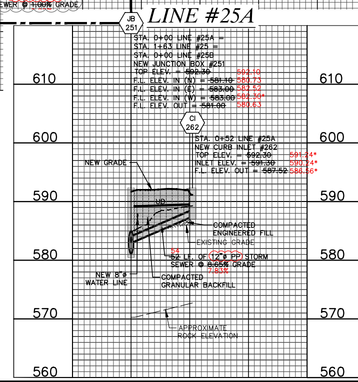
* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

RETENTION BASIN #6	
100 YR BLOCKED HWL	582.85
100 YR HWL	582.49
25 YR	582.01
15 YR	581.73
2 YR	580.19
NORMAL POOL	578.00
BOTTOM	567.00

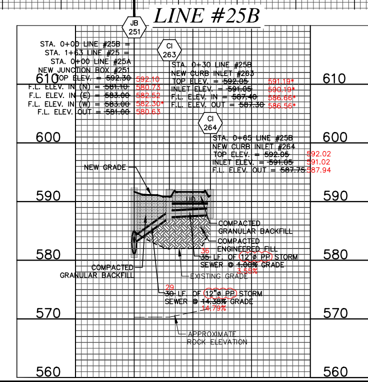
LINE #25



LINE #25A



LINE #25B



HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
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COCHRAN
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636-584-0512 (fax)
mail@cochraneng.com
Civil Engineering
Land Surveying
Architecture
Site Development
General Consulting
Master Planning

Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture : 2002014240

Three working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

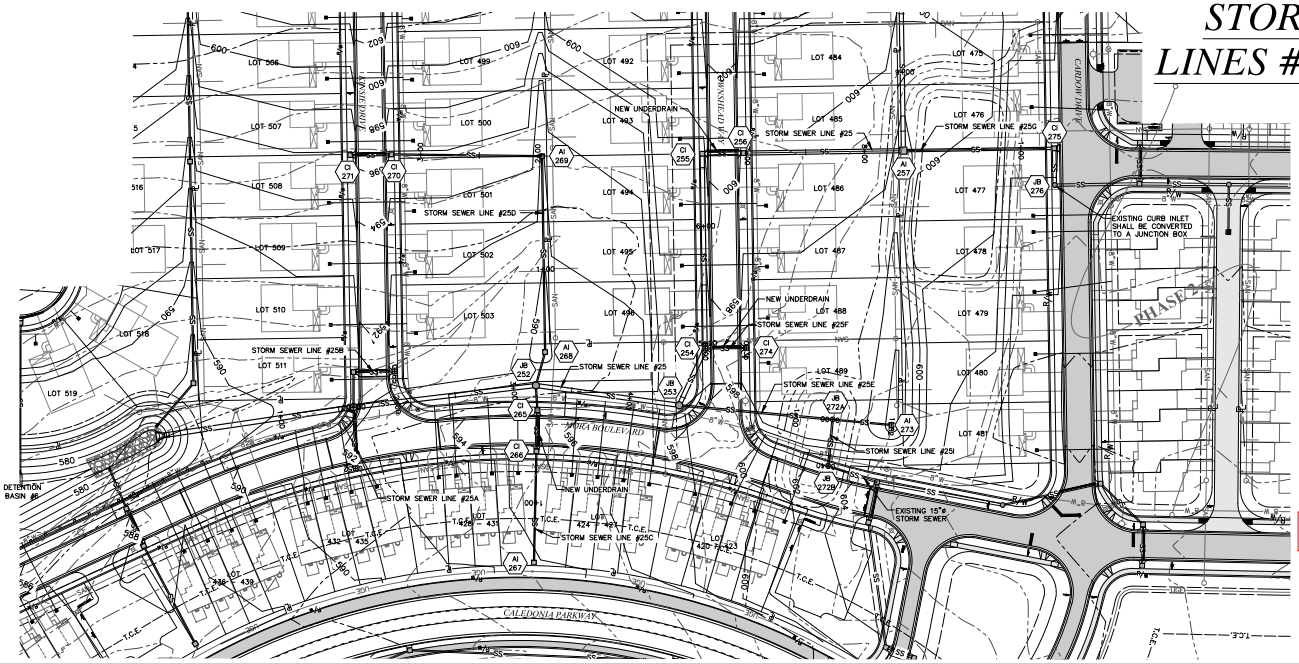
STORM SEWER PLAN & PROFILE LINES #25 - 25B

DATE	REVISION	DWN BY	APPD BY
07-13-22	SITE CHANGE DIRECTIVE #1	JMM	TES
09-20-22	STORM PIPE REVISIONS	JMM	TES

DWN. BY: JMM APPD. BY: ERR
DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C9.01

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\17_Storm Sewer Plan and Profile Lines #25-25B Phase 4.dwg LAYOUT TAB: C9.01 PLOTTED ON: Nov 30, 2023 - 3:10pm PLOTTED BY: jmeyer

STORM SEWER PLAN & PROFILE
LINES #25C - 25I - PHASE 4 (AS-BUILT)



* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

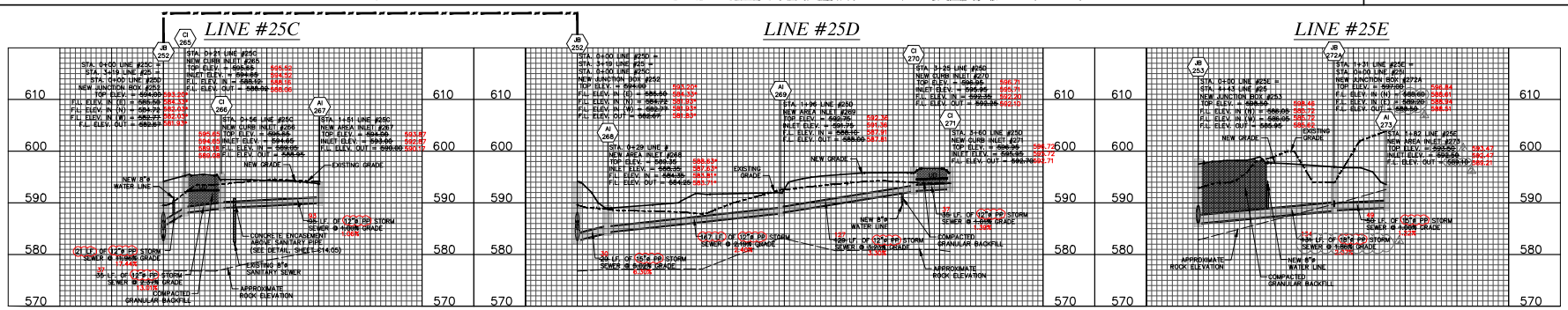
RETENTION BASIN #6
100 YR BLOCKED HWL = 582.85
100 YR HWL = 582.49
25 YR = 582.01
15 YR = 581.73
2 YR = 580.19
NORMAL POOL = 578.00
BOTTOM = 567.00

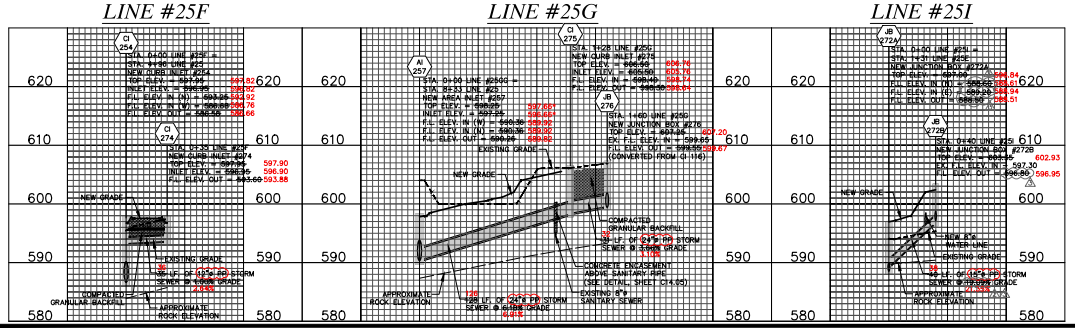
MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	498
	PROPERTY LINE	
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
GV	GAS VALVE	GV
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
WV	WATER VALVE	WV
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

UD = UNDERDRAIN (SEE DETAIL, SHEET C14.05)
T.I.E. (S) = TEMPORARY INLET ELEVATION (OPENING SIDE)





HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

CHRAN
530A E. Independence Dr.
Union, Missouri 63084
636-584-0540 (tel)
636-584-0512 (fax)
mail@ccontrueng.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Water Resources
• Master Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One Call, call 1-800-Dig-RITE for utility location information.

All OSHA rules & regulations established for the job site must be followed. Contractor plans shall be strictly followed for elevations, bearings, etc.

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

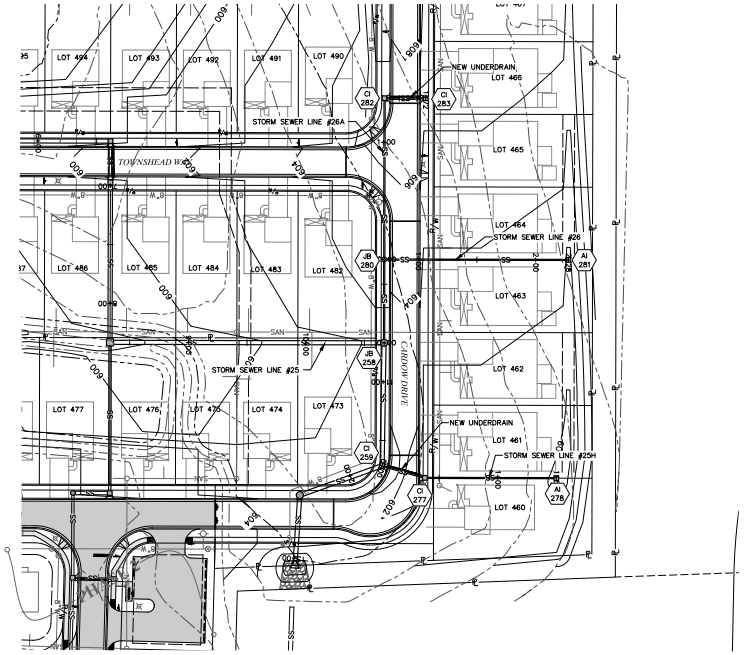
REV. NO.	REVISION	DATE	APPD. BY
2	CITY COMMENTS	06-22-22	JMM
1	SITE CHANGE DIRECTIVE #1	07-13-22	JMM

DRAWN BY:	JMM
APPD. BY:	ERR
DATE:	MAY 09, 2022
HOR. SCALE:	1"=50'
VERT. SCALE:	1"=10'
PROJ. NO.	17-6821
DWG. NO.	C9.02

STORM SEWER PLAN & PROFILE LINES #25C - 25I

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\18_Storm Sewer Plan and Profile Lines #25C-25I Phase 4.dwg LAYOUT TAB: C9.02 PLOTTED ON: Nov 30, 2023 - 3:15pm PLOTTED BY: jmeyer

STORM SEWER PLAN & PROFILE LINES
#25H - 26A - PHASE 4 (AS-BUILT)



MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	495
P	PROPERTY LINE	P
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
GV	GAS VALVE	GV
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
WV	WATER VALVE	WV
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

UD = UNDERDRAIN (SEE DETAIL, SHEET C14.05)
T.I.E. (S) = TEMPORARY INLET ELEVATION (OPENING SIDE)

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

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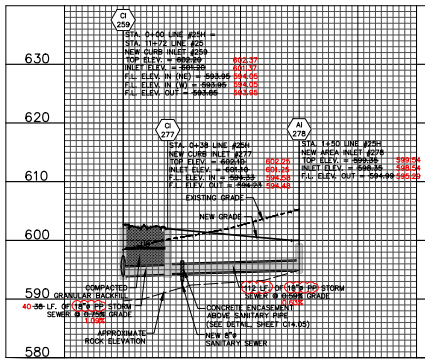
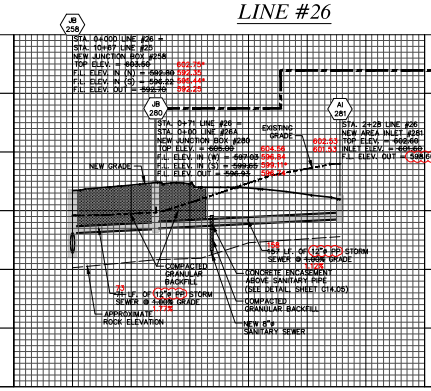
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

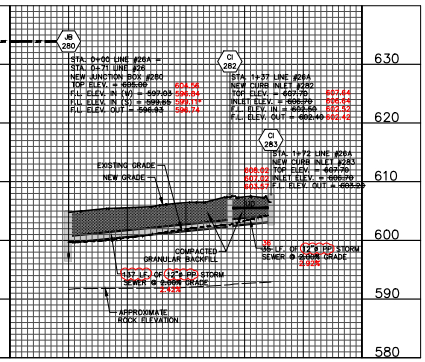
LINE #25H



LINE #26



LINE #26A



OWNER/DEVELOPER:
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ST. LOUIS, MO 63132

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636-584-0512 (fax)
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• Water Resources
• Coastal Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact the utility companies call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the job site and all applicable safety codes shall be strictly followed (ie. trenching, shoring, etc.)

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

REV. NO.	DATE	REVISION	DRN. BY	APPD. BY
1	07-13-23	SITE CHANGE DIRECTIVE #1	JMM	TES

STORM SEWER PLAN & PROFILE LINES #25H-26A

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=50'	
VERT. SCALE: 1"=10'	
PROJ. NO.: 17-6821	
DWG. NO.: C9.03	

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\19_Storm Sewer Plan and Profile Lines #25H-26A Phase 4.dwg LAYOUT TAB: C9.03 PLOTTED ON: Nov 30, 2023 - 3:35pm PLOTTED BY: jreyer

STORM SEWER PLAN & PROFILE
LINES #27 - 29 - PHASE 4 (AS-BUILT)

HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

50 0 25 50 100

MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	498
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

UD = UNDERDRAIN (SEE DETAIL, SHEET C14.05)
T.I.E. (S) = TEMPORARY INLET ELEVATION (OPENING SIDE)

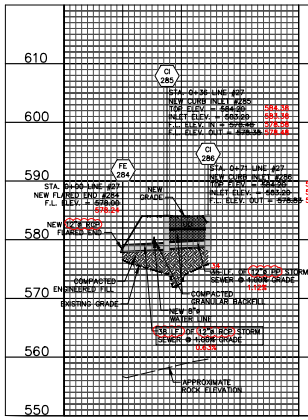
RETENTION BASIN #6
100 YR BLOCKED HWL = 582.85
100 YR HWL = 582.49
25 YR = 582.01
15 YR = 581.73
2 YR = 580.19
NORMAL POOL = 578.00
BOTTOM = 567.00

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

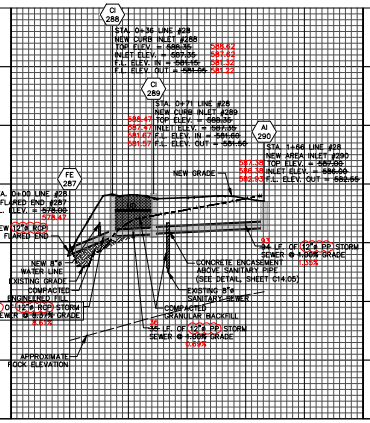
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

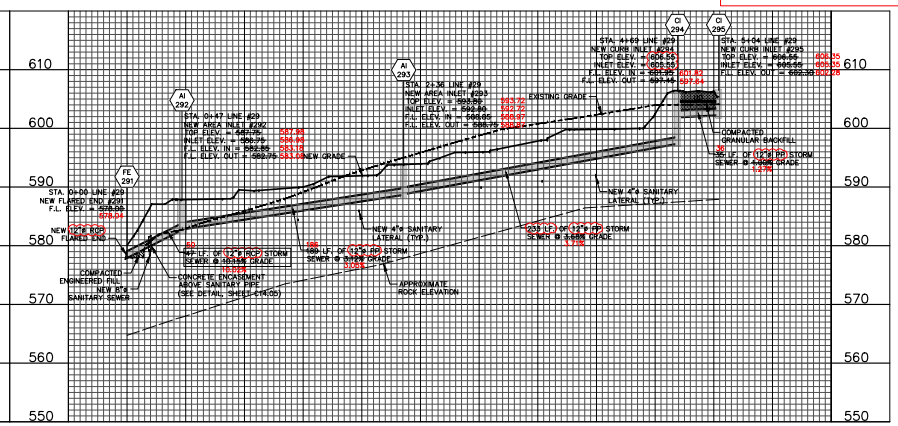
LINE #27



LINE #28



LINE #29



OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

636-584-0540 (tel.)
636-584-0512 (fax)
mail@cochranengineering.com
5300A E. Independence Dr.
Union, Missouri 63084
COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Water Resources
• Master Planning

Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the job site shall be strictly followed. Plans shall be strictly followed to meeting, bearing, etc.

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

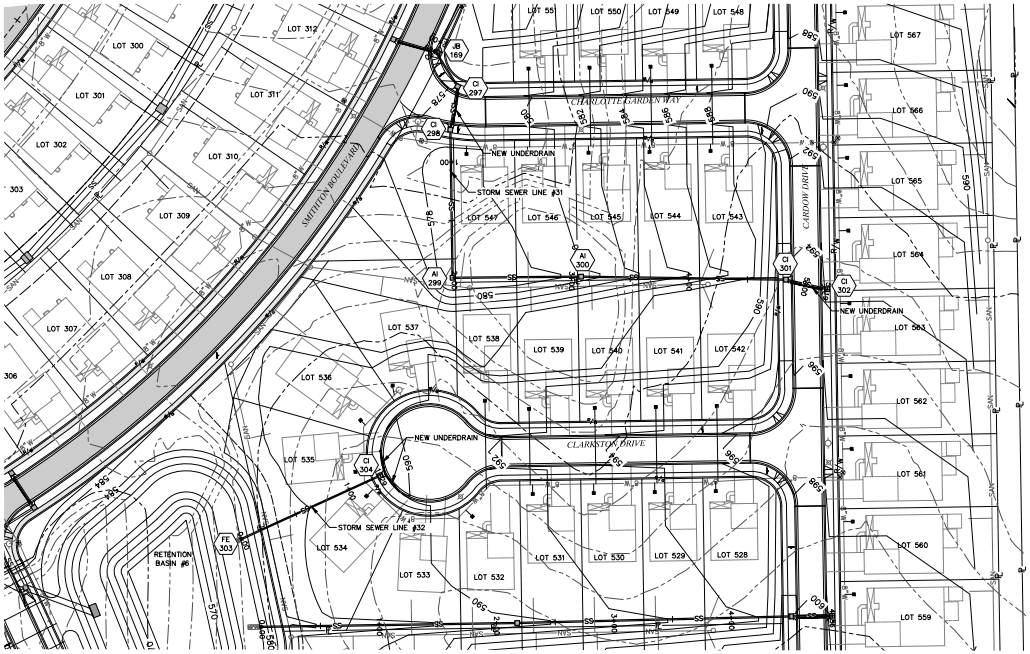
REV. NO.	DATE	REVISION	DRN. BY	APPD. BY
2	07-13-22	SITE CHANGE DIRECTIVE #1	JMM	TES

STORM SEWER PLAN & PROFILE LINES #27 - 29

DRN. BY: JMM
APPD. BY: ERR
DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C9.04

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\20_Storm Sewer Plan and Profile Lines #27-29 Phase 4.dwg LAYOUT TAB: C9.04 PLOTTED ON: Nov 30, 2023 - 3:41pm PLOTTED BY: jhreyer

STORM SEWER PLAN & PROFILE
LINES #31 & 32 - PHASE 4 (AS-BUILT)



MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	498
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
GV	GAS VALVE	GV
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

UD = UNDERDRAIN (SEE DETAIL, SHEET C14.05)
T.I.E. (S) = TEMPORARY INLET ELEVATION (OPENING SIDE)

RETENTION BASIN #6
100 YR BLOCKED HWL = 582.85
100 YR HWL = 582.49
25 YR = 582.01
15 YR = 581.73
2 YR = 580.19
NORMAL POOL = 578.00
BOTTOM = 567.00

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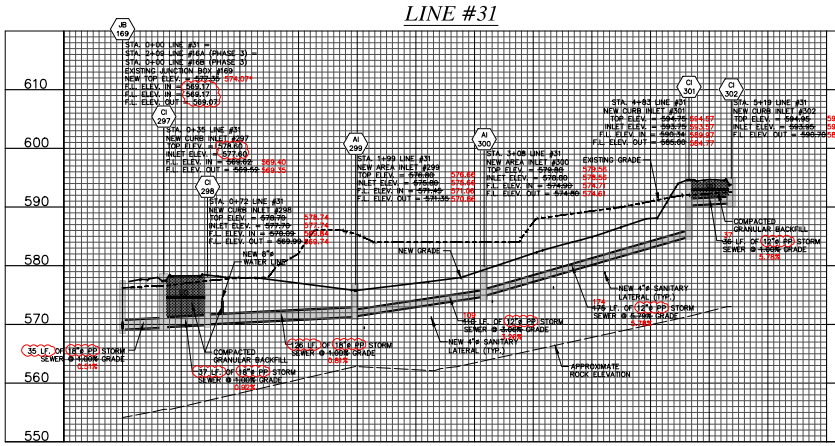
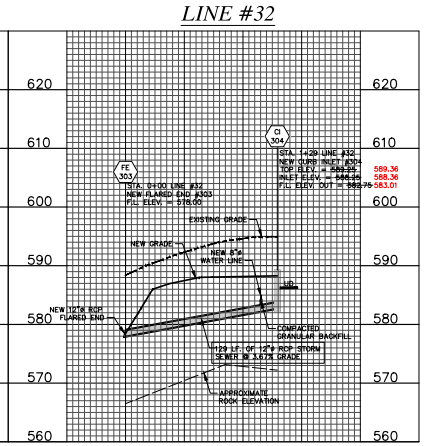
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

LINE #31



LINE #32



HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

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Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

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All OSHA rules & regulations established for the job site and trenching shall be strictly followed. (ie. trenching, shoring, etc.)

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

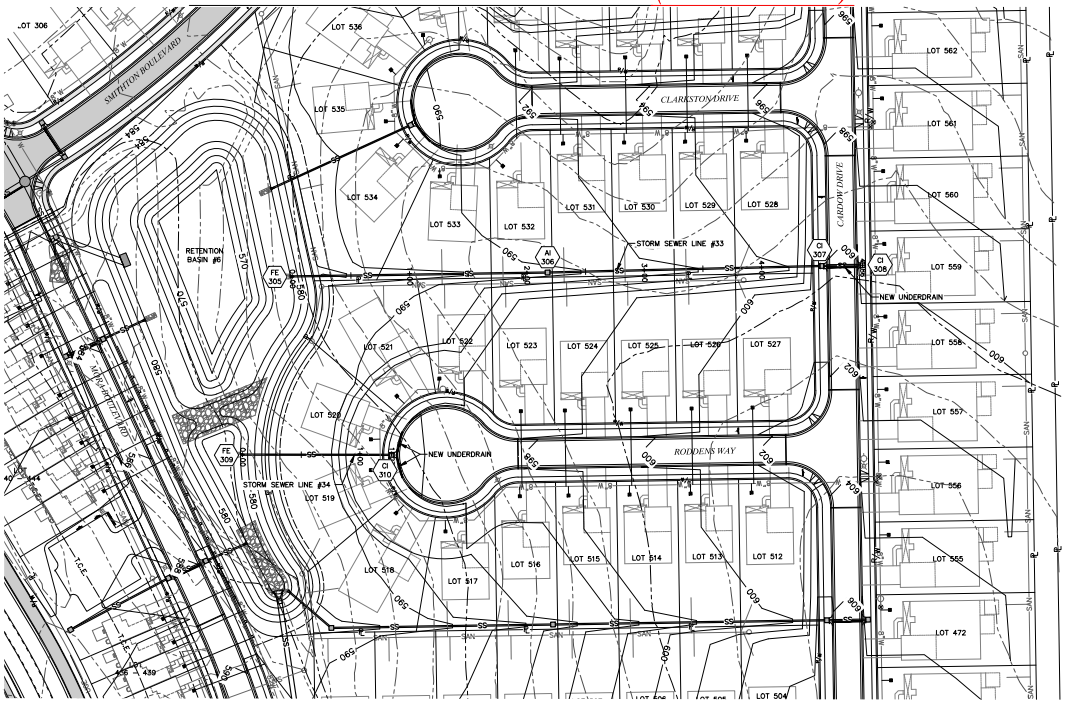
REV. NO.	REVISION	DRN. BY	APPD. BY
0/-13-22	SITE CHANGE DIRECTIVE #1	JMM	TES

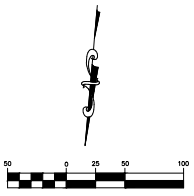
STORM SEWER PLAN & PROFILE LINES #31 & 32

DRN. BY: JMM | APPD. BY: ERR
DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C9.05

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\21_Storm Sewer Plan and Profile Lines #30-32 Phase 4.dwg LAYOUT TAB: C9.05 PLOTTED ON: Jun 04, 2024 - 3:25pm PLOTTED BY: jmeyer

STORM SEWER PLAN & PROFILE
LINES #33 & 34 - PHASE 4 (AS-BUILT)





LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	498
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

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100 YR HWL = 582.49
25 YR = 582.01
15 YR = 581.73
2 YR = 580.19
NORMAL POOL = 578.00
BOTTOM = 567.00

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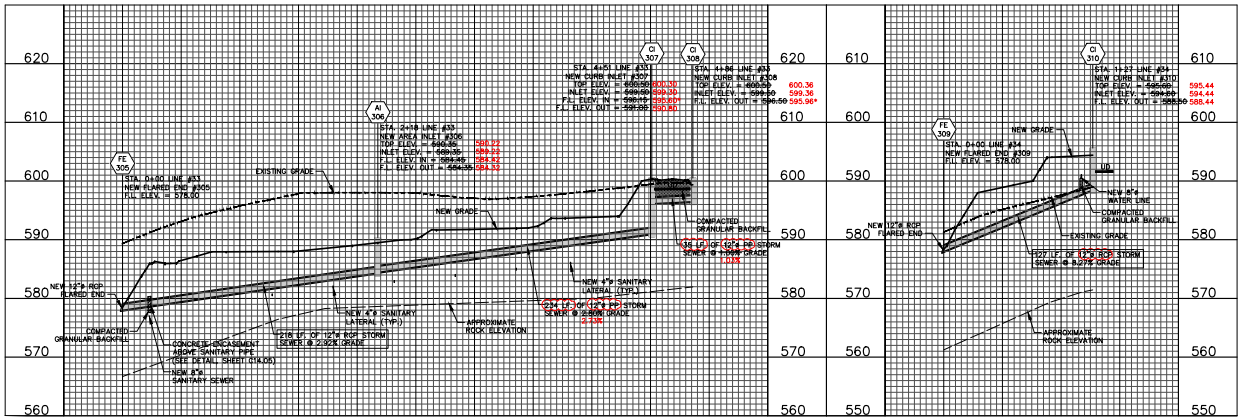
LINE #33



LINE #34

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10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

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OCHRAN
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• Sewer Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact the Missouri One Call 1-800-DIG-RITE for utility location information.

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PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

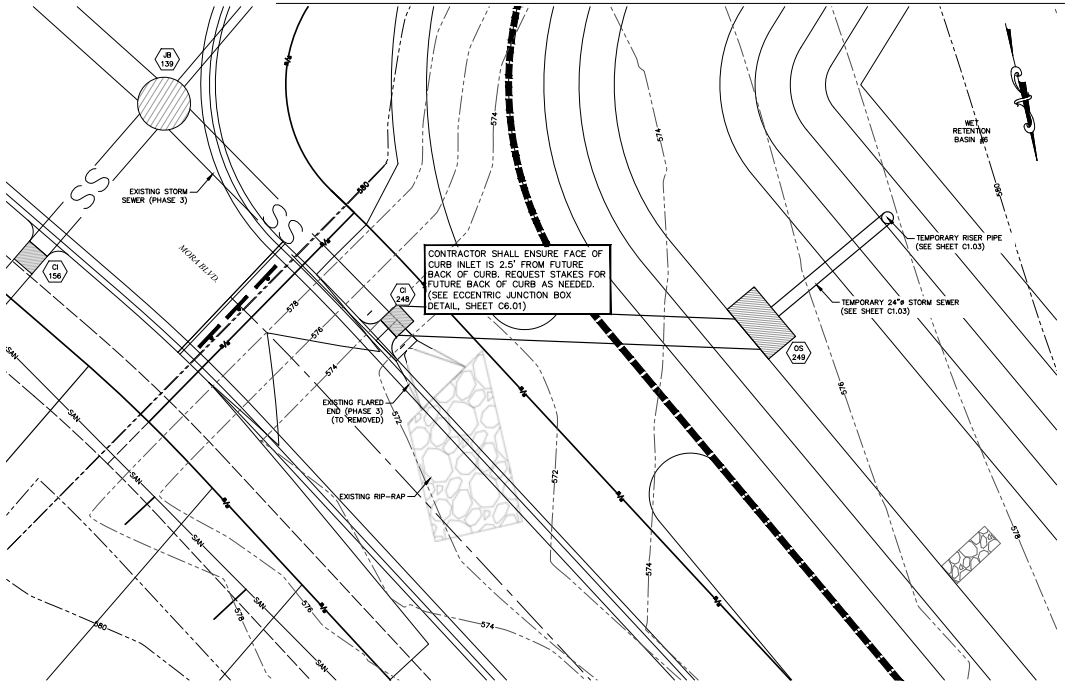
REV. NO.	REVISION	DRN. BY	APPD. BY
1	SITE CHANGE DIRECTIVE #1	JMM	TES
07-13-22			

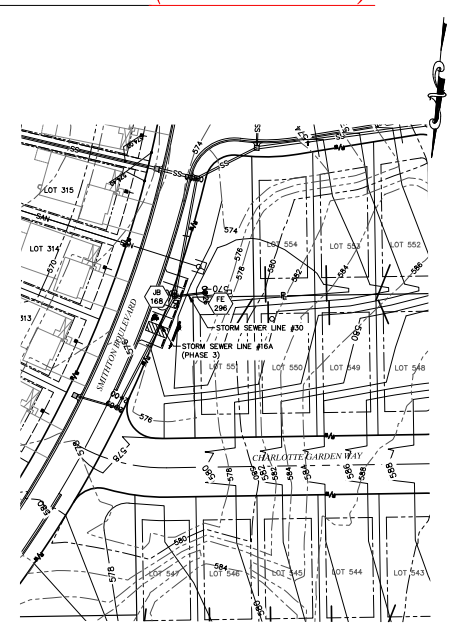
STORM SEWER PLAN & PROFILE LINES #33 & 34

DRN. BY: JMM | APPD. BY: ERR
DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C9.06

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\22_Storm Sewer Plan and Profile Lines #33 & 34 Phase 4.dwg LAYOUT TAB: C9.06 PLOTTED ON: Jun 04, 2024 - 3:32pm PLOTTED BY: jmeyer

STORM SEWER PLAN & PROFILE LINE #24 & 30 (AS-BUILT)





MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	GUARDRAIL	
	TREE	
	FENCE	
	LIGHT	
	CONCRETE PAVEMENT	

ALL STORM SEWERS ARE PUBLIC UNLESS NOTED OTHERWISE.

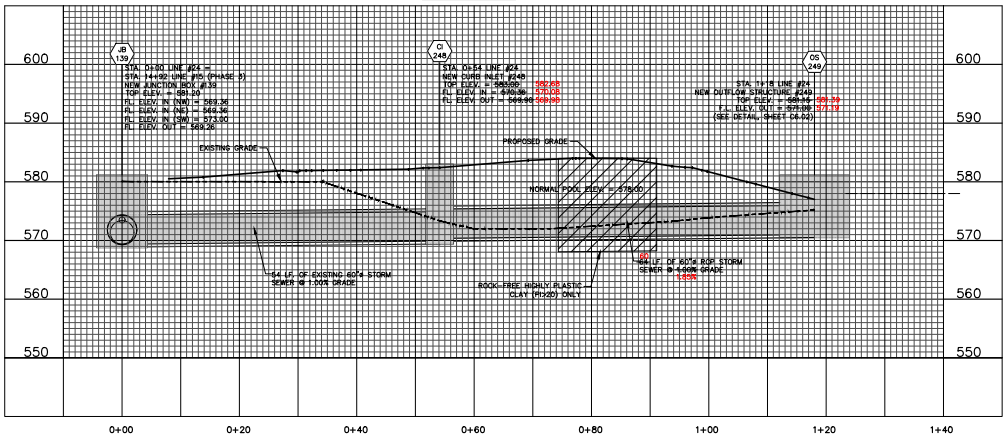
ALL AREA INLETS WILL BE OPEN ON 4 SIDES UNLESS NOTED OTHERWISE.

HDPE PIPE CAN BE USED AS AN ALTERNATE TO PP PIPE. REFERENCE ADS CORRUGATED PLASTIC PIPE STORM INSTALLATION GUIDE FOR DETAILS AND MANUFACTURING SPECIFICATIONS FOR THE INSTALLATION OF HDPE PIPE. SEE SHEET C14.04 FOR PIPE BEDDING DETAILS.

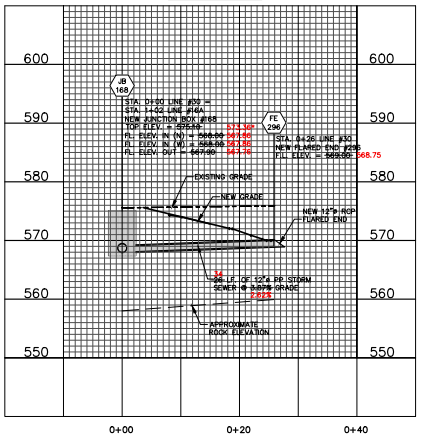
* AS-BUILT ELEVATION NOT WITHIN 0.5 FEET OF DESIGN ELEVATION.

NOTE:
TRENCH CUT FOR PIPE INSTALLATION WILL NOT BE ALLOWED. PIPE INSTALLATION SHALL BE DONE AT SAME TIME AS EMBANKMENT CONSTRUCTION TO INSURE COMPACTION AROUND & ABOVE PIPE.

LINE #24



LINE #30



OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

COCHRAN
5330A E. Independence Dr.
Union, Missouri 63084
636-584-0540 (tel)
636-584-0512 (fax)
mail@cochranengineering.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Water Resources
• Water Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One Call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the job site shall be strictly followed. Plans shall be strictly followed to meaning, bearing, etc.

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

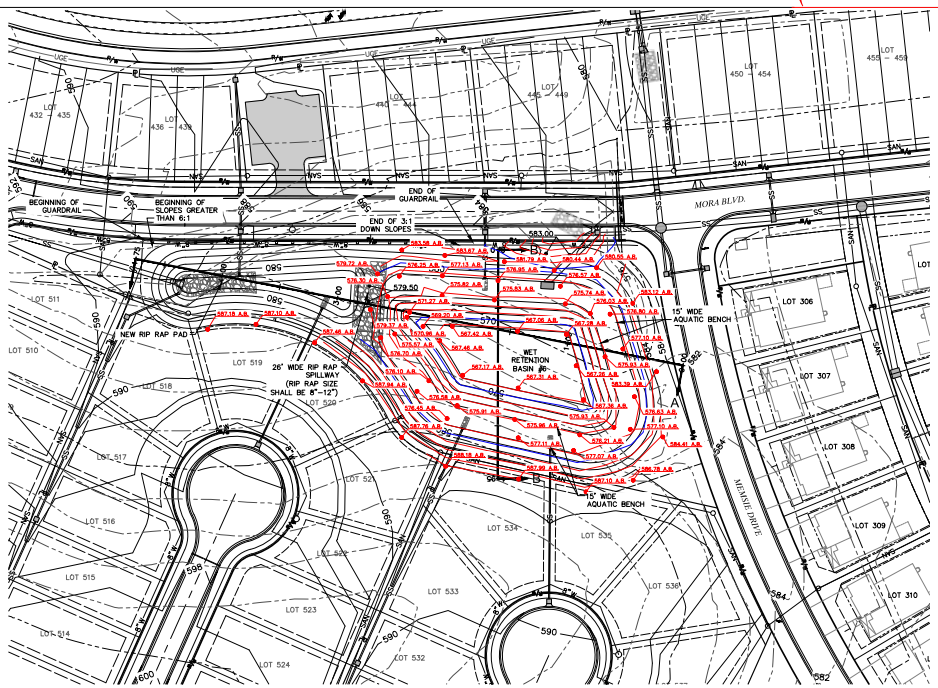
REV. NO.	REVISION	DRN. BY	APPD. BY
2	07-13-22 SITE CHANGE DIRECTIVE #1	JMM	TES

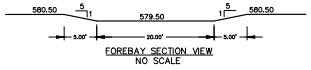
STORM SEWER PLAN & PROFILE LINE #24 & 30

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=10'	
VERT. SCALE: 1"=10'	
PROJ. NO.: 17-6821	
DWG. NO.: C9.07	

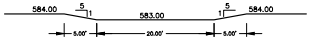
DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\23.5_Storm Sewer Plan and Profile Lines #24 & 30 Phase 4.dwg LAYOUT TAB: STORM LINE #24 PH4 PLOTTED ON: May 07, 2024 - 8:40am PLOTTED BY: jmeyer

RETENTION BASIN #6 CROSS-SECTIONS (AS-BUILT)

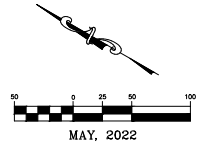




FOREBAY SECTION VIEW
NO SCALE

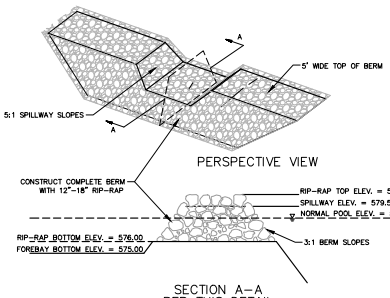


BASIN SPILLWAY SECTION VIEW
NO SCALE



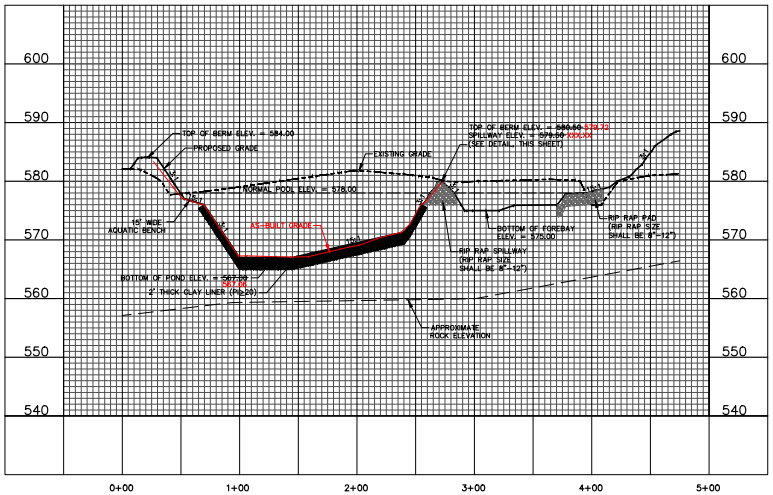
MAY, 2022

GRADING FOR THE BASIN WAS COMPLETED AS PART OF PHASE 4 MASS GRADING PLANS.

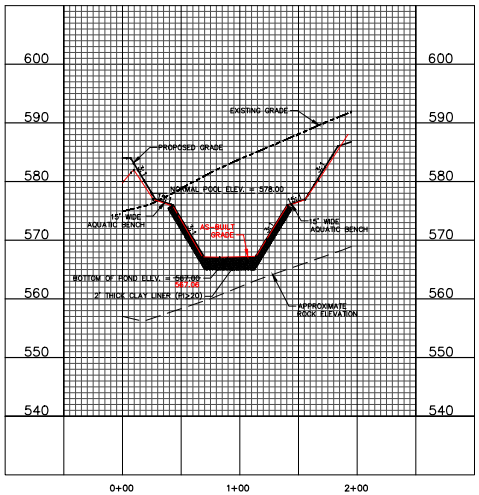


SECTION A-A
PER THIS DETAIL

BASIN #6 FOREBAY
RIP-RAP WEIR DETAIL
NO SCALE



BASIN #6 - CROSS-SECTION A-A



BASIN #6 - CROSS-SECTION B-B

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

COCHRAN
530A E. Independence Dr.
Union, Missouri 63084
636-584-0540 (tel.)
636-584-0512 (fax)
mail@cochranengineering.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Water Control
• Water Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One Call, 1-800-Dig-RITE for utility location information.

All OSHA rules & regulations established for the type of work shown on these plans shall be strictly followed in trenching, shoring, etc.

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

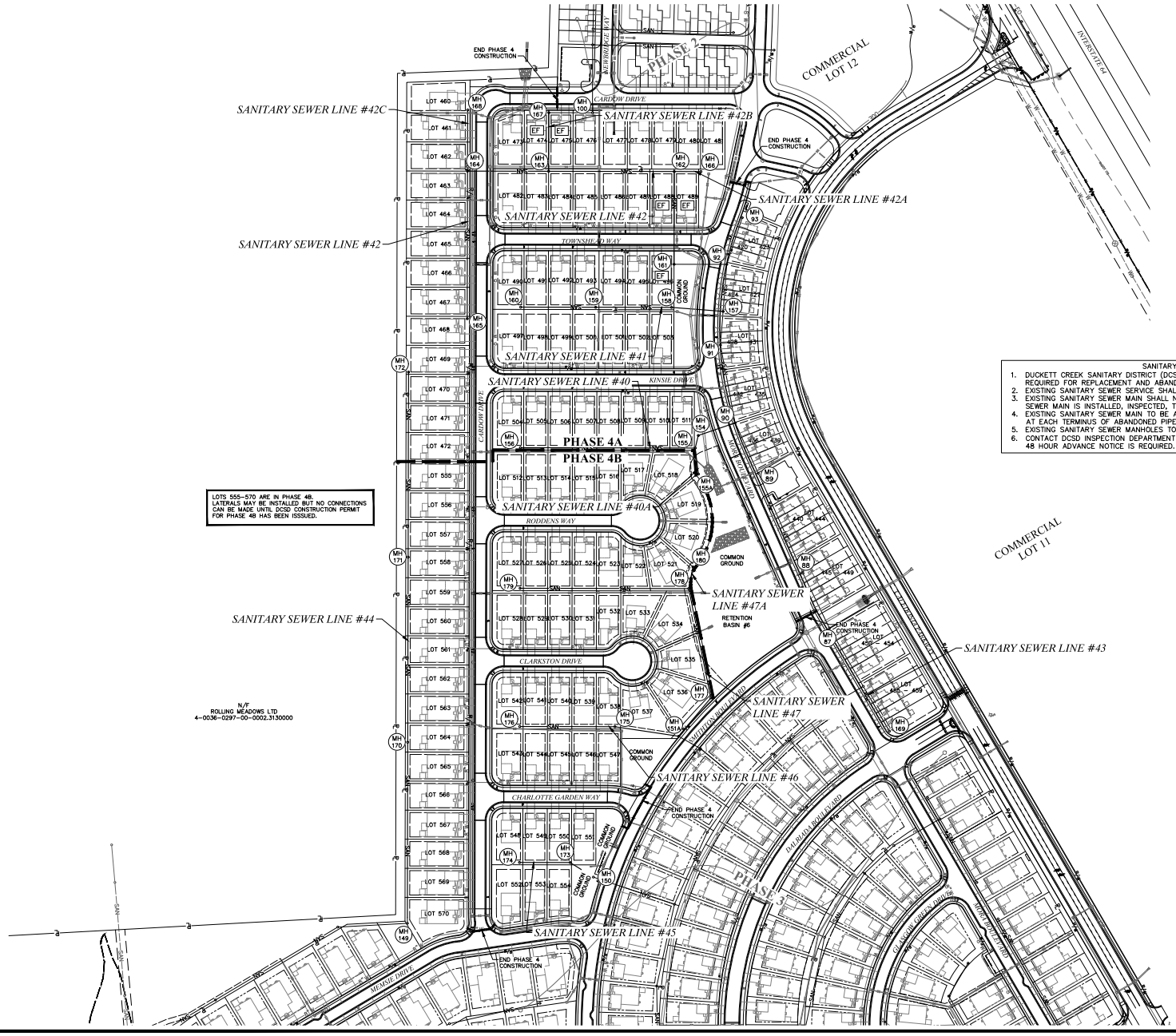
REV.	DESCRIPTION	APPD. BY

RETENTION BASIN #6 CROSS-SECTIONS

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=50'	
VERT. SCALE: 1"=10'	
PROJ. NO.: 17-6821	
DWG. NO.: C10.0	

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\23_Retention Basin Cross-Sections Phase 4.dwg LAYOUT TAB: C10.0 PLOTTED ON: May 09, 2024 - 7:31am PLOTTED BY: jmeyer

SANITARY SEWER PLAN OVERVIEW - PHASE 4 (AS-BUILT)



LOTS 555-570 ARE IN PHASE 4B. LATERALS MAY BE INSTALLED BUT NO CONNECTIONS CAN BE MADE UNTIL DCSD CONSTRUCTION PERMIT FOR PHASE 4B HAS BEEN ISSSUED.

MAY, 2022

EF — EXTENDED FOUNDATION MAY BE REQUIRED. (WILL BE DETAILED ON PLOT PLAN.)

SANITARY SEWER NOTES:

1. DUCKETT CREEK SANITARY DISTRICT (DCSD) INSPECTION, COORDINATION AND APPROVAL IS REQUIRED FOR REPLACEMENT AND ABANDONMENT OF EXISTING SANITARY SEWER MAIN.
2. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
3. EXISTING SANITARY SEWER MAIN SHALL NOT BE ABANDONED UNTIL REPLACEMENT SANITARY SEWER MAIN IS INSTALLED, INSPECTED, TESTED AND APPROVED BY DCSD INSPECTOR.
4. EXISTING SANITARY SEWER MAIN TO BE ABANDONED SHALL BE GROUT FILLED AND PLUGGED AT EACH TERMINUS OF ABANDONED PIPE.
5. EXISTING SANITARY SEWER MANHOLES TO BE ABANDONED SHALL BE REMOVED.
6. CONTACT DCSD INSPECTION DEPARTMENT AT (636) 441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED.

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

636-584-0540 (tel.)
636-584-0512 (fax)
mail@cochraneng.com
5350 E. Independence Dr.
Union, Missouri 63084
COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Special Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation contact Missouri One-Call, call 1-800-Dig-RITE for utility location information.

All OSHA rules & regulations established for the job site must be followed. Plans shall be strictly followed to avoid delays, fines, etc.

STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009018722
8-23-23
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4 RESIDENTIAL
O'FALLON, MISSOURI

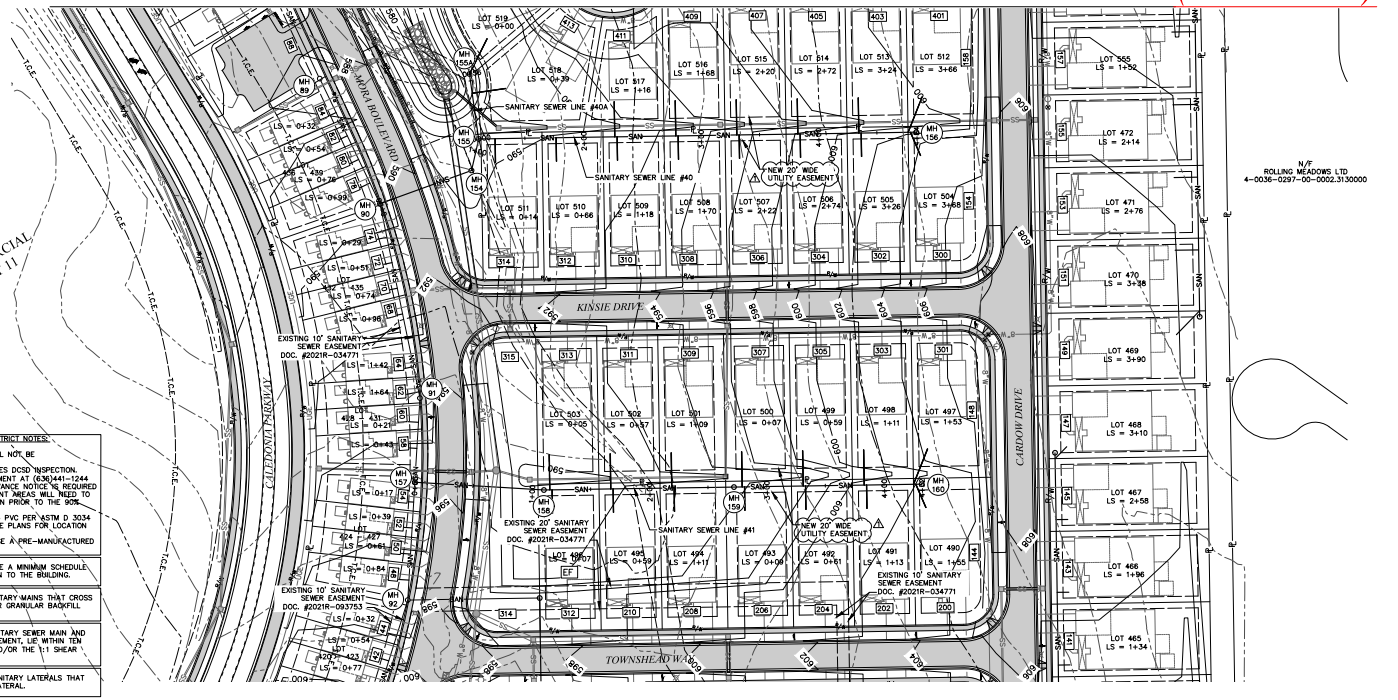
DATE	REVISION	DRW. BY	APPD. BY

SANITARY SEWER PLAN OVERVIEW - PHASE 4

DRW. BY: JMM
APPD. BY: ERR
DATE: MAY 09, 2022
SCALE: 1" = 100'
PROJ. NO.: 17-6821
DWG. NO.: C11.0

Drawing name: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\3A_Sanitary Sewer Plan Overview Phase 4.dwg Tab: OVERVIEW PLAN PH4 Plotted on: Feb 23, 2023 - 1:09pm Plotted by: jmeyer

SANITARY SEWER PLAN & PROFILE LINES #40 - 41 - PHASE 4A (AS-BUILT)



MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	FENCE	
	LIGHT	
	PAVEMENT	

EF — EXTENDED FOUNDATION MAY BE REQUIRED. (WILL BE DETAILED ON PLOT PLAN.)

DUCKETT CREEK SANITARY DISTRICT NOTES:

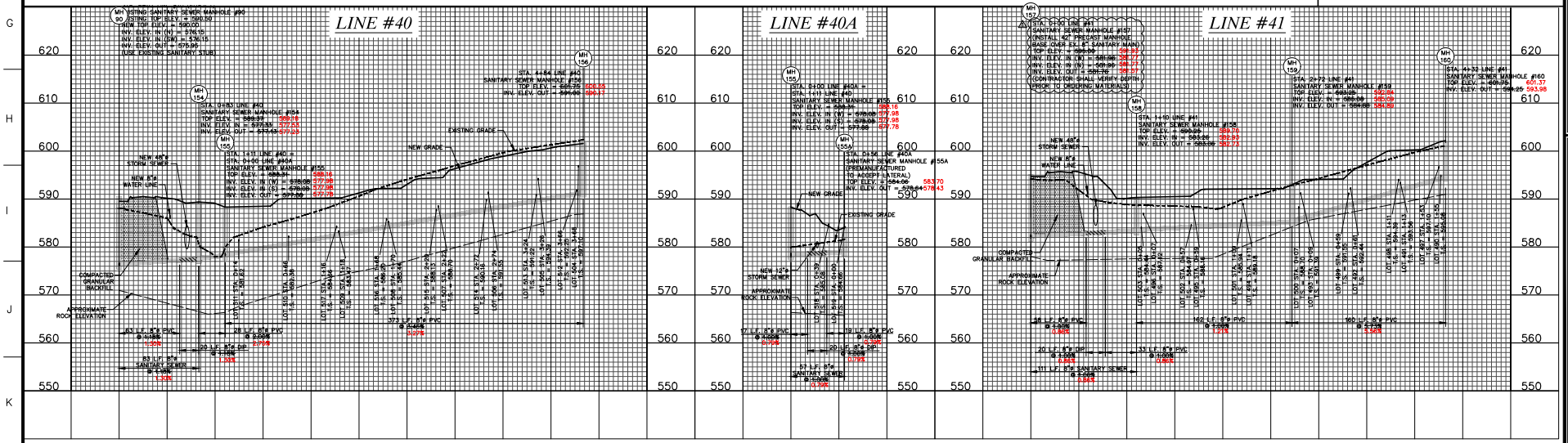
1. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
2. INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (636)441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED
3. THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO THE 90% ESCROW RELEASE TO THE DEVELOPER.
4. SANITARY SEWER PIPE SHALL BE SDR 35 PVC PER ASTM D 3034 OR SCHEDULE 50 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
5. ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.

ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.

ALL SANITARY SEWER LATERALS AND SANITARY MAINS THAT CROSS UNDER THE PAVEMENT MUST HAVE PROPER GRANULAR BACKFILL AND REQUIRED COMPACTION.

PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, LIE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SHEAR PLAN OF THE ROAD.

CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.



OWNER/DEVELOPER:
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10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

636-584-0540 (tel.)
636-584-0512 (fax)
mail@cochranengineering.com
5330A E. Independence Dr.
Union, Missouri 63084
COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Construction Consulting
• Grant Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of work being performed on these plans shall be strictly followed (ie trenching, shoring, etc)

STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2006018722
PROFESSIONAL ENGINEER
2-23-23

THE STREETS OF CALEDONIA
PHASE 4A RESIDENTIAL
O'FALLON, MISSOURI

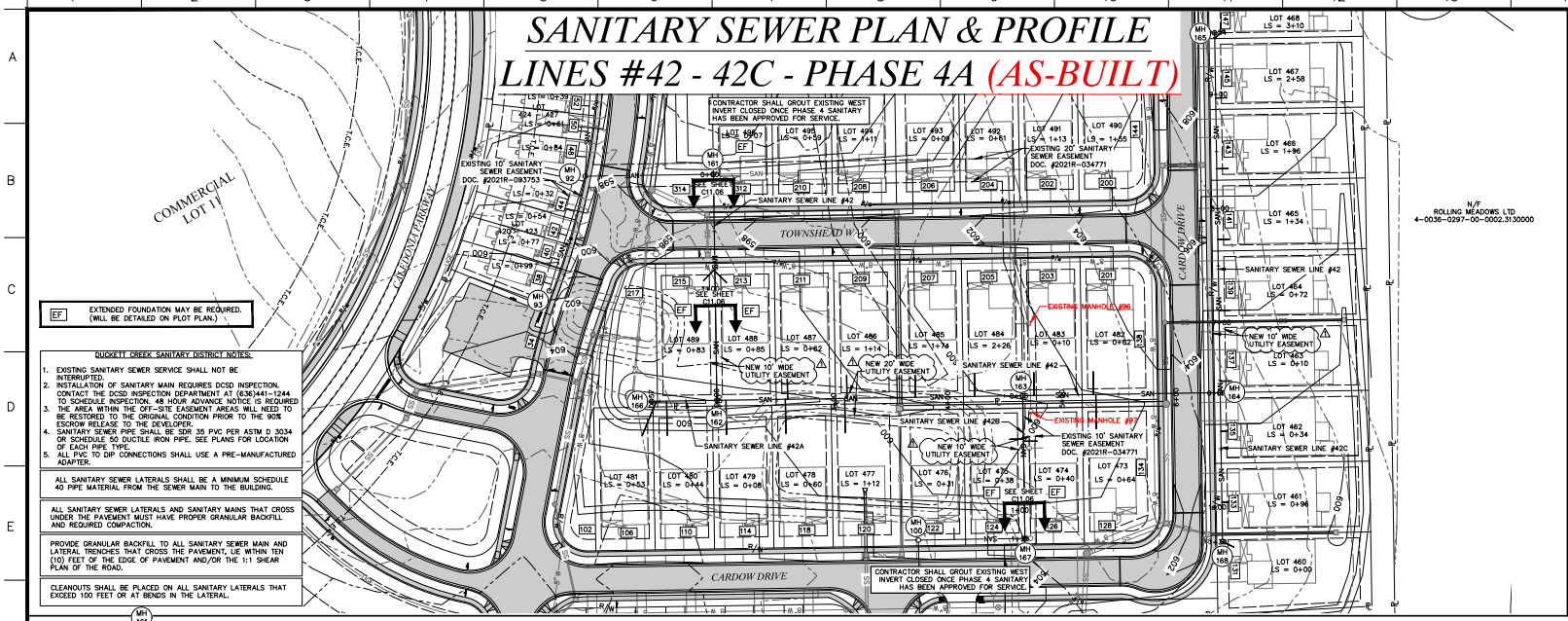
REVISIONS		APPD. BY
04-01-22	DUCKETT REVISIONS	ERR
DRN. BY: JMM		APPD. BY: ERR

SANITARY SEWER PLAN & PROFILE LINES #40 - 41

DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C11.01

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\25_Sanitary Sewer Lines #40-41 Phase 4.dwg LAYOUT TAB: C11.01 PLOTTED ON: Feb 23, 2023 - 11:13pm PLOTTED BY: jmeyer

SANITARY SEWER PLAN & PROFILE
LINES #42 - 42C - PHASE 4A (AS-BUILT)



EF — EXTENDED FOUNDATION MAY BE REQUIRED. (WILL BE DETAILED ON PLOT PLAN.)

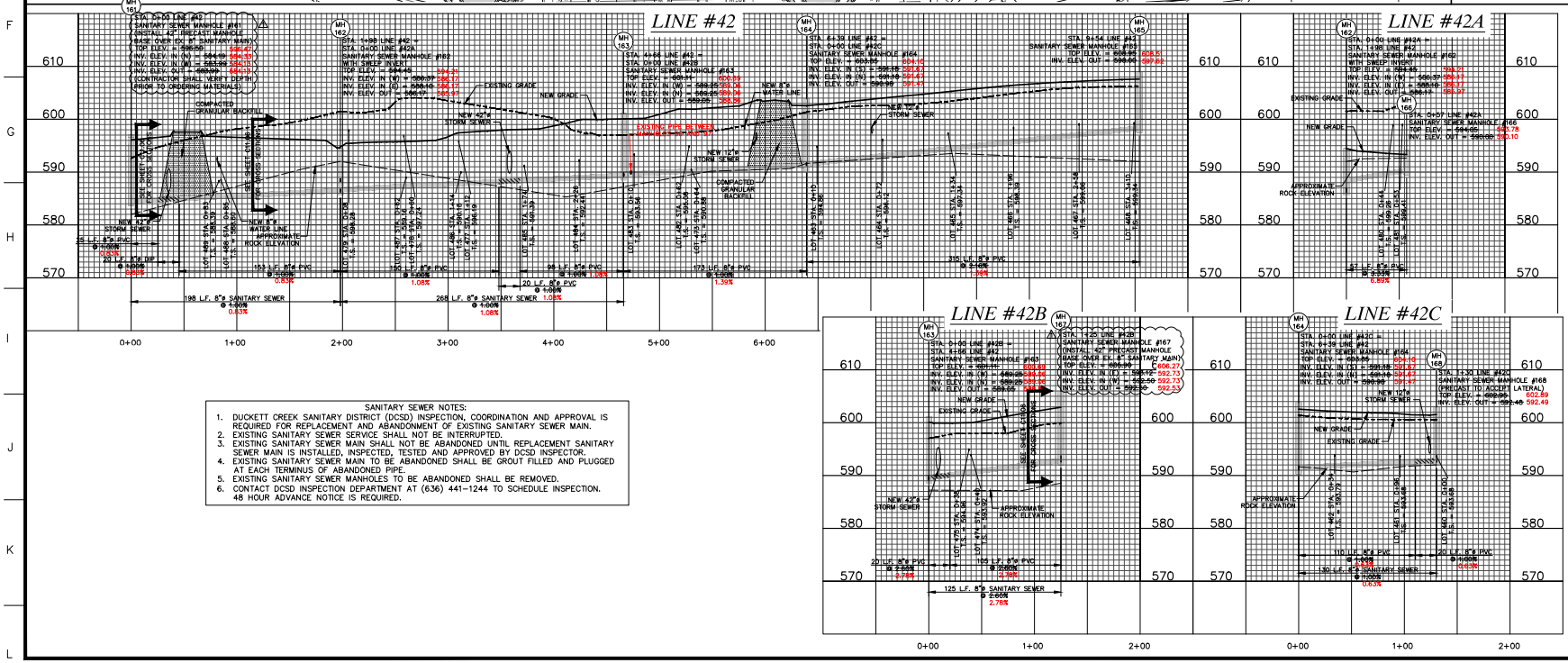
DUCKETT CREEK SANITARY DISTRICT NOTES:

1. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
2. INSTALLATION OF SANITARY MAIN REQUIRES DCSD INSPECTION. CONTACT THE DCSD INSPECTION DEPARTMENT AT (636)441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED
3. THE AREA WITHIN THE OFF-SITE EASEMENT AREAS WILL NEED TO BE RESTORED TO THE ORIGINAL CONDITION PRIOR TO THE 90% ESCROW RELEASE TO THE DEVELOPER.
4. SANITARY SEWER PIPE SHALL BE SDR 35 PVC PER ASTM D 3034 OR SCHEDULE 50 DUCTILE IRON PIPE. SEE PLANS FOR LOCATION OF EACH PIPE TYPE.
5. ALL PVC TO DIP CONNECTIONS SHALL USE A PRE-MANUFACTURED ADAPTER.

ALL SANITARY SEWER LATERALS SHALL BE A MINIMUM SCHEDULE 40 PIPE MATERIAL FROM THE SEWER MAIN TO THE BUILDING.

PROVIDE GRANULAR BACKFILL TO ALL SANITARY SEWER MAIN AND LATERAL TRENCHES THAT CROSS THE PAVEMENT, LIE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT AND/OR THE 1:1 SHEAR PLAN OF THE ROAD.

CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.



SANITARY SEWER NOTES:

1. DUCKETT CREEK SANITARY DISTRICT (DCSD) INSPECTION, COORDINATION AND APPROVAL IS REQUIRED FOR REPLACEMENT AND ABANDONMENT OF EXISTING SANITARY SEWER MAIN.
2. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
3. EXISTING SANITARY SEWER MAIN SHALL NOT BE ABANDONED UNTIL REPLACEMENT SANITARY SEWER MAIN IS INSTALLED, INSPECTED, TESTED AND APPROVED BY DCSD INSPECTOR.
4. EXISTING SANITARY SEWER MAIN TO BE ABANDONED SHALL BE GROUT FILLED AND PLUGGED AT EACH TERMINUS OF ABANDONED PIPE.
5. EXISTING SANITARY SEWER MANHOLES TO BE ABANDONED SHALL BE REMOVED.
6. CONTACT DCSD INSPECTION DEPARTMENT AT (636) 441-1244 TO SCHEDULE INSPECTION. 48 HOUR ADVANCE NOTICE IS REQUIRED.

MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
495	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	FENCE	
	LIGHT	
	PAVEMENT	

636-594-0540 (tel.)
636-594-0512 (fax)
mail@cochranengineering.com
5300A E. Independence Dr.
Union, Missouri 63084
COCHRAN
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Construction Consulting
• Water Planning
Missouri State Certificate of Authority Numbers:
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction covered by these plans shall be strictly followed by the contractor, his employees, & subcontractors.

STATE OF MISSOURI — RYAN D. GATES — NUMBER PE-2009018722 — 8-23-22 — PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4A RESIDENTIAL
O'FALLON, MISSOURI

REVISIONS			
04-01-22	A	DUCKETT REVISIONS	JMM	ERR

SANITARY SEWER PLAN & PROFILE LINES #42 - 42C

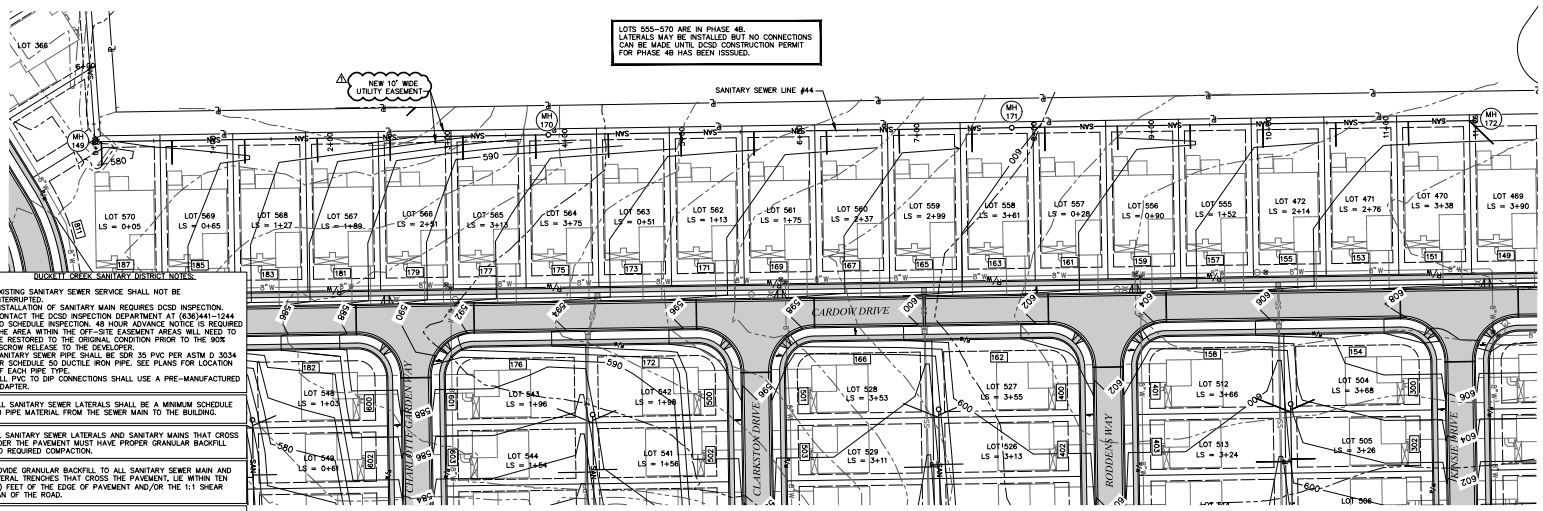
DRN. BY: JMM — APPD. BY: ERR
DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C11.02

OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\26_Sanitary Sewer Lines #42-42C Phase 4.dwg LAYOUT TAB: C11.02 PLOTTED ON: Feb 23, 2023 - 1:15pm PLOTTED BY: jmeyer

SANITARY SEWER PLAN & PROFILE LINES #44 - PHASE 4A (AS-BUILT)

LOTS 555-570 ARE IN PHASE 4B. LATERALS MAY BE INSTALLED BUT NO CONNECTIONS CAN BE MADE UNTIL DCSD CONSTRUCTION PERMIT FOR PHASE 4B HAS BEEN ISSSUED.



DUCKETT CREEK SANITARY DISTRICT NOTES:

1. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
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CLEANOUTS SHALL BE PLACED ON ALL SANITARY LATERALS THAT EXCEED 100 FEET OR AT BENDS IN THE LATERAL.

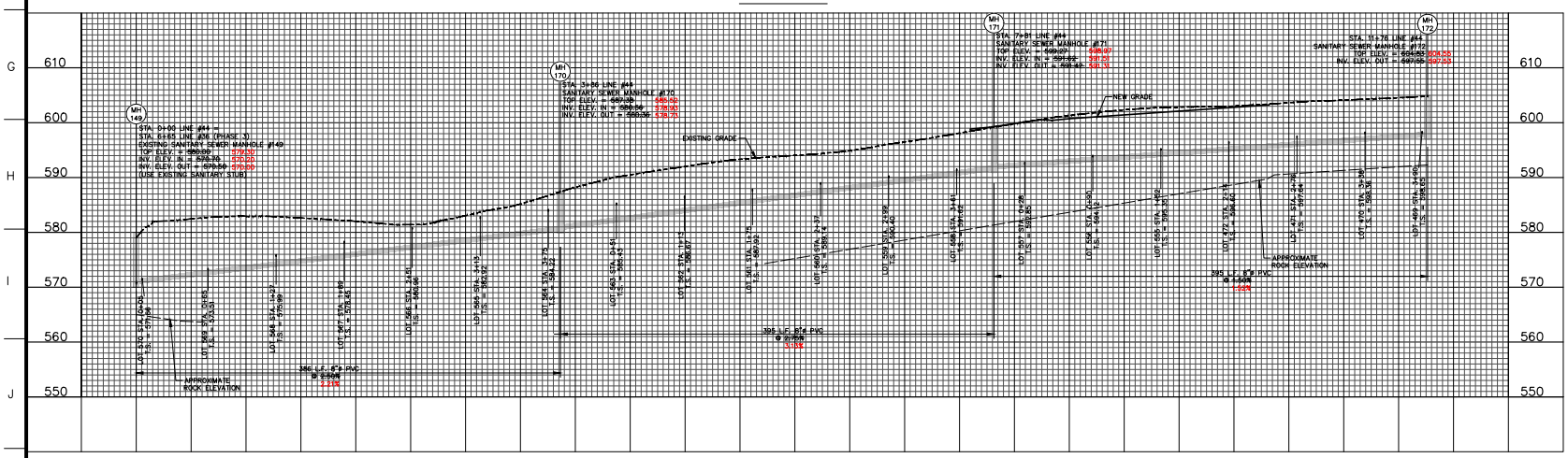
50 0 25 50 100

MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
	FENCE	
	LIGHT	
	PAVEMENT	

LINE #44



OWNER/DEVELOPER:
DD LAND DEVELOPMENT, LLC
10407 BAUR BLVD. SUITE B
ST. LOUIS, MO 63132

CHRAN
530A E. Independence Dr.
Union, Missouri 63084
636-584-0540 (tel)
636-584-0512 (fax)
mail@ccontraneng.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• Project Consulting
• Grant Planning

Missouri State Certificate of Authority Numbers
Survey : 000380
Engineering : 001655
Architecture: 2002014240

Three working days prior to the start of any excavation call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction being performed. Plans shall be strictly followed to avoid delays, injury, etc.

STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009018722
8-23-22
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4A RESIDENTIAL
O'FALLON, MISSOURI

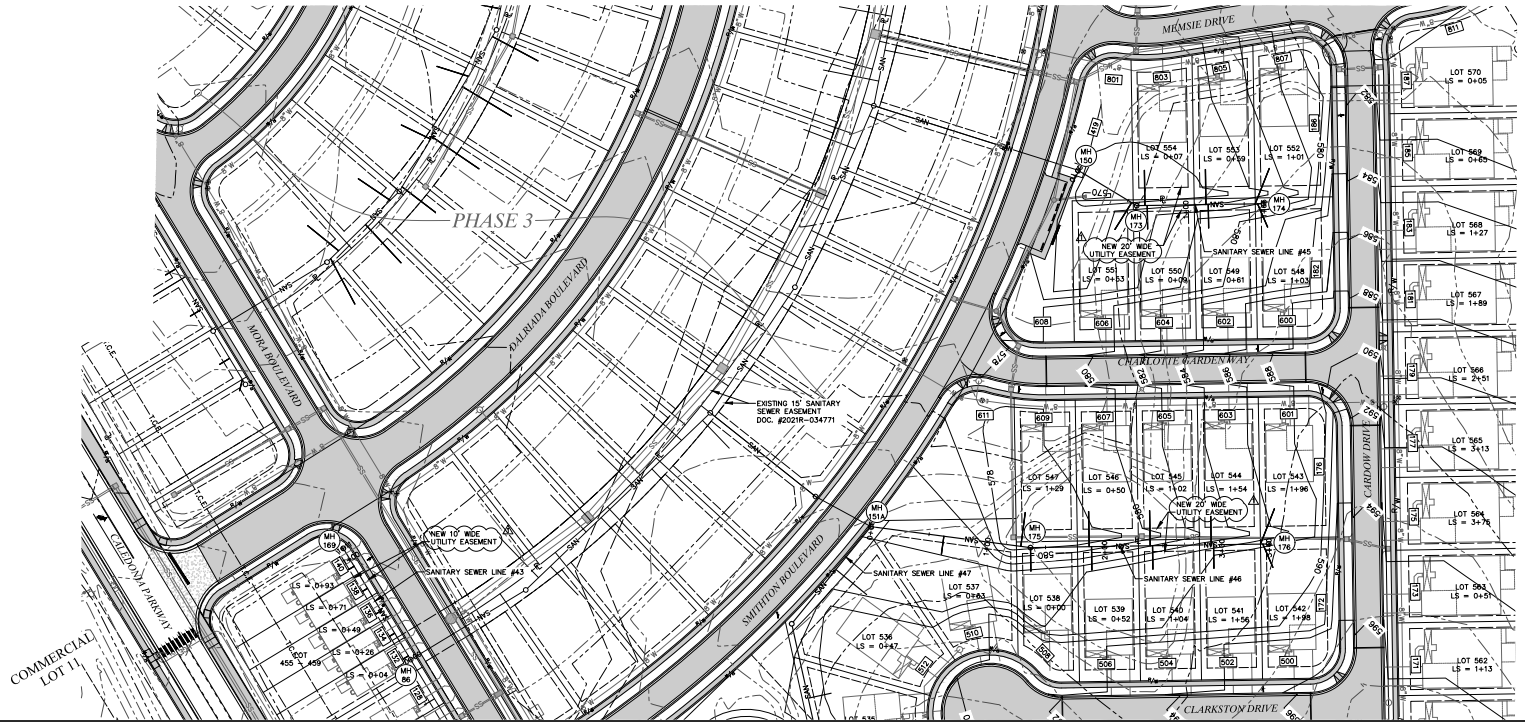
REVISIONS		APPD. BY
08-01-22	DUCKETT REVISIONS	JMM / ERR

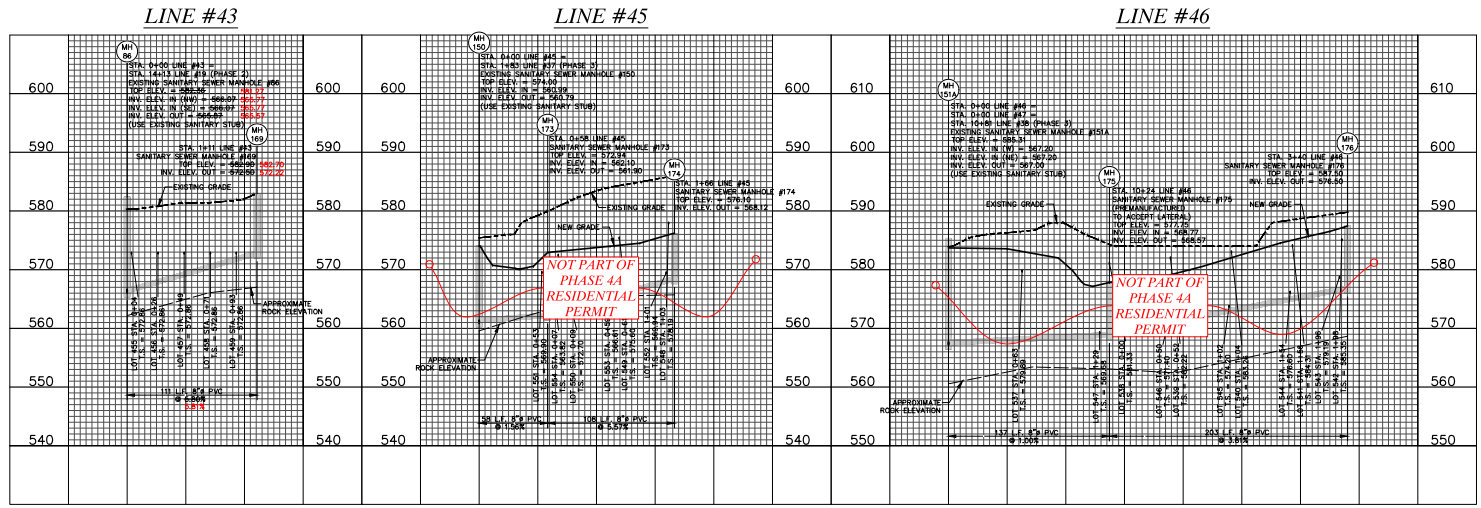
SANITARY SEWER PLAN & PROFILE LINES #44

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=50'	
VERT. SCALE: 1"=10'	
PROJ. NO.: 17-6821	
DWG. NO.: C11.03	

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\27_Sanitary Sewer Line #44 Phase 4.dwg LAYOUT TAB: C11.03 PLOTTED ON: Feb 23, 2023 - 1:20pm PLOTTED BY: Preyer

SANITARY SEWER PLAN & PROFILE LINES #43 - PHASE 4A (AS-BUILT)





MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
495	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	
	FENCE	
	LIGHT	
	PAVEMENT	

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OWNER/DEVELOPER:
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636-584-0540 (tel.)
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Missouri State Certificate of Authority Numbers:
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STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009018722
8-23-22
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4A RESIDENTIAL
O'FALLON, MISSOURI

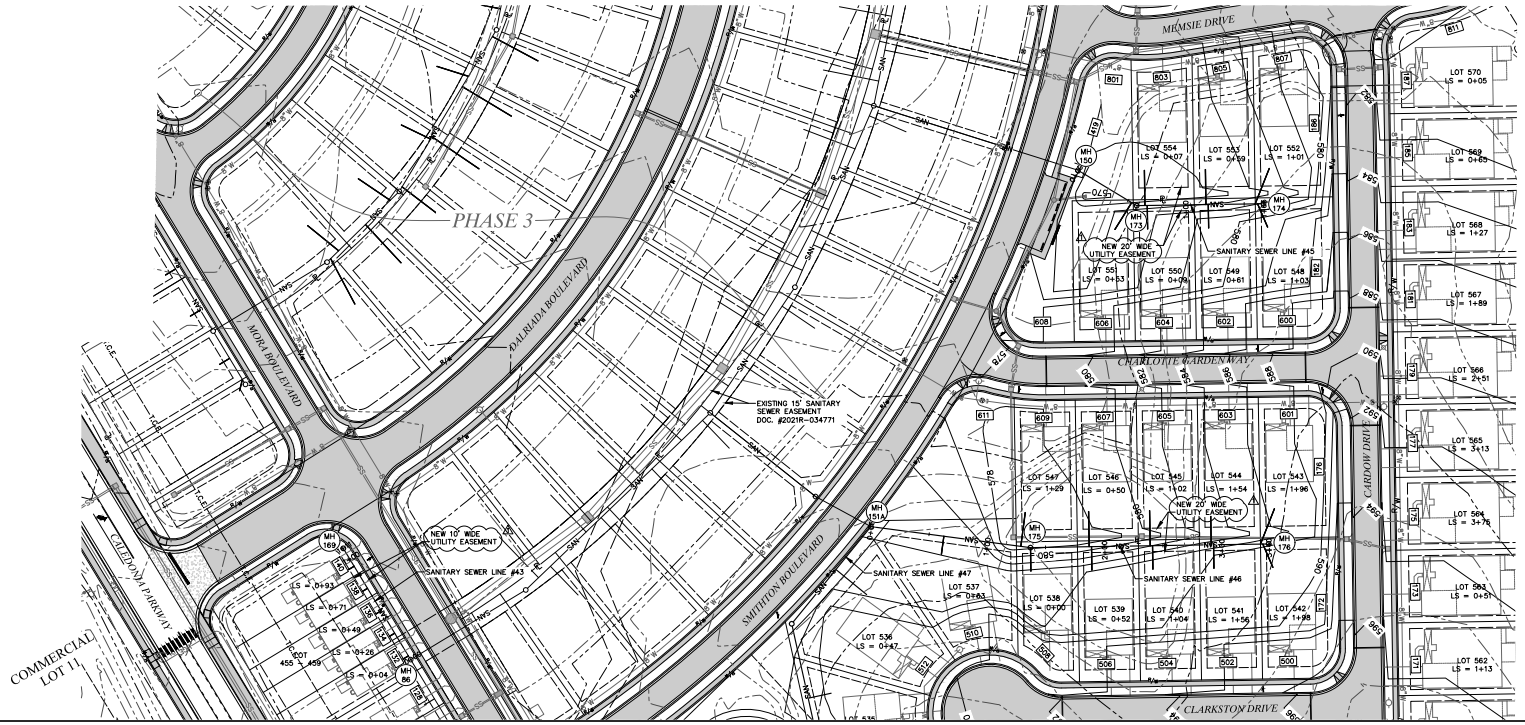
REVISIONS	DATE	DRN. BY	APPD. BY
01 DUCKETT REVISIONS	06-01-22	JMM	ERR

SANITARY SEWER PLAN & PROFILE LINES #43

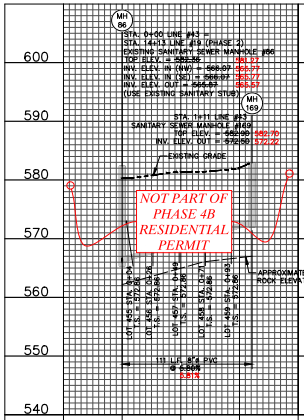
DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=50'	
VERT. SCALE: 1"=10'	
PROJ. NO.: 17-6821	
DWG. NO.: C11.04A	

DWG NAME: F:\17-6821 - 260 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\29_Sanitary Sewer Lines #43, 45 & 46 Phase 4.dwg LAYOUT TAB: C11.04A PLOTTED ON: Feb 23, 2023 - 1:24pm PLOTTED BY: jmeyer

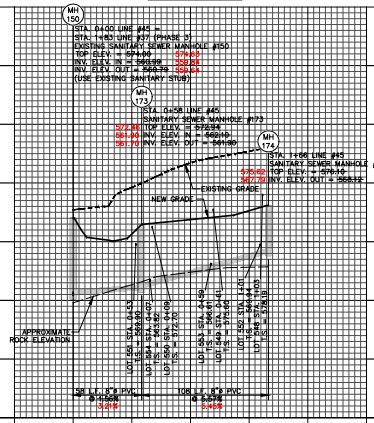
SANITARY SEWER PLAN & PROFILE LINES #45 & 46 - PHASE 4B (AS-BUILT)



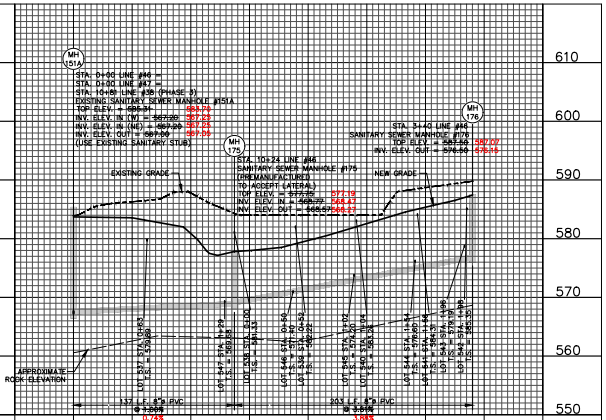
LINE #43



LINE #45



LINE #46



MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
	FIRE HYDRANTS	
	WATER VALVE	
WM	WATER METER	WM
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ST. LOUIS, MO 63132

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STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2009018722
SEPT. 2, 2022
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4B RESIDENTIAL
O'FALLON, MISSOURI

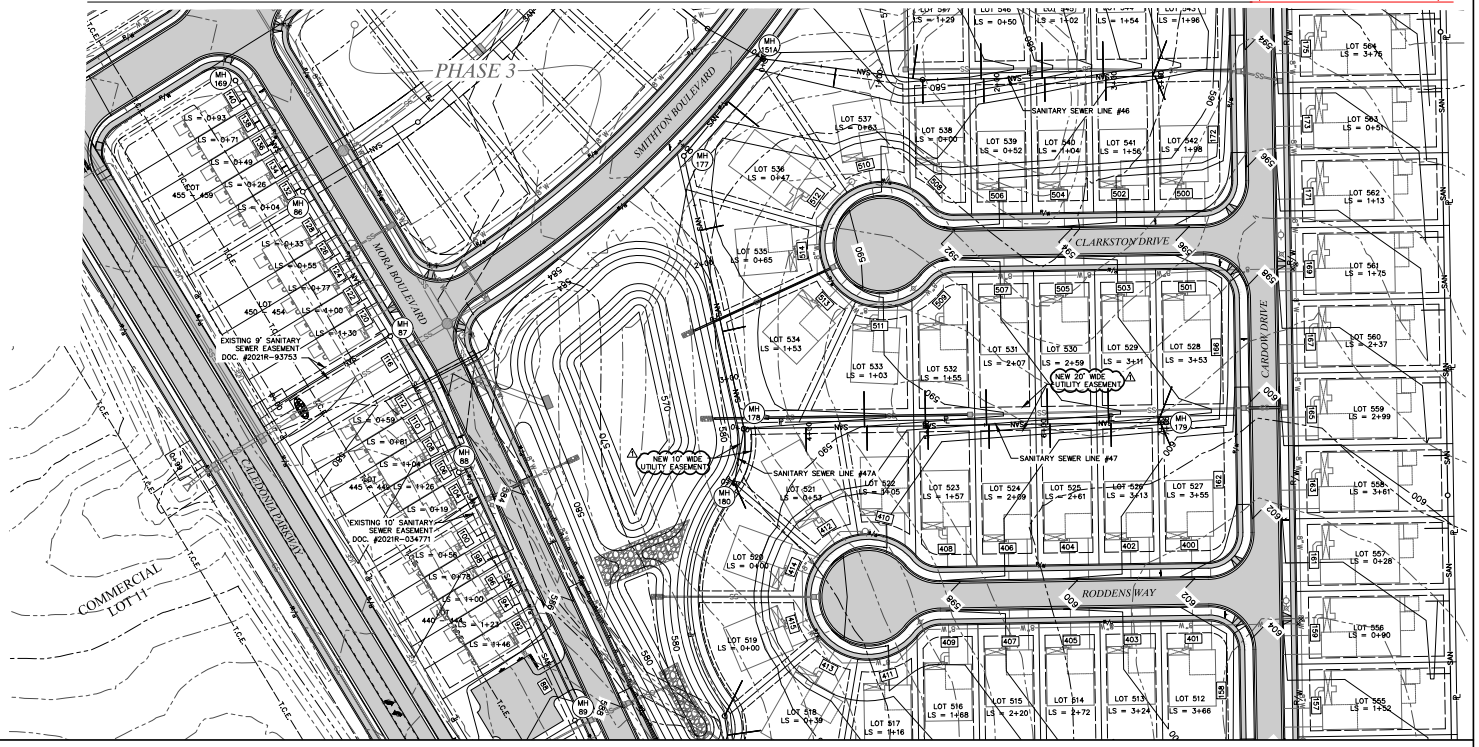
REV. NO.	REVISIONS	DATE	APPD. BY
2	DUCKETT REVISIONS	09-01-22	ERR
		DRN. BY: JMM	APPD. BY: ERR

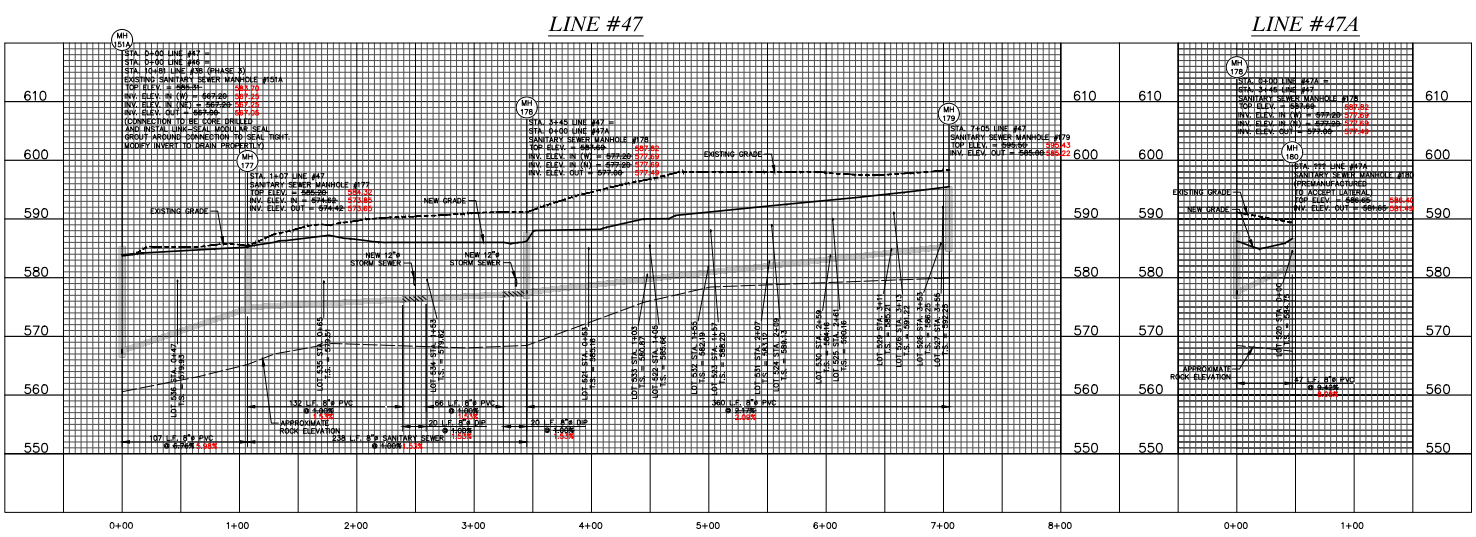
SANITARY SEWER PLAN & PROFILE LINES #45, & 46

DATE: MAY 09, 2022
HOR. SCALE: 1"=50'
VERT. SCALE: 1"=10'
PROJ. NO.: 17-6821
DWG. NO.: C11.04B

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\28_Sanitary Sewer Lines #43, 45 & 46 Phase 4.dwg LAYOUT TAB: C11.04B PLOTTED ON: Aug 02, 2023 - 2:51pm PLOTTED BY: jmeyer

SANITARY SEWER PLAN & PROFILE LINES #47 & 47A - PHASE 4B (AS-BUILT)





MAY, 2022

LEGEND

EXISTING		PROPOSED
500	INDEX CONTOUR	500
495	INTERMEDIATE CONTOUR	495
PL	PROPERTY LINE	PL
R/W	RIGHT-OF-WAY	R/W
	LOT LINE	
	EASEMENT	
AE	AERIAL ELECTRIC	AE
	UTILITY POLE / GUY WIRE	
UGE	UNDERGROUND ELECTRIC	UGE
CATV	UNDERGROUND CABLE TV	CATV
UGT	UNDERGROUND TELEPHONE	UGT
FO	UNDERGROUND FIBER OPTIC	FO
SAN	SANITARY SEWER	SAN
	SANITARY MANHOLE	
FM	SANITARY FORCE MAIN	FM
SS	STORM SEWER	SS
	INLET	
	GRATED INLET	
	FLARED END SECTIONS	
G	GAS LINE	G
	GAS VALVE	
GM	GAS METER	GM
X"W	WATER LINE (SIZE)	X"W
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STATE OF MISSOURI
RYAN D. GATES
NUMBER PE-2006018722
SEAL 2-24-22
PROFESSIONAL ENGINEER

THE STREETS OF CALEDONIA
PHASE 4B RESIDENTIAL
O'FALLON, MISSOURI

REVISIONS		
04-01-22	A	DUCKETT REVISIONS

SANITARY SEWER PLAN & PROFILE LINES #47 & 47A

DRN. BY: JMM	APPD. BY: ERR
DATE: MAY 09, 2022	
HOR. SCALE: 1"=50'	
VERT. SCALE: 1"=10'	
PROJ. NO: 17-6821	
DWG. NO: C11.05	

DWG NAME: F:\17-6821 - 280 Acre Tract along Hwy 40, O'Fallon, MO\As-Built\Phase 4\29_Sanitary Sewer Lines #47 & 47A Phase 4.dwg LAYOUT TAB: C11.05 PLOTTED ON: Aug 02, 2023 - 2:53pm PLOTTED BY: jmeyer