

# WINGHAVEN

## WINGHAVEN RESIDENTIAL L.L.C.

### TIMBER CREEK VILLAGE IMPROVEMENT PLANS

The existing sewer lengths, sizes, flowlines, depths of structures and sewers and locations with respect to existing or proposed easements have been measured. The results of those measurements are shown on this set of Final Measurement plans. Since the wye locations have been plotted from information provided by the sewer contractor or other sources, I disclaim any responsibility for that specific information.

All public sewers are located within designated existing or proposed easements except as shown on this drawing.

The results of those measurements are shown on this drawing by lining out the planned number and indicating the measured number adjacent to the planned number. All other numbers shown have not been measured or verified.

The locations of the sewers were determined by locating the manholes and traversing in a straight line between them.

No hydraulic computations have been done on the measured lines to verify or confirm the capacity, freeboard or design requirements of the sewers.



**VOLZ**



Christopher Ferrante  
Mo. Reg. L.S. #2494

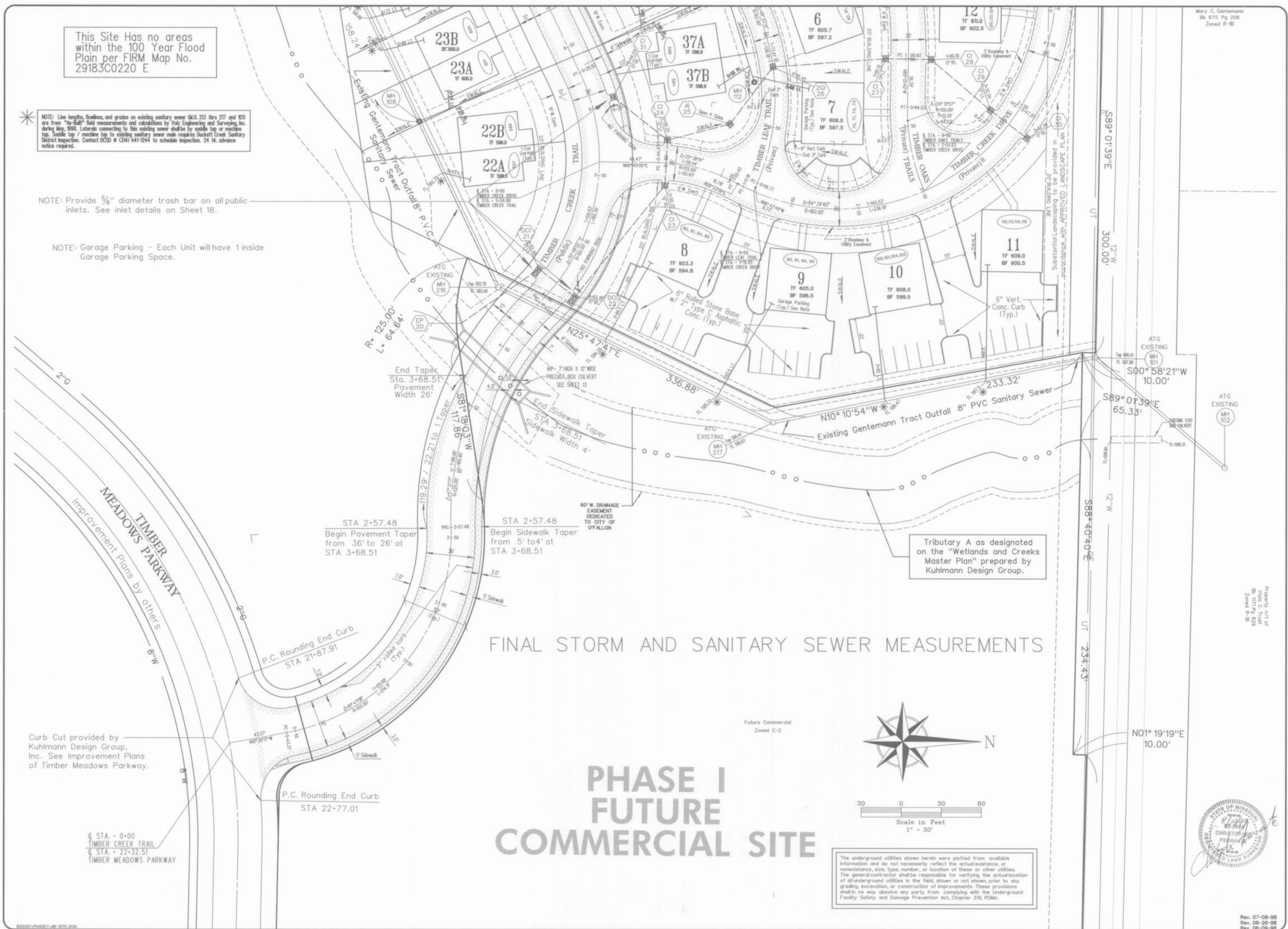
FINAL STORM AND SANITARY SEWER MEASUREMENTS

This Site Has no areas within the 100 Year Flood Plain per FIRM Map No. 29183C0220 E

NOTE: Line lengths, flowlines, and grades on existing sanitary sewer (M.H. 213 thru 217 and 100) are from "As-Built" field measurements and calculations by Volz Engineering and Surveying, Inc. during May, 1998. Laterals connecting to this existing sewer shall be by saddle tap or machine tap. Saddle tap / machine tap to existing sanitary sewer main requires Duckett Creek Sanitary District Inspection. Contact DCSO @ (314) 441-1244 to schedule inspection. 24 Hr. advance notice required.

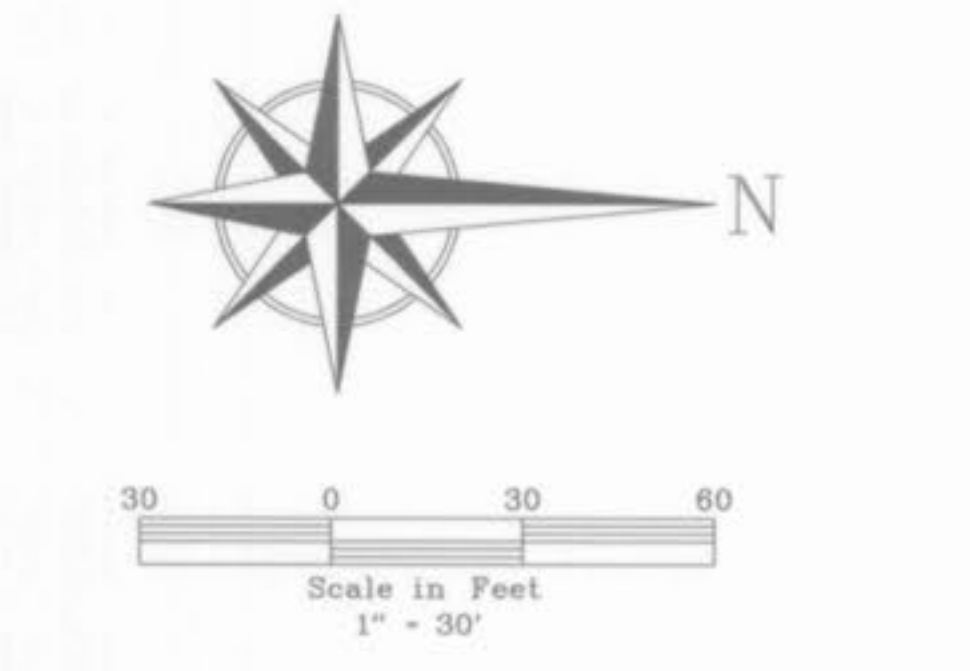
NOTE: Provide 5/8" diameter trash bar on all public inlets. See inlet details on Sheet 18.

NOTE: Garage Parking - Each Unit will have 1 inside Garage Parking Space.



FINAL STORM AND SANITARY SEWER MEASUREMENTS

PHASE I  
FUTURE  
COMMERCIAL SITE



The underground utilities shown herein were plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or location of these or other utilities. The general contractor shall be responsible for verifying the actual location of all underground utilities in the field, shown or not shown, prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

Mary C. Gentemann  
BK 675 Pg 206  
Zoned R-1B

WINGHAVEN  
RESIDENTIAL L.L.C.  
\*11 MORRIS & SON  
CORPORATE CENTER DRIVE  
ST. LOUIS, MISSOURI 63005  
PHONE: (314) 537-2000

**VOLZ**

WINGHAVEN

TIMBER CREEK VILLAGE  
FORMERLY VILLAGE "U"  
SITE PLAN

Design By: R.L.K.  
Drawn By: G.L.K.  
Checked By: E.A.K.

Rev. 07-08-98  
Rev. 06-28-98  
Rev. 06-09-98

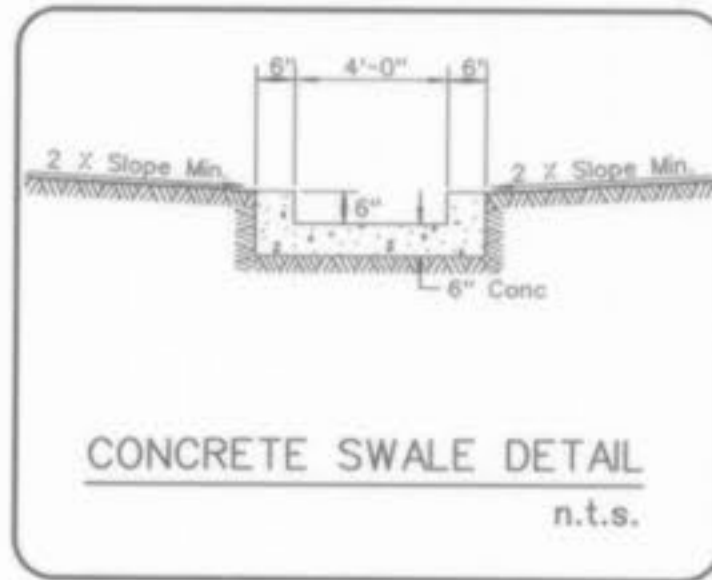
05-15-98

01



Timber Creek Village  
As built

SEE DETENTION BASIN PLANS



\* NOTE: Line lengths, flowlines, and grades on existing sanitary sewer (M.H. 213 thru 217 and 100 are from "As-Built" field measurements and calculations by Volz Engineering and Surveying, Inc. during May, 1998. Laterals connecting to this existing sewer shall be by saddle tap or machine tap. Saddle tap / machine tap to existing sanitary sewer main requires Duckett Creek Sanitary District Inspection. Contact DCSD @ (314) 441-9244 to schedule inspection. 24 Hr. advance notice required.

Property n/f of  
Fraser & Frichtel  
Bk 1013 Pg 294  
Zoned R-1A

Property n/f of  
Regine Gentemann  
Bk 675 Pg 210  
Zoned R-1B

FROM THE E A 50' R.O.W.  
TO BE DEDICATED AT THE  
DISCRETION OF MoDOT

Property n/f of  
Maureen & Wayne Presitt  
Bk 675 Pg 208  
Zoned R-1B

Property n/f of  
Mary C. Gentemann  
Bk 675 Pg 206  
Zoned R-1B

NOTE: Provide 5/8" diameter trash bar on all public inlets. See inlet details on Sheet 18.

NOTE: Garage Parking - Each Unit will have 1 inside Garage Parking Space.



Scale in Feet  
1" = 30'

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85500\PHASE1\AB-SITE2.DGN

20' wide Transition Zone per Zoning Code (400.425)



HWY "N" (VARIABLE WIDTH)  
889° 01' 39" E  
125.14'

500° 58' 21" W  
5.00'

889° 01' 39" E  
50'

HWY "N"

12" W

400'-00"

HWY "N"

12" W

500° 58' 21" E  
5.00'

889° 01' 39" E  
125.14'

HWY "N" (VARIABLE WIDTH)

FINAL STORM AND SANITARY SEWER MEASUREMENTS

TIMBER CREEK VILLAGE  
FORMERLY VILLAGE "U"  
SITE PLAN

WINGHAVEN  
RESIDENTIAL L.L.C.  
111 MCBRIDE & SON  
CORPORATE CENTER DRIVE  
ST. LOUIS, MISSOURI 63005  
PHONE (314) 537-2000

VOLZ

WINGHAVEN

Design By: R.L.M.  
Drawn By: G.L.K.  
Checked By: E.A.K.  
B-5500  
05-15-98

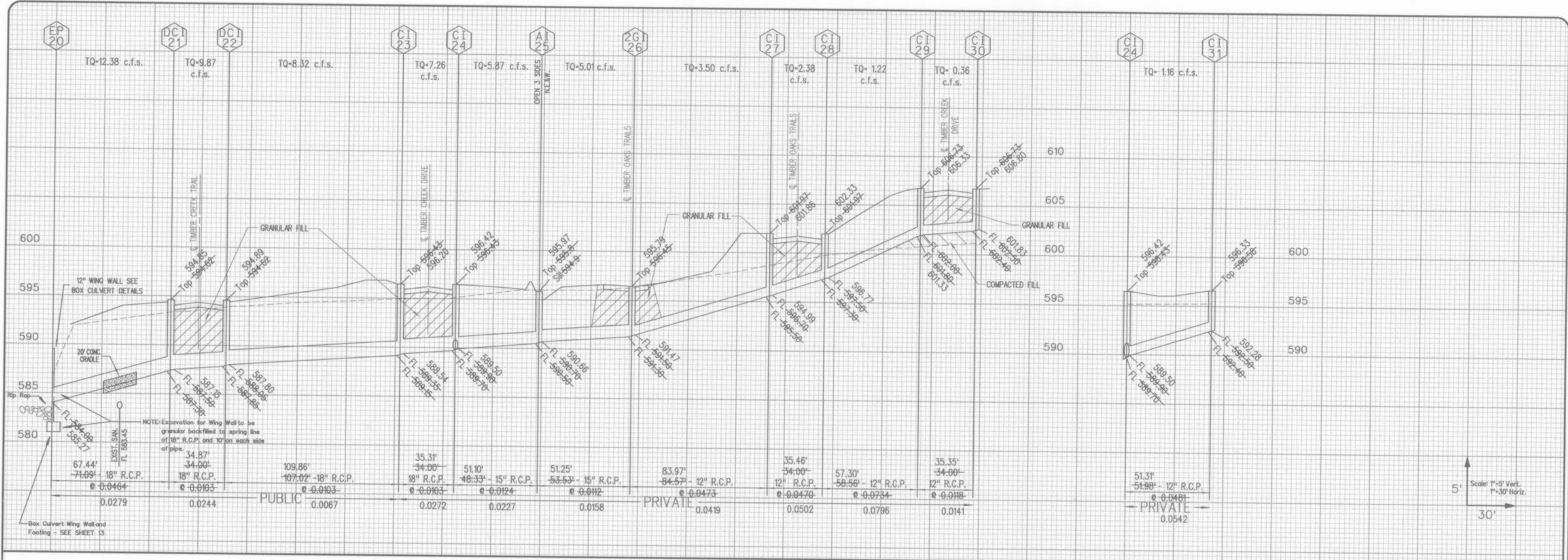
Rev. 07-08-98  
Rev. 06-09-98

Timber Creek Village  
As built

1A







WINGHAVEN  
RESIDENTIAL L.L.C.  
111 W. MOORE & SON  
CORPORATE CENTER DRIVE  
ST. LOUIS, MISSOURI 63005  
PHONE (314) 537-2000



# WINGHAVEN

TIMBER CREEK VILLAGE  
FORMERLY VILLAGE "U"  
STORM SEWER PROFILES  
15-15-98  
04

Design By: R.L.M.  
Drawn By: G.L.K.  
Checked By: R.L.M.

B-5500



## FINAL STORM AND SANITARY SEWER MEASUREMENTS