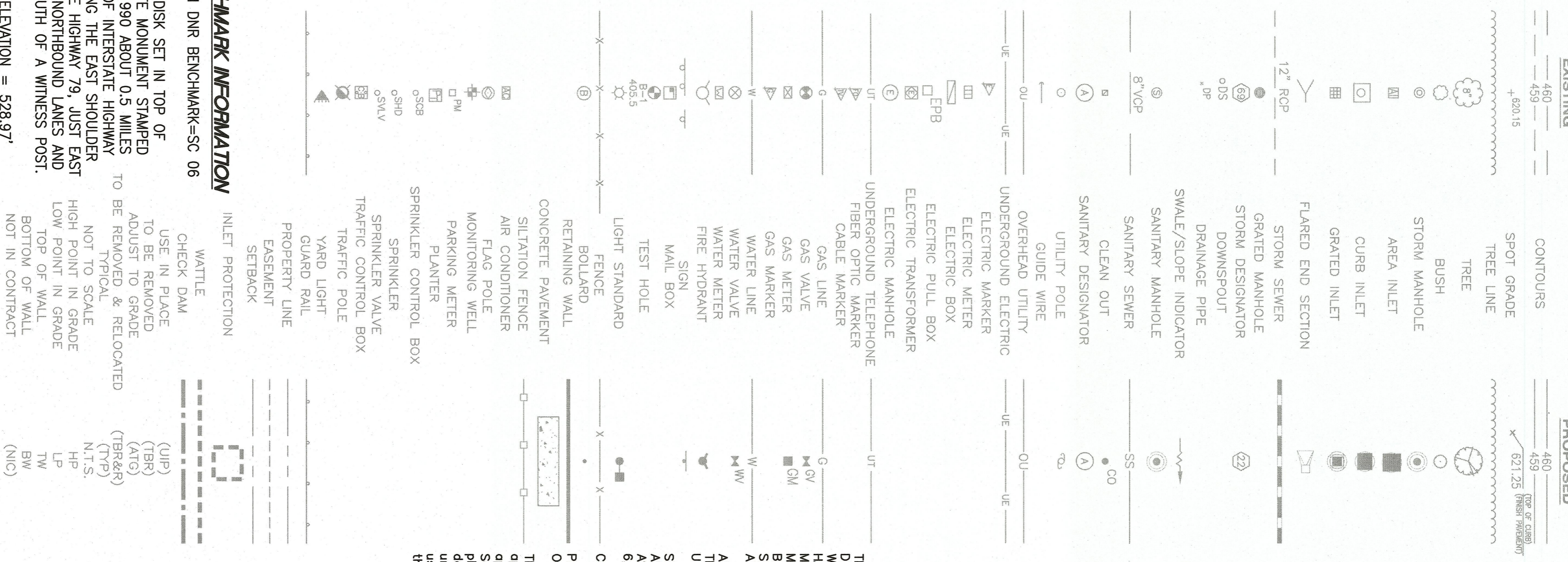


LEGEND

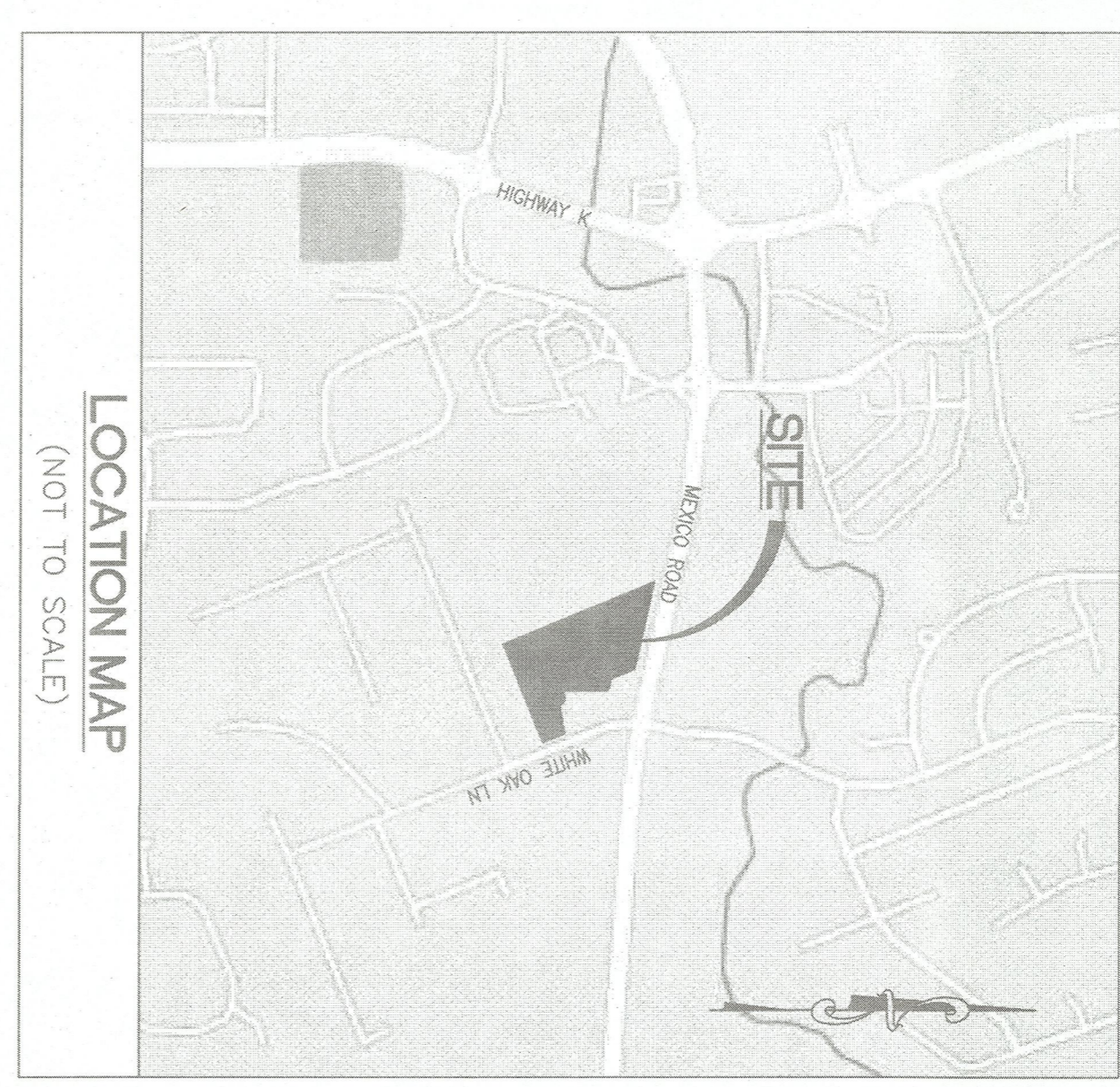


PROPOSED

TEXAS ROADHOUSE

A TRACT OF LAND BEING ALL OF LOTS 1-9 AND 12-16 OF CEDAR HILL ACRES AND PART OF U.S. SURVEY 1766, TOWNSHIP 47 NORTH, RANGE 3 EAST ST. CHARLES COUNTY, MISSOURI

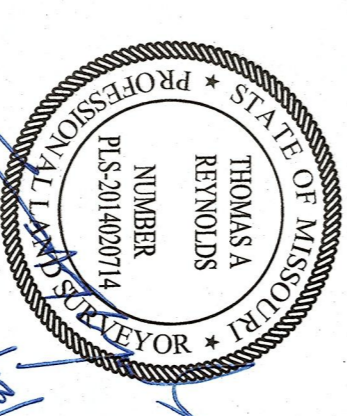
SEWER + SITE AS-BUILT IMPROVEMENT PLANS



LOCATION MAP
(NOT TO SCALE)

THE EXISTING SEWER LENGTH, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED OR EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THESE MEASUREMENTS ARE ON THIS SET OF FINAL MEASUREMENT PLANS. SINCE THE WE LOCATIONS HAVE BEEN OBTAINED FROM INFORMATION PROVIDED BY THE SEWER CONTRACTOR, THE CONTRACTOR SHALL ASSUME ANY RESPONSIBILITY FOR THAT SPECIFIC INFORMATION. ALL PUBLIC SEWERS AND UTILITIES ARE LOCATED WITHIN THE DESIGNATED EXISTING OR PROPOSED EASEMENTS, UNLESS SHOWN OTHERWISE. SEWER & SITE AS-BUILTS AS SHOWN ON THIS PLAN ARE THE FIELD SURVEY CONDUCTED BY COLE AND ASSOCIATES INC. ON SEPTEMBER 14-15, & OCTOBER 6, 2023. COLE & ASSOCIATES INC. L.S. 286-D PROJECT NO. 21-0154* (SEWER & SITE AS-BUILTS ONLY)

The Professional, whose signature and personal seal appear hereon, assumes responsibility only for what appears on this page, and disclaims (pursuant to Section 327.411 (RSMo), only responsibility for all other sections of the drawings or instruments not sealed by the undersigned Professional relating to, or intended to be used for, any part of the project to which this page refers.



DESIGN AND DEVELOPMENT CONTACTS

CIVIL ENGINEER
 ARCHITECT
 SURVEYOR
 LANDSCAPE ARCHITECT

COLE & ASSOCIATES, INC.
 1520 SOUTH FIFTH STREET, SUITE 307
 ST. CHARLES, MO 63303
 (636) 978-7508
 CONTACT: MATT STEUBER

GREENBERG FARROW
 21 SOUTH EVERGREEN AVE, SUITE 200
 ARLINGTON HEIGHTS, IL 60005
 (224) 764-0369
 CONTACT: BRANDON GOLDBERG

COLE & ASSOCIATES, INC.
 1520 SOUTH FIFTH STREET, SUITE 307
 ST. CHARLES, MO 63303
 (636) 978-7508
 CONTACT: TERRY WESTERMAN

COLE & ASSOCIATES, INC.
 401 S. 18TH STREET, SUITE 200
 ST. LOUIS, MO 63103
 (314) 984-9887
 CONTACT: JOE HORVATH

PERTINENT DATA

OWNER = MOHR CAPITAL LLC
 SITE ADDRESS = MEXICO ROAD O'FALLON, MO 63368
 SITE ACREAGE = 3.33±
 DISTURBED LAND = 3.22±
 EXISTING ZONING = C-1 "RESTRICTED BUSINESS"
 PROPOSED ZONING = C-2 "GENERAL BUSINESS"
 ADJACENT ZONING = WEST - C-1 & UNINCORPORATED SOUTH - C-1
 LOCATOR NUMBER = 3677680A000, 368100A000, 366360A000, 368070A000
 FEMA MAP PANEL = 29183C0237G DATE: 1/20/2016
 ESTIMATED SANITARY FLOW = 13,710 GPD

UTILITY INFORMATION:
 UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANIES AND PHYSICAL PROPERTY INSPECTION. THE ONLY UTILITIES SHOWN ON THIS SURVEY ARE THOSE THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.

UTILITIES

CITY OF O'FALLON
 10 N. MAIN ST.
 O'FALLON, MO 63366
 PH. (636) 281-2856

SEWER SERVICE

CITY OF O'FALLON
 10 N. MAIN ST.
 O'FALLON, MO 63366
 PH. (636) 281-2856

WATER SERVICE

CITY OF O'FALLON
 10 N. MAIN ST.
 O'FALLON, MO 63366
 PH. (636) 281-2856

ELECTRIC SERVICE

CITY OF O'FALLON
 10 N. MAIN ST.
 O'FALLON, MO 63366
 PH. (636) 281-2856

PHONE SERVICE

AT & T
 12830 OLIVE ST.
 ST. LOUIS, MO 63141
 PH. (314) 279-0025

STORM SEWER

CITY OF O'FALLON
 10 N. MAIN ST.
 O'FALLON, MO 63366
 PH. (636) 281-2856

INDEX

	REVISIONS								
	1	2	3	4	5	6	7	8	9
C1.0 COVER SHEET	●	●	●	●	●	●	●	●	●
C2.0 SPECIFICATIONS	●	●	●	●	●	●	●	●	●
C2.1 O'FALLON STANDARD NOTES	●	●	●	●	●	●	●	●	●
C3.0 DEMO PLAN	●	●	●	●	●	●	●	●	●
C4.0 OVERALL SITE PLAN	●	●	●	●	●	●	●	●	●
C4.1 SITE PLAN	●	●	●	●	●	●	●	●	●
C5.0 GRADING PLAN	●	●	●	●	●	●	●	●	●
C6.0 UTILITY PLAN	●	●	●	●	●	●	●	●	●
C6.1 UTILITY PROFILES	●	●	●	●	●	●	●	●	●
C7.0 SIGHT DISTANCE PLAN	●	●	●	●	●	●	●	●	●
C7.1 SIGHT DISTANCE PROFILE	●	●	●	●	●	●	●	●	●
C8.0 SWPPP	●	●	●	●	●	●	●	●	●
C8.1 SWPPP NOTES	●	●	●	●	●	●	●	●	●
C9.0 DETAILS	●	●	●	●	●	●	●	●	●
C9.1 DETAILS	●	●	●	●	●	●	●	●	●
C9.2 DETAILS	●	●	●	●	●	●	●	●	●
C9.3 DETAILS	●	●	●	●	●	●	●	●	●
C9.4 DETAILS	●	●	●	●	●	●	●	●	●
C10.0 DRAINAGE AREA MAP	●	●	●	●	●	●	●	●	●
L1.0 LANDSCAPE PLAN	●	●	●	●	●	●	●	●	●
L1.1 TREE PROTECTION PLAN	●	●	●	●	●	●	●	●	●
L1.2 BUILDING LANDSCAPING	●	●	●	●	●	●	●	●	●
W1.0 RETAINING WALL PLAN	●	●	●	●	●	●	●	●	●
W1.1 RETAINING WALL PLAN	●	●	●	●	●	●	●	●	●
W1.2 RETAINING WALL PLAN	●	●	●	●	●	●	●	●	●

PLANNING AND ZONING

- THE APPROVAL IS CONDITIONAL UPON THE FOLLOWING STAFF RECOMMENDATIONS BEING MET:
1. THE STUB TO THE ADJACENT PROPERTY SHOULD EXTEND TO THE PROPERTY LINE.
 2. SHOW ANY ACCESS EASEMENTS ON THE PROPERTY.
 3. A BOUNDARY ADJUSTMENT MUST BE APPROVED FOR THE SUBJECT PROPERTIES.
 4. PROVIDE A PHOTO-METRIC LIGHTING PLAN.
 5. PROVIDE TREE PRESERVATION CALCULATIONS.
 6. PROVIDE A NOTE ON THE PLAN THAT THE STORMWATER DETENTION WILL NEED TO BE DESIGNED FOR THE 100-YEAR/20-MINUTE STORM.
 7. STRIPING ON MEXICO ROAD WILL NEED TO BE MODIFIED FOR LEFT TURN IN STACKING. THE LEFT TURN LANE ON MEXICO ROAD FOR SONDREAN STREET CAN BE REVIEWED BUT MAY NOT BE ABLE TO BE MODIFIED DUE TO MINIMUM REQUIREMENTS FOR STACKING.
 8. PROVIDE THE TOP AND BOTTOM ELEVATIONS ON THE RETAINING WALLS.
 9. PROVIDE A STORMWATER DRAINAGE SYSTEM AT THE ENTRANCE ONTO MEXICO ROAD TO PREVENT STORMWATER FROM FLOWING INTO MEXICO ROAD.
 10. PROVIDE BIKE RACK DETAILS ON THE CONSTRUCTION PLANS.
 11. THE HOLDER OF THIS CONDITIONAL USE PERMIT SHALL BE AND REMAIN FULLY LICENSED WITH THE STATE OF MISSOURI AND THE CITY OF O'FALLON. BOTH LICENSES SHALL REMAIN IN GOOD STANDING THROUGHOUT THE TERM OF THIS CONDITIONAL USE PERMIT.
 12. THIS CONDITIONAL USE PERMIT IS GRANTED SOLELY TO THE OWNER OF TEXAS ROADHOUSE. SHOULD OWNERSHIP TRANSFER IN THE FUTURE, THE NEW OWNER SHALL BE REQUIRED TO APPLY FOR A TRANSFER OF A CONDITIONAL USE PERMIT THROUGH THE PLANNING AND DEVELOPMENT DEPARTMENT.
 13. THE TRASH, GREASE AND RECYCLING RECEPTACLES SHALL BE LOCATED WITHIN THE ENCLOSURE AT ALL TIMES. THE GATES ON THE ENCLOSURE SHALL REMAIN CLOSED WHEN NOT IN USE.
 14. SHOULD THE PETITIONER CHOOSE TO OFFER LIVE ENTERTAINMENT AS DEFINED IN CHAPTER 635 OF THE MUNICIPAL CODE, A CONDITIONAL USE PERMIT AND LIVE ENTERTAINMENT LICENSE WILL NEED TO BE APPROVED BY THE CITY COUNCIL.
 15. THIS CONDITIONAL USE PERMIT SHALL BE REVOKED UPON: (i) BREACH OR FAILURE TO COMPLY WITH THE CONDITIONS OF THIS PERMIT; (ii) DISCIPLINARY ACTION OR OTHER ACTION AFFECTING ORDINANCE OR OTHER APPLICABLE LAW.
 16. THE OCCURRENCE OF ACTIVITIES WHICH ARE DEEMED TO DISTURB THE PEACE IS DEFINED IN TITLE II, PUBLIC HEALTH, SAFETY AND WELFARE OF THE MUNICIPAL CODE SHALL BE PROMPTLY REPORTED TO THE CITY TO REMOVE THE CONDITIONAL USE PERMIT.
 17. OUTDOOR STORAGE OF RESTAURANT RELATED EQUIPMENT SHALL BE PROHIBITED. EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, SODA CANSTERS, BEAD RACKS, FLOOR MATS.
 18. DURING BUSINESS HOURS ALL DOORS OF THE ESTABLISHMENT SHALL REMAIN CLOSED AT ALL TIMES.
 19. SHOULD THE CONDITIONAL USE CEASE OPERATIONS FOR A PERIOD OF ONE (1) YEAR, THE CONDITIONAL USE PERMIT SHALL BE REVOKED.

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: Kai Ebert DATE: 12/19/2023
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN



CALL 1-800-ONE-CALL (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (DESCRIBING UTILITIES REQUIRED) 48 HOURS NOTICE PRIOR TO CONSTRUCTION.

PLANNING AND DEVELOPMENT DIVISION FILE NUMBER: 22-001694
 PLANNING AND ZONING APPROVAL DATE: JANUARY 6, 2021

TEXAS ROADHOUSE IMPROVEMENT PLANS

MEXICO ROAD
 O'FALLON, MO 63368

COVER SHEET



CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE / GIS / ADA TRANSITION PLANNING
 Cole & Associates, Inc. is a Missouri Corporation d.b.a. Cole Design Group, Inc. in Advance & Texas hereby referred to as "Cole"

+ ST. CHARLES
 1520 S. Fifth Street
 Suite 307
 St. Charles, MO 63303
 636.978.7508 tel
 www.coledesign.com

DESIGN/DATE BY: MJS

DRAWN BY: CTW

CHECKED BY: TAR

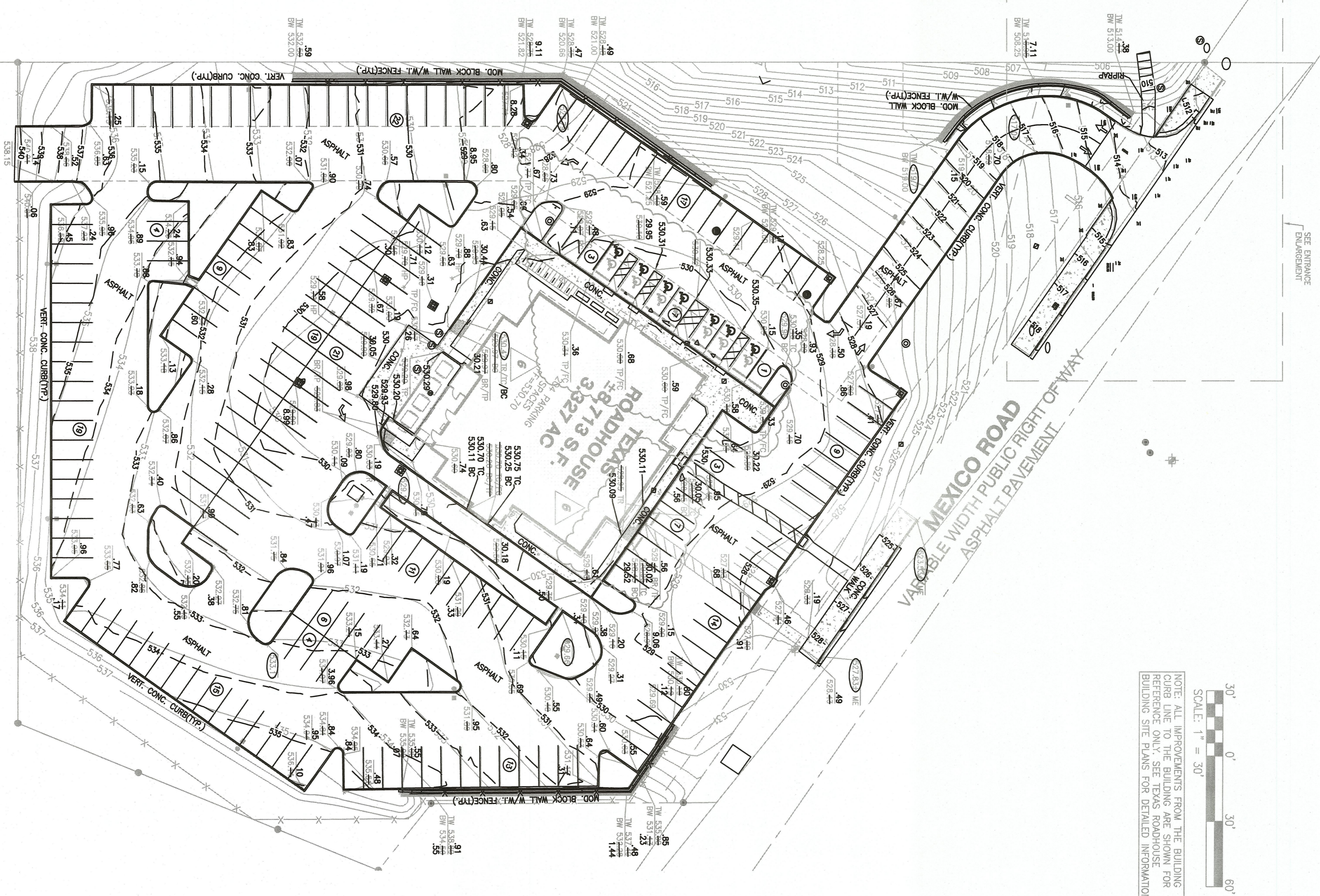
DRAWING SCALE: AS SHOWN

DATE: 10/9/2023

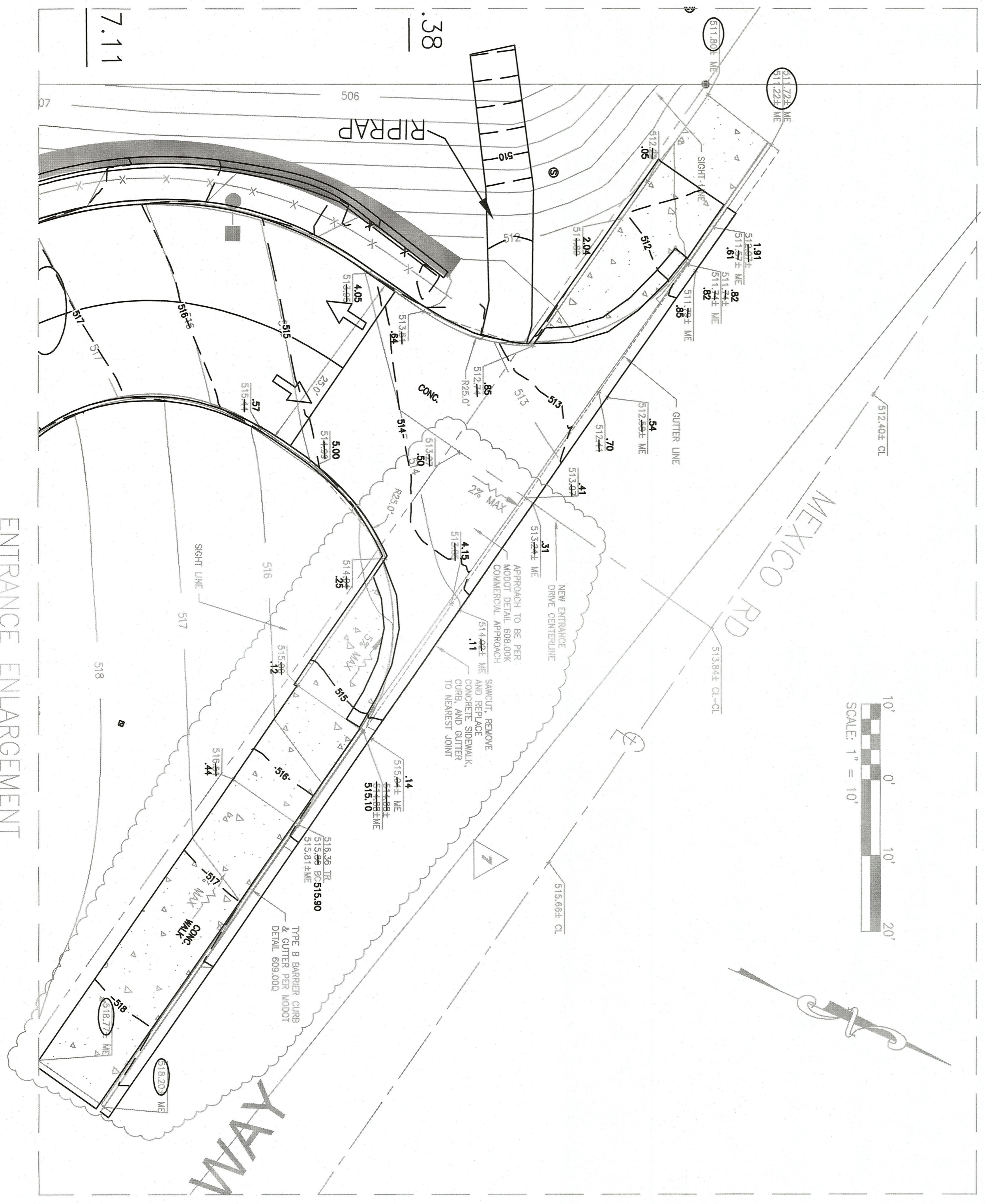
Job Number: 21-0154

Sheet Number: C1.0

N/F
 LOWE'S HOME CENTERS, INC.,
 A NORTH CAROLINA CORPORATION
 DB 2163 PAGE 479
 PARCEL: 366330A000



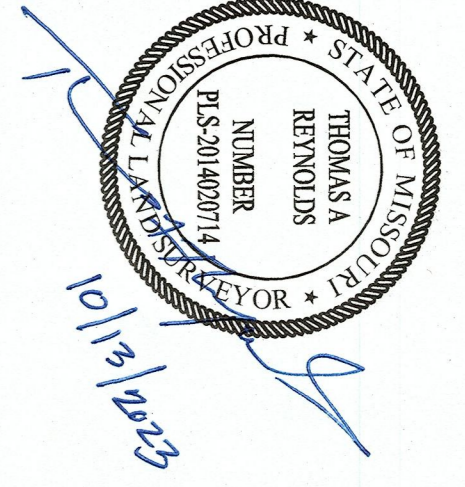
SCALE: 1" = 30'
 NOTE: ALL IMPROVEMENTS FROM THE BUILDING CURB LINE TO THE BUILDING ARE SHOWN FOR REFERENCE ONLY. SEE TEXAS ROADHOUSE BUILDING SITE PLANS FOR DETAILED INFORMATION.



SEWER + SITE ASBUILT

THE EXISTING SEWER LENGTH, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE ON THIS SET OF FINAL MEASUREMENT PLANS. SINCE THE WE LOCATIONS HAVE BEEN PLOTTED FROM INFORMATION PROVIDED BY THE SEWER CONTRACTOR OR OTHER SOURCES, I DISCLAIM ANY RESPONSIBILITY FOR THAT SPECIFIC INFORMATION. ALL PUBLIC SEWERS AND UTILITIES ARE LOCATED WITHIN THE DESIGNATED EXISTING OR PROPOSED EASEMENTS, UNLESS SHOWN OTHERWISE. SEWER & SITE AS-BUILTS AS SHOWN ON THIS PLAN ARE PER A FIELD SURVEY CONDUCTED BY COLE AND ASSOCIATES INC. ON SEPTEMBER 14-18 & OCTOBER 6, 2023. COLE & ASSOCIATES INC. L.S. 266-D PROJECT NO. 21-0154 (SEWER & SITE AS-BUILTS ONLY)

The Professional, whose signature and personal seal appear hereon, assumes responsibility only for what appears on this page, and disclaims (pursuant to Section 327.411 RSMo) any responsibility for all other plans, specifications, estimates, reports, or other documents or instruments not sealed by the professional or professional relating to, or intended to be used in connection with, or of parts of the project to which this page refers.



GRADING ABBREVIATIONS

BC	BOTTOM OF CURB
BB	BOTTOM OF RAMP
BW	BOTTOM OF WALL
FC	FLASH CURB
FF	FINISHED FLOOR
FD	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
ME	MEASUREMENT
MC	MEASUREMENT
TE	TOP OF EXISTING
TO	TOP OF GRADE
TP	TOP OF PAVEMENT
TR	TOP OF RAMP
TW	TOP OF WALL

DATE: 10/9/2023
 DRAWING SCALE: AS SHOWN
 CHECKED BY: TAR
 DRAWN BY: CTW
 JOB NUMBER: 21-0154
 SHEET NUMBER: C5.0

CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE / GIS / ADA TRANSITION PLANNING
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TEXAS ROADHOUSE IMPROVEMENT PLANS
 MEXICO ROAD
 O'FALLON, MO 63368
 GRADING PLAN

DEVELOPER/OWNER: MOHR CAPITAL, LLC
 14643 DALLAS PARKWAY, SUITE 1000
 DALLAS, TX 75254
 (214) 801-9860

DATE	NO	REVISION DESCRIPTION
05/04/2023	7	RFT - SIDEWALK
02/01/2023	6	CURB AND SIDEWALK UPDATES
11/09/2022	5	PER CITY COMMENTS
10/21/2022	4	PER OWNER COMMENTS
05/12/2022	2	CITY REVIEW COMMENTS #1
02/24/2022	1	GRADING AND DRAINAGE UPDATES

SEWER + SITE ASBULT

N/F
 LOWE'S HOME CENTERS, INC.,
 A NORTH CAROLINA CORPORATION
 DB 2163 PAGE 479
 PARCEL: 366330A000
 EXISTING ZONING: C-2

- NOTES:
1. ALL UNDERGROUND UTILITIES LOCATED AND SHOWN ON THIS SHEET IDENTICAL TO PHYSICAL MARKERS IN THE FIELD BY OTHERS AND PLAN MARKERS RECEIVED FROM CONTRACTOR.
 2. ALL INTERNAL WATER LINES ARE PRIVATE.

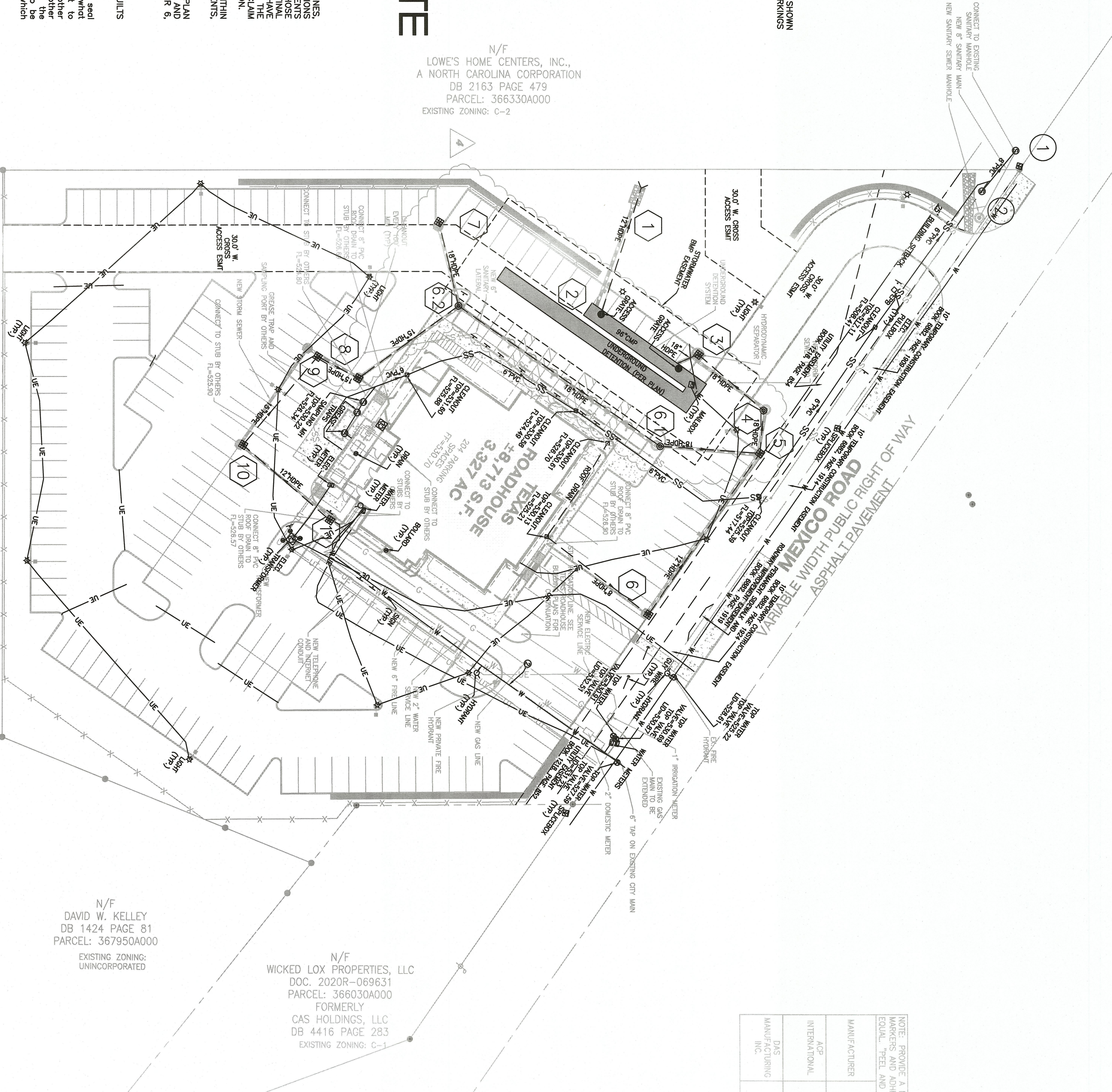
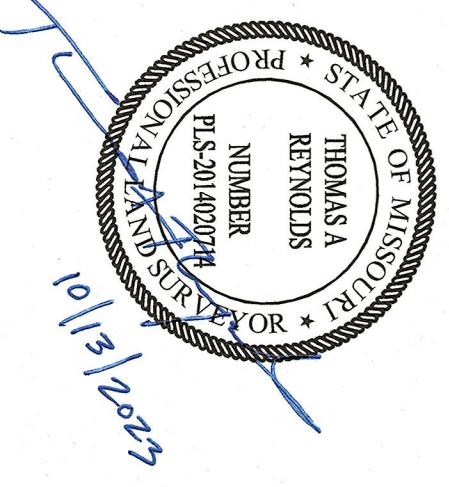
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SEWER & SITE AS-BUILTS AS SHOWN ON THIS PLAN ARE PER A FIELD SURVEY CONDUCTED BY COLE AND ASSOCIATES INC. ON SEPTEMBER 14-18 & OCTOBER 6, 2023.

COLE & ASSOCIATES INC. L.S. 266-D
 PROJECT NO. 21-0154 (SEWER & SITE AS-BUILTS ONLY)

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N/F
 DAVID W. KELLEY
 DB 1424 PAGE 81
 PARCEL: 367950A000
 EXISTING ZONING:
 UNINCORPORATED

N/F
 WICKED LOX PROPERTIES, LLC
 DOC. 2020R-069631
 PARCEL: 366030A000
 FORMERLY
 CAS HOLDINGS, LLC
 DB 4416 PAGE 283
 EXISTING ZONING: C-1

WHITE OAK LANE
 VARIABLE WIDTH PUBLIC RIGHT OF WAY
 ASPHALT PAVEMENT

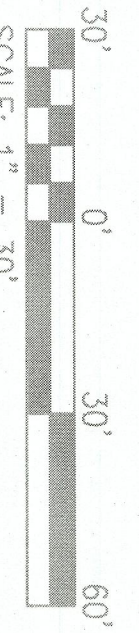
MANUFACTURER	SIZE	ADHESIVE	STYLE	MESSAGE (PART #)	MESSAGE
ADP INTERNATIONAL	0'-3 7/8"	EPOXY	CRYSTAL CAP	NO DUMPING WATERWAYS (SD-W-CD)	WWW.ADPINTERNATIONAL.COM
DAS MANUFACTURING INC.	0'-4"	EPOXY	STANDARD STYLE	NO DUMPING NO DRAINS TO STREAM (SD-S)	WWW.DASMANUFACTURING.COM

NOTE: PROVIDE A MARKING ON THE STORM SEWER INLETS. THE CITY WILL ALLOW THE FOLLOWING MARKERS AND ADHESIVE PROCEDURES ONLY AS SHOWN IN THE TABLE BELOW OR AN APPROVED EQUAL. "TEEL AND STICK" ADHESIVE PADS WILL NOT BE ALLOWED.

NOTE: ALL IMPROVEMENTS FROM THE BUILDING CURB LINE TO THE BUILDING ARE SHOWN FOR REFERENCE ONLY. SEE TEXAS ROADHOUSE BUILDING SITE PLANS FOR DETAILED INFORMATION.

NOTE: SANITARY LATERAL SHALL BE 6" SCHEDULE 40 PVC AT A MINIMUM 2% SLOPE

STORMWATER DETENTION SHALL BE DESIGNED FOR THE 100-YEAR, 20-MINUTE STORM



C6.0
 Sheet Number

DATE: 10/9/2023
 DRAWING SCALE: AS SHOWN
 CHECKED BY: TAR
 DESIGNED/DRAWN BY: MCS

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311 S. CHARLES
 1520 S. Fifth Street
 Suite 307
 St. Charles, MO 63303
 636.978.7508 tel
 www.colest.com

TEXAS ROADHOUSE IMPROVEMENT PLANS

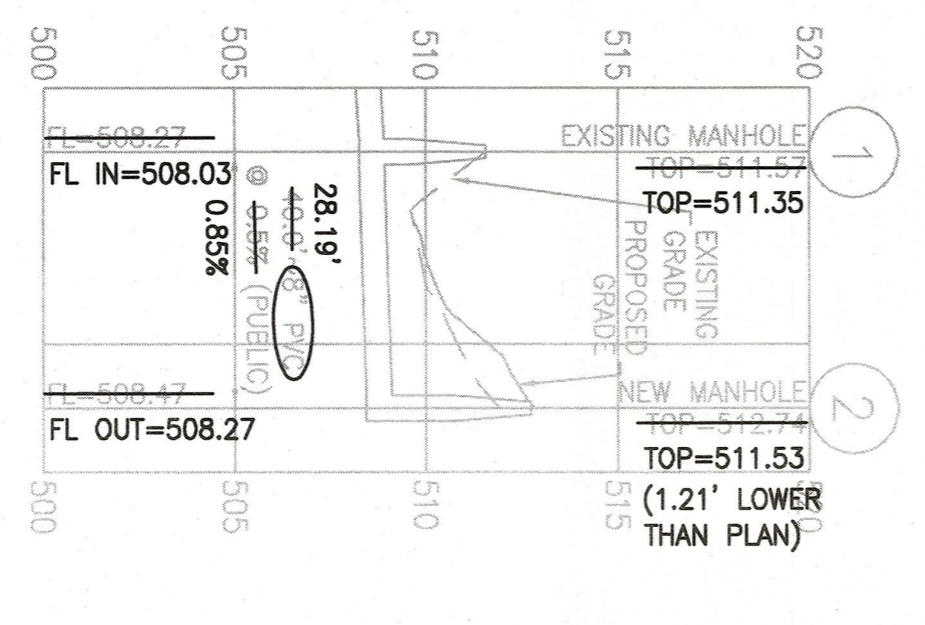
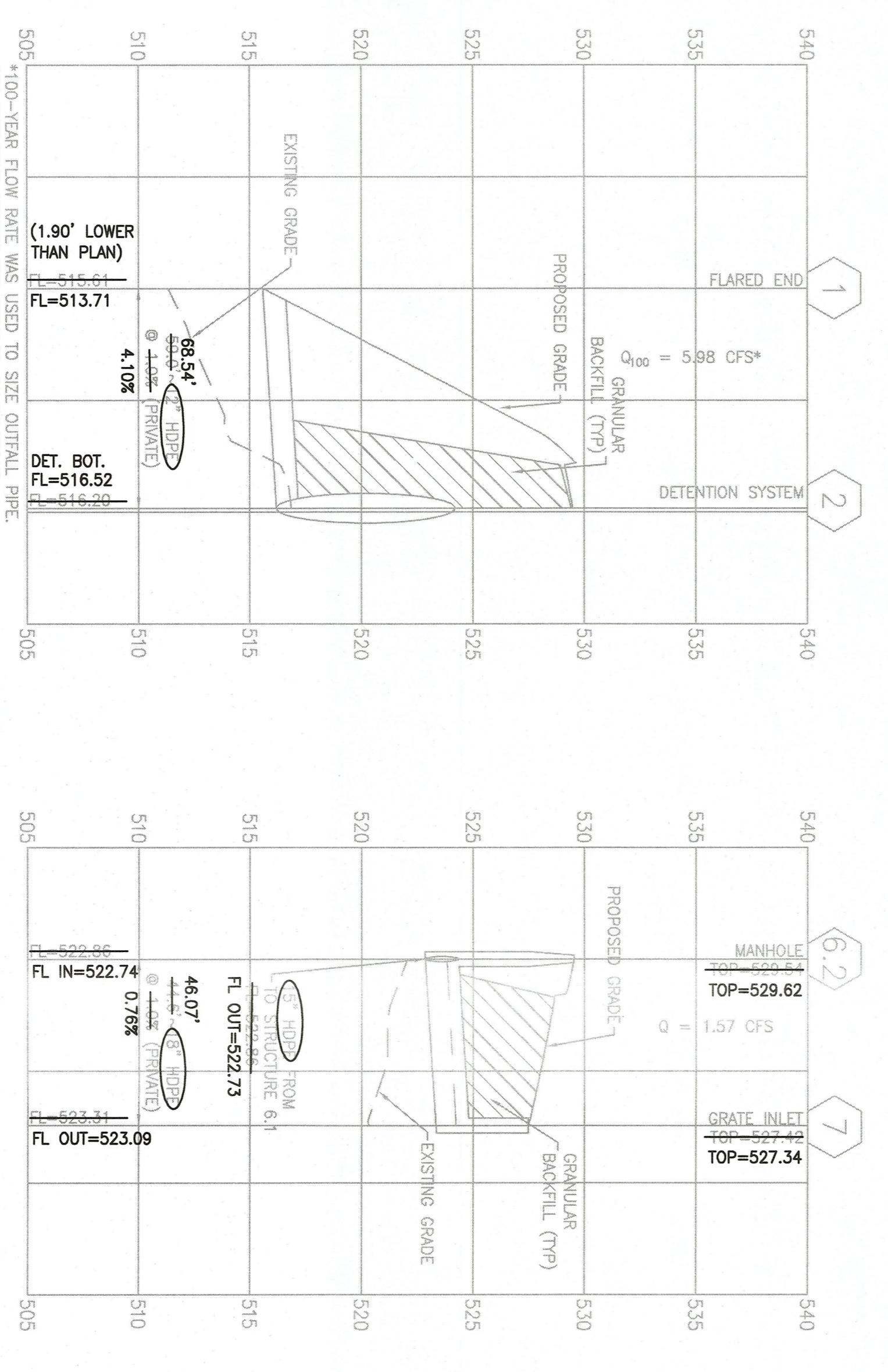
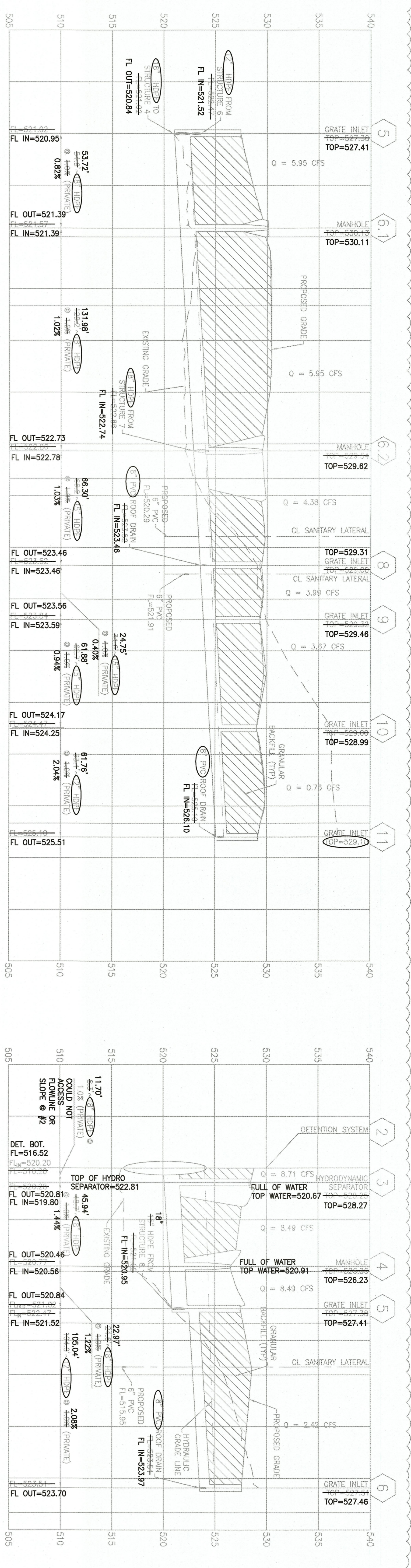
MEXICO ROAD
 O'FALLON, MO 63368

UTILITY PLAN

DEVELOPER/OWNER:
MOHR CAPITAL, LLC
 14643 DALLAS PARKWAY, SUITE 1000
 DALLAS, TX 75254
 (214) 801-9860

THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON, ASSUMES RESPONSIBILITY ONLY FOR WHAT APPEARS ON THIS PAGE, AND DISCLAIMS (PURSUANT TO SECTION 327.411 RSMo) ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS, OR OTHER DOCUMENTS OR INSTRUMENTS NOT SEALED BY THE UNDERSIGNED PROFESSIONAL RELATING TO OR INTENDED TO BE USED FOR, ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.

DATE	NO	REVISION DESCRIPTION
05/12/2022	4	FIELD CHANGE
02/24/2022	2	CITY REVIEW COMMENTS #1
	1	GRADING AND DRAINAGE UPDATES
	NO	REVISION DESCRIPTION



15-YR 20-MINUTE HYDRAULIC CALCULATIONS

Label	Start Node	Stop Node	Diameter (in)	Length (Unified) (ft)	Manning's n	Brand Angle (Calculated) (degrees)	Slope (Calculated) (ft/ft)	Flow (cfs)	Capacity (Excess Flow) (cfs)	Capacity (Full Flow) (cfs)	Velocity (ft/s)	Invert (ft)	Elevation Ground (ft)	Hydraulic Grade Line (ft)	Invert (ft)	Elevation Ground (ft)	Hydraulic Grade Line (ft)	Freeboard (ft)
6.5	6	5	12	104	0.013	25.25	0.01	2.42	1.14	3.56	3.08	522.47	527.38	524.59	523.51	527.51	525.07	2.44
3.2	3	2	18	10	0.013	0	0.01	8.21	1.79	10.5	4.39	520.18	528.5	524.04	520.28	528.25	524.11	4.14
9.8	9	8	18	31.6	0.013	65.31	0.01	3.99	2.51	6.5	3.25	523.52	529	525.48	523.84	529.32	525.6	3.72
5.4	5	4	18	27.8	0.013	64.75	0.01	8.49	2.05	10.54	4.8	520.24	527.24	524.41	521.02	527.38	524.59	2.79
4.3	4	3	18	45.3	0.013	90	0.01	8.49	2.07	10.56	4.8	520.28	528.25	524.11	520.74	527.74	524.41	3.33
11.10	11	10	12	63.1	0.013	86.51	0.01	0.76	2.8	3.56	3.6	524.47	529	525.61	525.1	529.1	525.83	3.27
10.9	10	9	15	63	0.013	85.12	0.01	4.38	2.79	6.46	2.99	523.84	529.32	525.6	524.47	529	3.19	
8.6.2	8	7	15	66.2	0.013	70.19	0.01	3.99	2.07	6.45	3.57	523.86	529.54	525.18	523.52	529.54	525.48	3.52
6.2.6.1	6.2	6.1	18	129.2	0.013	29.89	0.01	5.95	4.55	10.5	3.37	521.57	527.38	524.59	521.57	527.38	524.76	4.56
6.1.5	6.1	5	18	54.9	0.013	85.35	0.01	1.57	8.98	10.55	0.89	521.02	527.38	524.59	521.57	527.38	524.76	5.37
7.6.2	7	6.2	18	44.6	0.013	40.07	0.01	1.57	8.98	10.55	0.89	521.02	527.38	524.59	521.57	527.38	524.76	2.23

15-YR 20-MINUTE HYDRAULIC CALCULATIONS

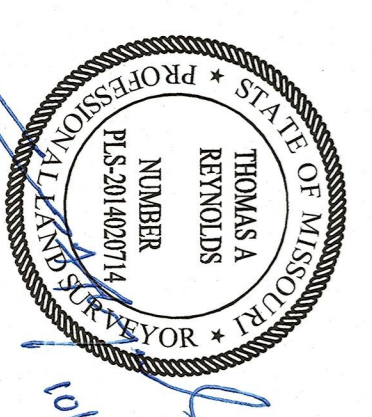
SEWER + SITE ASBULT

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COLE & ASSOCIATES INC. L.S. 286-D
 PROJECT NO. 21-0154 (SEWER & SITE AS-BUILTS ONLY)

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SCALE
 VERTICAL 1" = 5'
 HORIZONTAL 1" = 30'

<p>ST. CHARLES 1520 S. Fifth Street Suite 307 St. Charles, MO 63303 636.978.7508 tel www.coleast.com</p>	<p>TEXAS ROADHOUSE IMPROVEMENT PLANS</p> <p>MEXICO ROAD O'FALLON, MO 63368</p> <p>PROFILES</p>	<p>DEVELOPER/OWNER: MOHR CAPITAL, LLC 14643 DALLAS PARKWAY, SUITE 1000 DALLAS, TX 75254 (214) 801-9860</p>	10/21/2022	4	PER OWNER COMMENTS
			06/12/2022	2	CITY REVIEW COMMENTS #1
			02/24/2022	1	GRADING AND DRAINAGE UPDATES
				NO	REVISION DESCRIPTION

C6.1
 Sheet Number
 Job Number
 21-0154

NO.	REVISION DESCRIPTION	DATE
1	GRADING AND DRAINAGE UPDATES	02/21/2023
2	CITY REVIEW COMMENTS #1	03/12/2023
4	FIELD CHANGE	XXXX

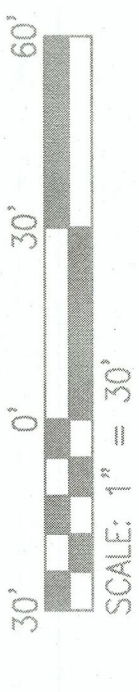
DEVELOPER/OWNER:
MOHR CAPITAL, LLC
 14643 DALLAS PARKWAY, SUITE 1000
 DALLAS, TX 75254
 (214) 801-9860

FOR ANY PART OR PARTS OF THE PROJECT TO WHICH THIS PAGE REFERS.
 THE PROFESSIONAL, WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON,
 IS NOT PROVIDING ANY PROFESSIONAL SERVICE OR INSTRUMENTS NOT
 SPECIFICALLY LISTED IN THE INSTRUMENTS RELATING TO THIS PROJECT.
 THE PROFESSIONAL'S RESPONSIBILITY IS LIMITED TO THE WORK AND PRODUCTS
 SPECIFICALLY LISTED IN THE INSTRUMENTS RELATING TO THIS PROJECT.
 (Pursuant to Section 227.111 (b)(5), any responsibility for all other plans,
 documents, instruments, estimates, reports, or other documents
 prepared by the Professional, including those prepared by the
 Professional's employees, agents, independent contractors, or
 other persons, shall be the responsibility of the person or persons
 who prepared them.)

TEXAS ROADHOUSE
 IMPROVEMENT PLANS
 UTILITY PLAN
 MEXICO ROAD
 0' FALLON, MO 63368

COLE
 CIVIL ENGINEERING / SURVEYING / LANDSCAPE ARCHITECTURE
 1520 S. Fifth Street
 Suite 307
 St. Charles, MO 63035
 636.977.508 fax
 www.coleinc.com

DESIGN/CALC BY: MGS
 DRAWN BY: CTW
 CHECKED BY: TAR
 DRAWING SCALE: AS SHOWN
 DATE: 10/9/2023
 Job Number: 21-0154
 Sheet Number: C6.0

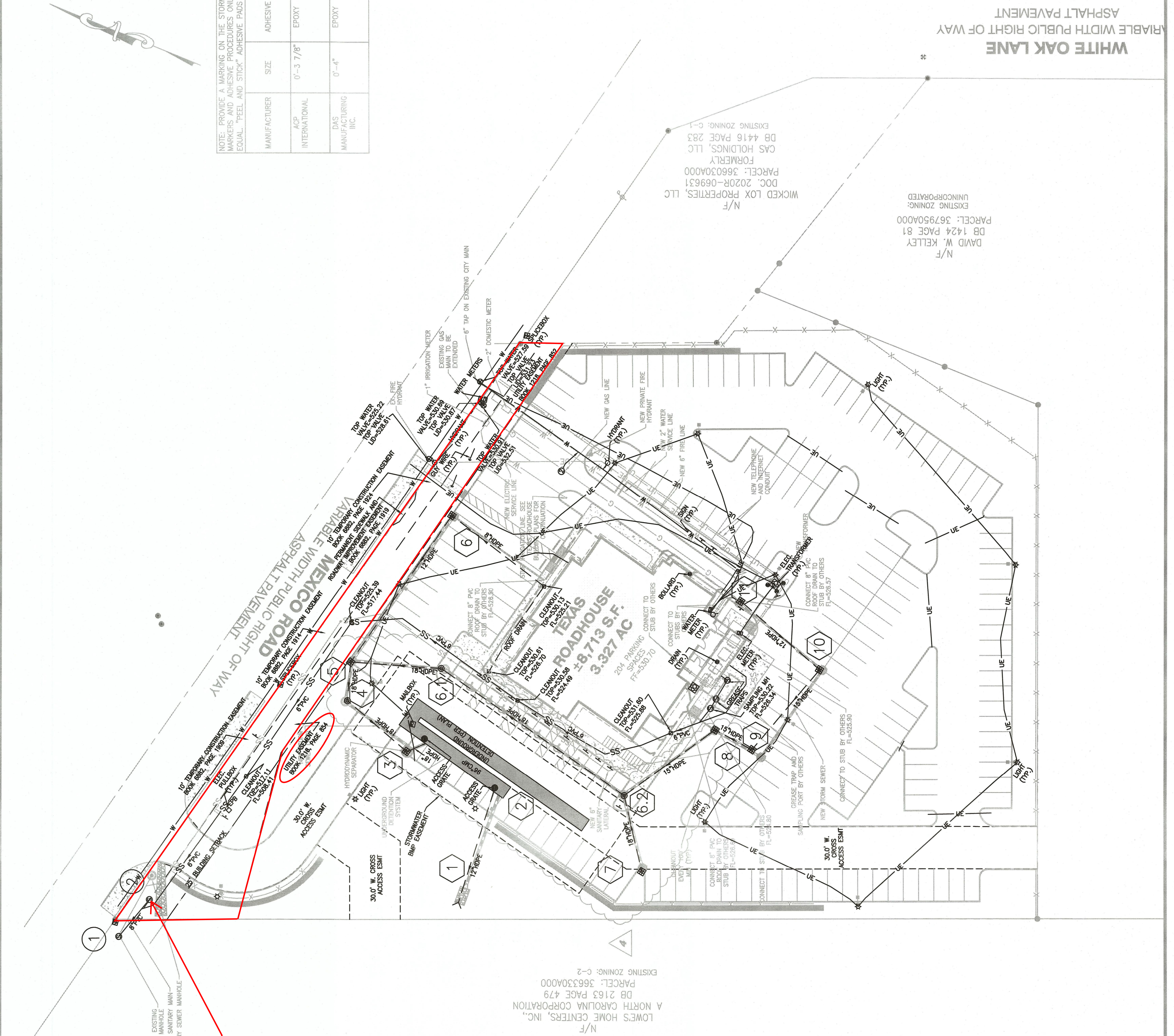


NOTE: ALL IMPROVEMENTS FROM THE BUILDING CURB LINE TO THE BUILDING ARE SHOWN FOR REFERENCE ONLY. SEE TEXAS ROADHOUSE BUILDING SITE PLANS FOR DETAILED INFORMATION.

NOTE: SANITARY LATERAL SHALL BE 6" SCHEDULE 40 PVC AT A MINIMUM 2% SLOPE
 STORMWATER DETENTION SHALL BE DESIGNED FOR THE 100-YEAR, 20-MINUTE STORM

NOTE: PROVIDE A MARKING ON THE STORM SEWER INLETS. THE CITY WILL ALLOW THE FOLLOWING MARKERS AND ADHESIVE PROCEDURES ONLY AS SHOWN IN THE TABLE BELOW OR AN APPROVED EQUAL. "PEEL AND STICK" ADHESIVE PADS WILL NOT BE ALLOWED.

MANUFACTURER	SIZE	ADHESIVE	STYLE	MESSAGE (PART #)	WEBSITE
ICP INTERNATIONAL	0'-3' 7/8"	EPOXY	CRYSTAL CAP	NO DUMPING DRAINS TO STREETS (F015)	WWW.ICPINTERNATIONAL.COM
DAS MANUFACTURING INC.	0'-4"	EPOXY	STANDARD STYLE	NO DUMPING DRAINS TO STREETS (F015)	WWW.DASMANUFACTURING.COM



- NOTES:**
1. ALL UNDERGROUND UTILITIES LOCATED AND SHOWN ON THIS SHEET MUST FOLLOW THE PHYSICAL MARKINGS IN THE FIELD BY OTHERS AND PLAN MARKUPS RECEIVED FROM CONTRACTOR.
 2. ALL INTERNAL WATER LINES ARE PRIVATE.

SEWER + SITE ASBUILT

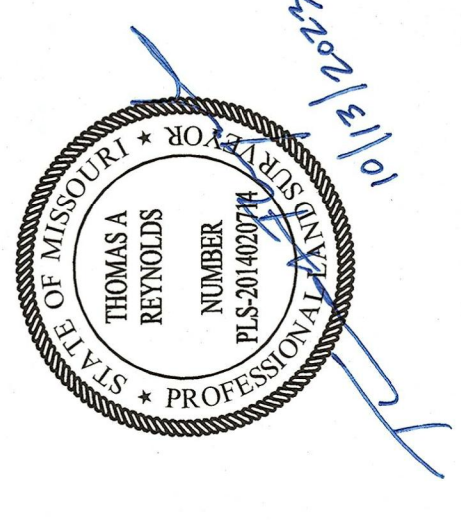
THE EXISTING SEWER LENGTH, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE ON THIS SET OF FINAL MEASUREMENT PLANS. SINCE THE WYE LOCATIONS HAVE BEEN PLOTTED FROM INFORMATION PROVIDED BY THE SEWER CONTRACTOR OR OTHER SOURCES, I DISCLAIM ANY RESPONSIBILITY FOR THAT SPECIFIC INFORMATION.

ALL PUBLIC SEWERS AND UTILITIES ARE LOCATED WITHIN THE DESIGNATED EXISTING OR PROPOSED EASEMENTS, UNLESS SHOWN OTHERWISE.

SEWER & SITE AS-BUILTS AS SHOWN ON THIS PLAN ARE PER A FIELD SURVEY CONDUCTED BY COLE AND ASSOCIATES INC. ON SEPTEMBER 14-18 & OCTOBER 6, 2023.

COLE & ASSOCIATES INC.
 L.S. 266-D
 PROJECT NO. 21-0154 (SEWER & SITE AS-BUILTS ONLY)

The Professional, whose signature and personal seal appears hereon, assumes responsibility only for what appears on this page, and disclaims (pursuant to Section 327.411 RSMo) any responsibility for all other plans, specifications, estimates, reports, or documents. The Professional is not authorized to use any part of the project to which this page refers.



10/13/2023

WHITE OAK LANE
 VARIABLE WIDTH PUBLIC RIGHT OF WAY
 ASPHALT PAVEMENT

N/F
 DAVID W. KELLEY
 DB 1424 PAGE 81
 PARCEL: 367950A000
 UNINCORPORATED

N/F
 WICKED LOX PROPERTIES, LLC
 DOC. 2020R-069631
 PARCEL: 366030A000
 FORMERLY
 CAS HOLDINGS, LLC
 DB 4416 PAGE 283
 EXISTING ZONING: C-1