

IMPROVEMENT PLANS

VILLAGES AT DARDENNE - PRAIRIE VILLAGE

A TRACT OF LAND BEING PART OF
 LOTS 1, 2 AND 3 OF THE JAMES CAMPBELL
 ESTATE AS RECORDED IN PLAT BOOK 3, PAGE 51,
 WITHIN U.S. SURVEY 3225, TOWNSHIP 46 NORTH, RANGE 3 EAST
 ST. CHARLES COUNTY, MISSOURI

DRAWING INDEX

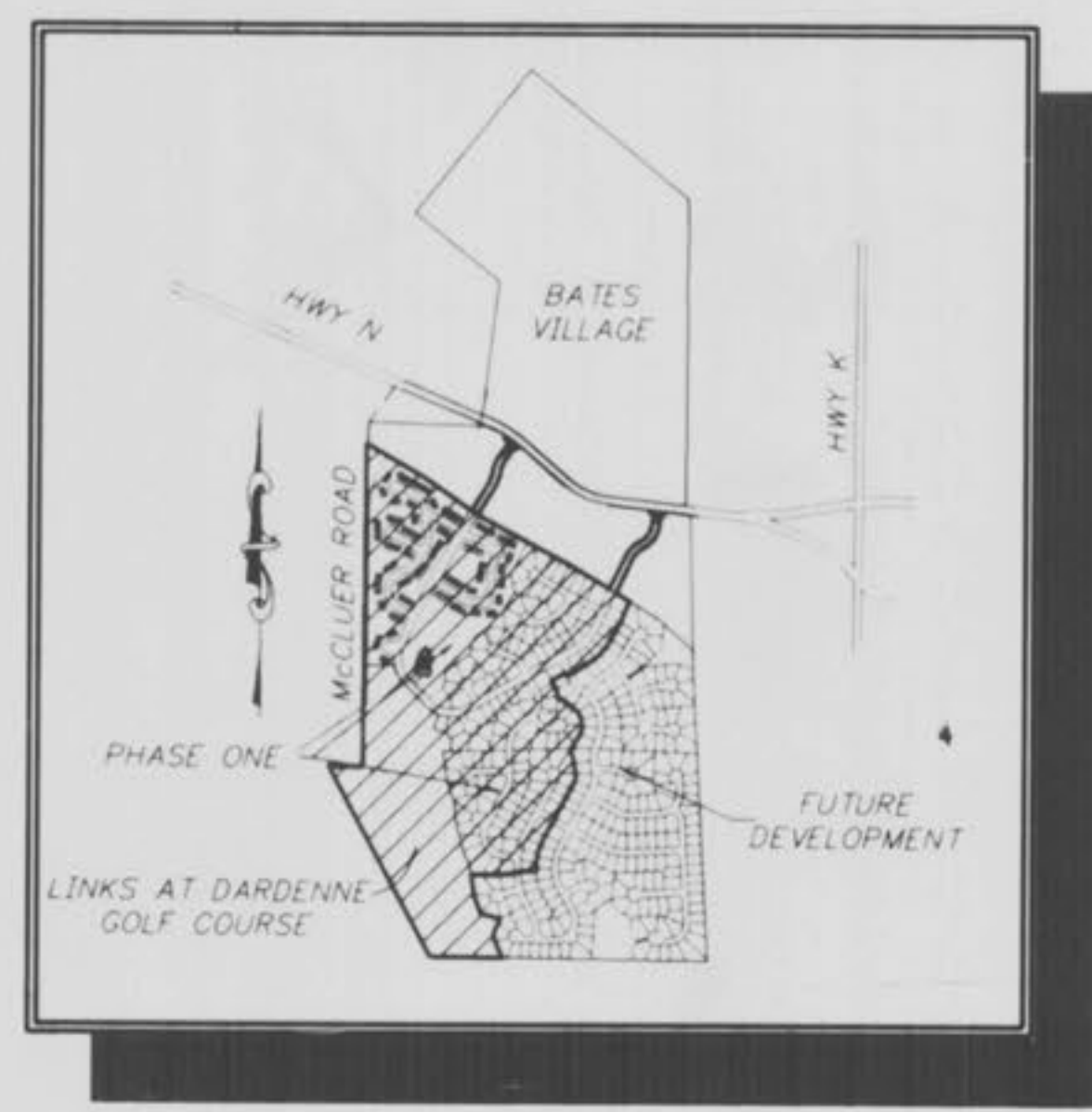
CITY OF O'FALLON GENERAL NOTES

1. Gas, water and other underground utilities shall not conflict with the depth or horizontal locations of existing and proposed sanitary and storm sewers, including house laterals.
2. Underground utilities have been plotted from available information and, therefore, their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.
3. Polyvinyl Chloride (PVC) shall conform to the requirements of ASTM D-3034 Standard Specifications for the PSM Polyvinyl Chloride (PVC) Sewer Pipe and Fittings, SDR-35.
4. All storm sewer pipe under pavement, regardless of size, shall be reinforced concrete pipe (ASTM C-76, Class III) unless noted otherwise in the plans.
5. Property is located within the Flood Plain boundaries per FIRM Map No. 29183C0239E and 29183C0430E, revised on August 2, 1996.
6. All filled places under buildings, proposed sanitary and storm sewer lines, and/or paved areas including trench backfills shall be compacted to 90% of maximum density as determined by the "Modified A.A.S.H.T.O. T-100 Compaction Test" (ASTM D-1557) unless otherwise specified by the local governing authority specifications. All tests will be verified by a soils engineer.
7. All earthen filled places within State, County, or City roads (Highways) shall be compacted to 95% of maximum density as determined by the "Standard Proctor Test A.A.S.H.T.O. T-99" (ASTM D-698) unless otherwise specified by local governing authority specifications. All tests will be verified by a soils engineer.
8. All storm and sanitary trench backfills shall be water filled. Granular fill will be used under paved areas.
9. Easements shall be provided for storm sewers, sanitary sewers, and all utilities on the record plat. See record plat for location and size of easements. This does not apply to house laterals.
10. No area shall be cleared without the permission of the developer.
11. All grades shall be within 0.2 feet (more or less) of those shown on the grading plan.
12. No slope shall be greater than 3:1 and shall be either sodded or seeded and mulched.
13. Hazard markers will consist of three (3) standard specification, "Manual on Uniform Traffic Control Devices," and of roadway markers mounted on two (2) pound "U" channel sign post. Each marker shall consist of an eighteen (18) inch diamond reflectorized red panel. The bottom of each panel shall be mounted a minimum of four (4) feet above the elevation of the pavement surface.
14. All manhole and curb inlet tops built without elevations furnished by the Engineer will be the responsibility of the sewer contractor. At the time of construction stake-out of the sewer lines, all curb and grate inlets will be face staked. If normal face stakes fail in line with sewer construction, the Engineer will set these stakes on a double offset. It shall be the responsibility of the sewer contractor to preserve all face stakes from destruction.
15. All standard street curb inlets to have front of inlet 2 feet behind curb.
16. The minimum vertical distance from the low point of the basement to the flowline of a sanitary sewer at the corresponding house connection shall not be less than the diameter of the sanitary sewer plus a vertical distance not less than two and one-half feet (2-1/2').
17. Water lines, valves, sleeves, meters and etc., shall meet all specifications and installation requirements of the local governing authority.
18. All cast iron pipe for water mains shall conform to A.W.W.A. specification C-106 and/or C-108. The cast iron fittings shall conform to A.W.W.A. specification C-110. All rubber gasket joints for water cast iron pressure pipe and fittings shall conform to A.W.W.A. specification C-111.

PHASE ONE - 115 VILLAS AND 136 LOTS

PHASE ONE RESIDENTIAL AS-BUILT PLANS

LOCATION MAP



Sheet	Description
1	COVER SHEET
2-10-8	SITE PLANS
11-10	GRADING PLANS
20-20	STREET PROFILES
20a	MCCLUER ROAD ENTRANCE
9-12	SANITARY SEWER PROFILES
13-15	STORM SEWER PROFILES
47-55	DRAINAGE AREA MAPS
50-60	CONSTRUCTION DETAILS
60a-60b	WATER LAYOUT PLANS
60c-60f	OUTFALL SEWERS (LINKS GOLF)

LEGEND

—○— Sanitary Sewer (Proposed)	Sanitary Structure	R.C.P. Reinforced Concrete Pipe
—○— Sanitary Sewer (Existing)	Storm Structure	C.M.P. Corrugated Metal Pipe
—■— Storm Sewer (Proposed)	Test Hole	C.I.P. Cast Iron Pipe
—■— Storm Sewer (Existing)	Power Pole	P.V.C. Polyvinyl Chloride
—E— Water Line & Size	Light Standard	V.C.P. Vitrified Clay Pipe
—E— Existing water line	●● Double Water Meter Setting	C.O. Clean Out
—T— Tee & Valve	● Single Water Meter Setting	V.T. Vent Trap
—H— Hydrant	C.I. Curb Inlet	T.B.R. To Be Removed
—C— Cap	S.C.I. Skewed Curb Inlet	T.B.R. To Be Removed & Relocated
18 Lot or Building Number	D.C.I. Double Curb Inlet	T.B.P. To Be Protected
—X— Existing Fence Line	G.I. Grate Inlet	T.B.A. To Be Abandoned
—T— Existing Tree Line	A.I. Area Inlet	B.C. Base Of Curb
—T— Existing Trench	D.A.I. Double Area Inlet	T.C. Top Of Curb
—T— Existing Contour	C.C. Concrete Collar	T.W. Top Of Wall
—T— Proposed Contour	F.E. Flores End Section	B.W. Base Of Wall
—T— Grouted Rip-Rap	E.P. End Pipe	(TYP) Typical
—T— Area of Lateral	E.D. Energy Dissipator	M.H. Manhole
Asphalt Pavement	M.H. Manhole	U.N.O. Unless Noted Otherwise
Concrete Pavement	C.P. Concrete Pipe	U.I.P. Use in Place

SITE BENCHMARK

BM. #1
 "O" IN OPEN ON FIRE HYDRANT ON WEST SIDE OF HENNING ROAD AT 250' NORTH OF S.E. CORNER OF RAUP TRACT. ELEV. = 501.32 (BASED ON F.I.R.M. B.M. RM, #57 ELEV. = 486.44)

REVISIONS

REVISED SHEETS 10, 19, 23, 46, 56 6-10-98 DND/JAN
 REVISED SHEETS 20, 30, 34, 36 PER DUCKETT 8-5-97
 REVISED SHEETS 21, 26, 28 OF 60 8-1-97
 REVISED PER O'FALLON COMMENTS 7-18-97
 REVISED PER D.C.S.D. COMMENTS, 7-15-97 E.J.S.

40. The contractor will be responsible to insure that all areas within the project limits that have been disturbed by the grading process shall be seeded and mulched within ninety (90) days of completion.
41. The contractor will be responsible for the removal and disposal of all existing improvements, except those designated to be left in place, from within the limits of the construction area.
42. TOTAL DEVELOPMENT LANDSCAPING REQUIREMENTS
 A. Total tree coverage: 6.81 Acres
 B. Total tree coverage preserved: 5.45 Acres
 C. Required tree coverage preserved: 6.81 Acres x 0.20 = 1.36 Acres
 D. Excess tree coverage preserved: 5.45 Acres - 1.36 Acres = 4.09 Acres
 E. Excess trees preserved (All preserved trees are Type IV): 4.09 Acres x 15 Trees/Acre = 61 Trees
 F. Required street tree planting: 48,144 in. ft. frontage ÷ 50 in. ft./tree = 963 Trees
 G. Reduced street tree requirement: 963 Trees - 61 Trees = 902 Trees
43. The Duckett Creek Sanitary District shall be notified at least 48 hours prior to construction for coordination and inspection.
44. All exterior sanitary sewer manholes shall be waterproofed on the exterior in accordance with Missouri Department of Natural Resources Specification 10-CRS-8120(7)(E).
45. All pipes shall have positive drainage through manholes. No flat base structures are allowed.
46. All creek crossings shall be grouted rip-rap as directed by District Inspectors. (All grout shall be high slump ready-mix concrete).
47. All streets shall be paved with a paving machine.
48. Pre-manufactured adapters shall be used at all PVC to D.I.P. connections. Rubber boot / Mason type couplings will not be allowed.

19. All water hydrants and valves shall be cast iron and installed in accordance with plans and details.
20. All sanitary and storm sewers shall meet all specifications and installation requirements of the local governing authority.
21. All PVC water pipe shall have a minimum pressure rating of PR-200 or SDR-21.
22. All PVC sanitary sewer pipe shall be SDR-35 or equal with "Clean" 1/2" to 1" granular stone bedding uniformly graded. This bedding shall extend from 4" below the pipe to springline of pipe. Immediate backfill over pipe shall consist of same size "clean" or "minus" stone from springline of pipe to 6" above the top of pipe.
23. All grading on Missouri State Highway Right-of-Way shall be seeded and mulched and all disturbed Right-of-Way markers shall be reset at the completion of grading.
24. All streets must meet the specifications and installation requirements of the City of O'Fallon.
25. All sanitary manholes top shall be set 0.2" higher than the proposed ground except in pavement areas.
26. All sanitary manholes shall have a 31 mil thick coat of coal tar pitch waterproofing. See note #32 and #42.
27. All sanitary service lines shall have a 6" diameter for Villas and a 4" diameter for single-family developments.
28. Manhole frame and cover shall be Clay and Bailey No. 2008 or Neenan R-1736 or Deiter 1315 or approved equal.
29. A drop of 0.2 feet is required through each sanitary manhole. SEE NOTE #45.
30. The City of O'Fallon shall be notified at least 48 hours prior to construction of sanitary sewers for coordination and inspection.
31. Brick shall not be used on manholes.
32. Waterproofing. Waterproofing will be required on the exterior of all manholes. The bitumen shall consist of two coats of asphalt, coal-tar pitch, or a coating meeting American Society for Testing and Materials (ASTM) D-41. Asphalt shall conform to the requirements of ASTM D-449. Coal-tar pitch shall conform to the requirements of ASTM D-450. Coating shall be 31 mils thickness.
33. NOTE: The grading and elevations shown on the grading plans are for construction purposes only. Finished grades and slopes will vary from those shown on the plans depending upon the location, size and type of house built on the lot. However, care should be taken to insure that finished grading conforms to drainage area maps.
34. As needed, siltation fence shall be installed as a protective barrier for trees to remain.
35. This tract is in or served by:
 A. Water - St. Charles County P.W.S.D. No. 2
 B. Electric - Union Electric
 C. Telephone - G.T.E. Missouri
 D. Sanitary Sewers - Duckett Creek Sanitary District
 E. Gas - St. Charles Gas
 F. Fire Protection - O'Fallon Fire Protection District
 G. School District - Fort Zumwalt
 H. Mail Service - O'Fallon
36. Lot Data: A. Total Number of Lots - 337
 B. Minimum Lot Size - 9,000 Sq. Ft.
 C. Minimum Lot Width at Building Line - 75 Ft.
37. Yard and Setback Requirements:
 A. Front - 25 Feet
 B. Side - 6 Feet
 C. Rear - 25 Feet
38. Villa Data: A. Total Number of Villas - 115
39. Distance between Villa buildings:
 A. Front to Front - 50 feet
 B. Back to Back - 50 feet
 C. Side to Side - 20 feet
 D. Front to Side - 35 feet
 E. Back to Side - 35 feet
 F. Corner to Corner - 15 feet

This is to certify to Duckett Creek San. Dist. that these "As-Built" SEWER & WATER plans are based on actual field surveys conducted during Sept., 1996 and the results are shown hereon.

By: Daniel Ehlmann 10-08-98
 DANIEL EHLMANN, R.L.S., #2215
 STATE OF MISSOURI

PICKETT, RAY & SILVER'S CORPORATE
 REGISTRATION NO. LS-54-D

PICKETT RAY & SILVER

Civil Engineers Planners Land Surveyors
 333 Mid Rivers Mall Dr.
 St. Peters, MO 63376
 397-1211 FAX 397-1104

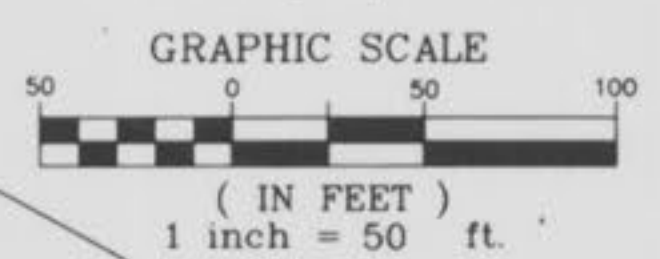
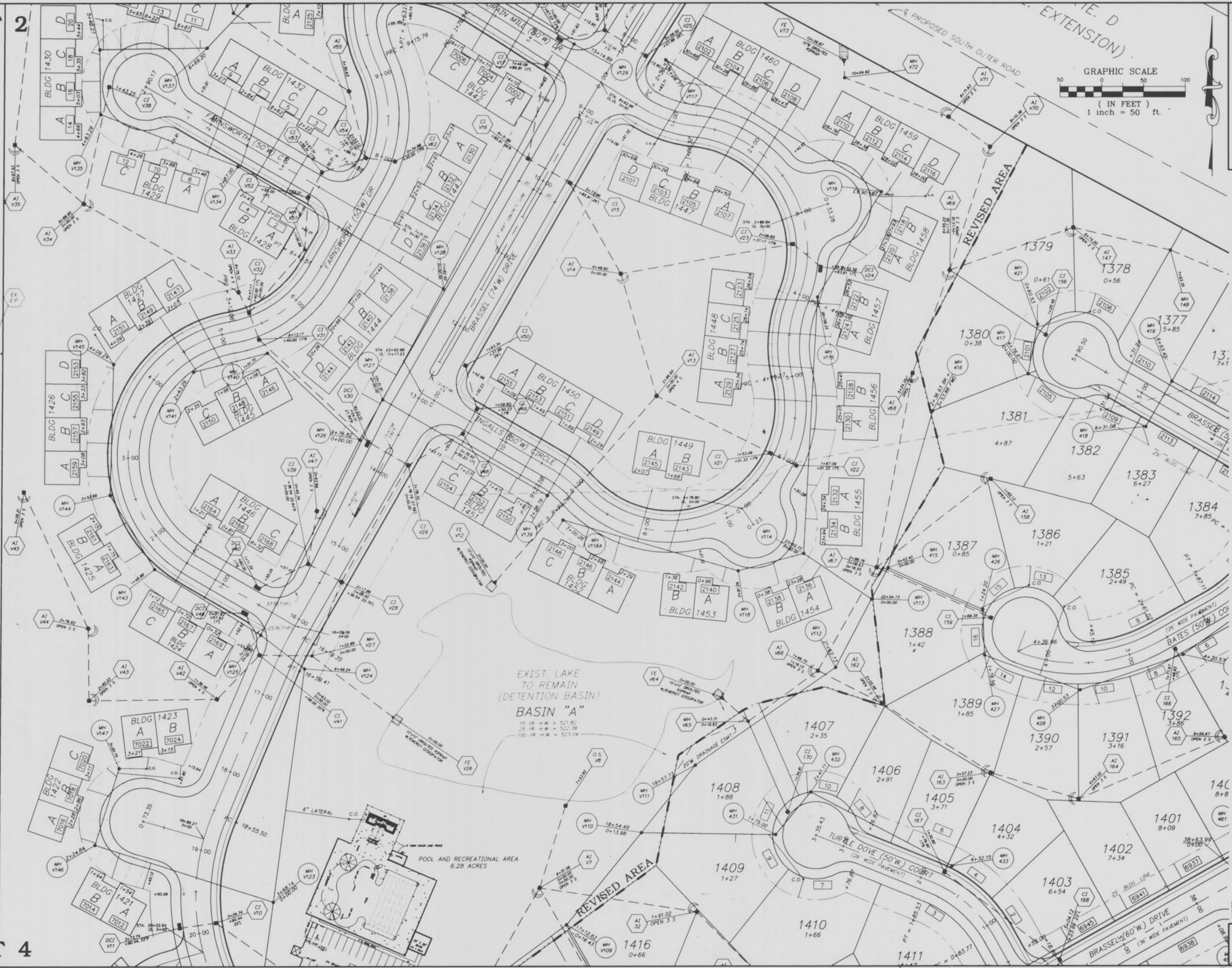
ENGINEERS AUTHENTICATION
 The responsibility for professional engineering liability on this project is hereby fixed to the seal of Daniel Ehlmann, R.L.S., #2215, State of Missouri. His seal, signature and date hereon are attached. Responsibility is disclaimed for all other engineering plans included in the project and specifically includes remains after this date unless re-authenticated.
 PICKETT, RAY & SILVER, INC.
 Daniel Ehlmann
 R.L.S. #2215
 State of Missouri
 10-1-97

DEVELOPER

WHITTAKER
 CONSTRUCTION, INCORPORATED
 355A MID RIVERS MALL DRIVE
 ST. PETERS, MO. 63376
 (314)970-1511

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 DRAWN E.J.S. DATE JUNE, 1997
 CHECKED DATE
 FIELD BOOK 595 PROJECT # 95-080C JOB ORDER # 35968

SEE SHEET 2



THE VILLAGES AT DARDENNE
 PRAIRIE VILLAGE
 SITE PLAN

REVISED 7-18-97 PER CITY OF OTTAWA, E.U.S.
 REVISED 7-15-97, E.U.S.

SEE SHEET 10

SEE SHEET 9

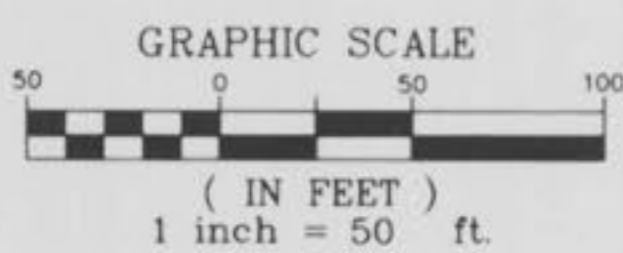
SEE SHEET 4

NOTE:
 All underground utilities and structures have been shown in accordance with the latest available records. It is the responsibility of the user to verify complete, current utility conditions.

AS BUILTS

9308004 7-18-97

SEE SHEET 3



MC CLUER REAL ESTATE LIMITED
N/F
MC CLUER RD (30' W) RD PB 2 PG. 6

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SITE PLAN

REVISED 7-18-97 PER CITY OF FALLON, E.L.S.
REVISED 7-15-97, E.L.S.
JUNE 1997

SEE SHEET 9

SEE SHEET 8

NOTE: Utility, utility and structure lines and lines indicated on this plan are shown for information only. It is the responsibility of the user to verify the location and depth of all utilities before construction. Utility lines shown on this plan are not to be used for any other purpose.

SEE SHEET 5

20080000 7-18-97

Villages @ Dardenne - Prairie Village PL AS-BUILTS



SEE SHEET 4

3

18

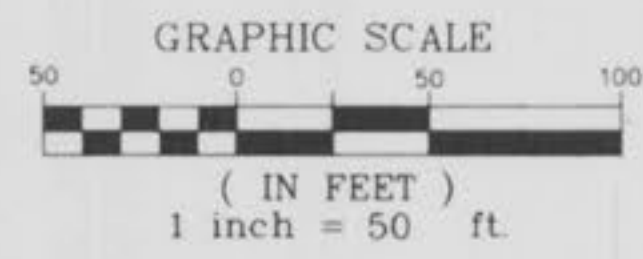
17

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SITE PLAN

SEE SHEET 8

SEE SHEET 7

NOTE:
Underground utilities and structures have been located by means of a utility camera. The location of these utilities and structures is shown on this plan. The utility camera was used to verify the location of the utility components before actual construction.



707
MULLER REAL ESTATE
LIMITED PARTNERSHIP
1625/71

SEE SHEET 6

Villages @ Dardenne - Prairie Village Pt. 1 AS BUILTS

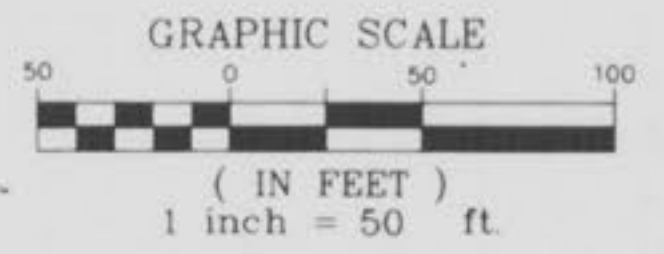


SEE SHEET 9

N/E
DICKERBERG,
DENNIS TRUST
ETAL
1372/1094
ZONED R-1A

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SITE PLAN

REVISED 7-15-97, E.L.S.
JUNE 1997



SEE SHEET 5

SEE SHEET 7

NOTE:
Unrecorded utilities and structures have been plotted from available information and are shown for informational purposes only. It is the responsibility of the utility companies to verify utility locations before construction.

8-17

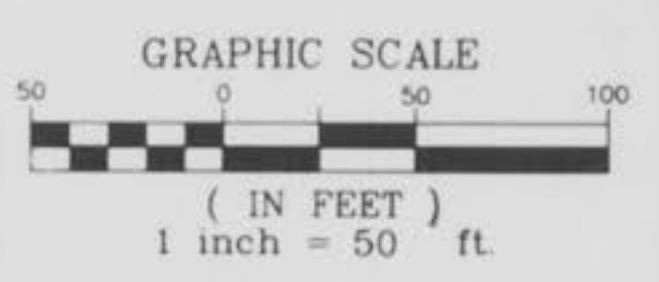
Villages @ Dardenne - Prairie Village R-1A - BUILTS

SEE SHEET 10

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SITE PLAN

REVISED 7-15-97, E.J.S.

95-080C



SEE SHEET 4

N/E
 DICHERBER,
 DENNIS TRUST
 ETAL
 1372/1094
 ZONED R-1A

SEE SHEET 8

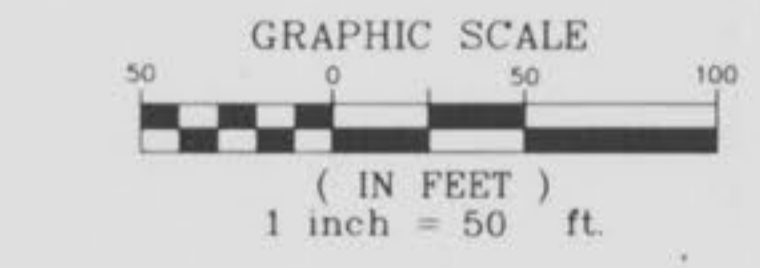
NOTE:
 Underground utilities and structures have
 been shown as indicated on this plan and
 are not to be construed as a warranty of
 accuracy. It is the responsibility of the
 utility companies to verify actual construction.

97
 17
 60

SEE SHEET 2

SEE SHEET 3

PROPOSED RTE. D.
(PAGE AVE. EXTENSION)



THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SITE PLAN
JUNE 1997

REVISED 06-19-98 PER CITY OF OTTAWA, ONT.
REVISED 7-18-97 PER CITY OF OTTAWA, E.I.S.
REVISED 7-15-97, E.I.S.

NOTE:
Underground utilities and structures have been positioned in accordance with the information provided by the utility companies. It is the responsibility of the utility companies to verify the location and depth of their lines before construction.

SEE SHEET 9

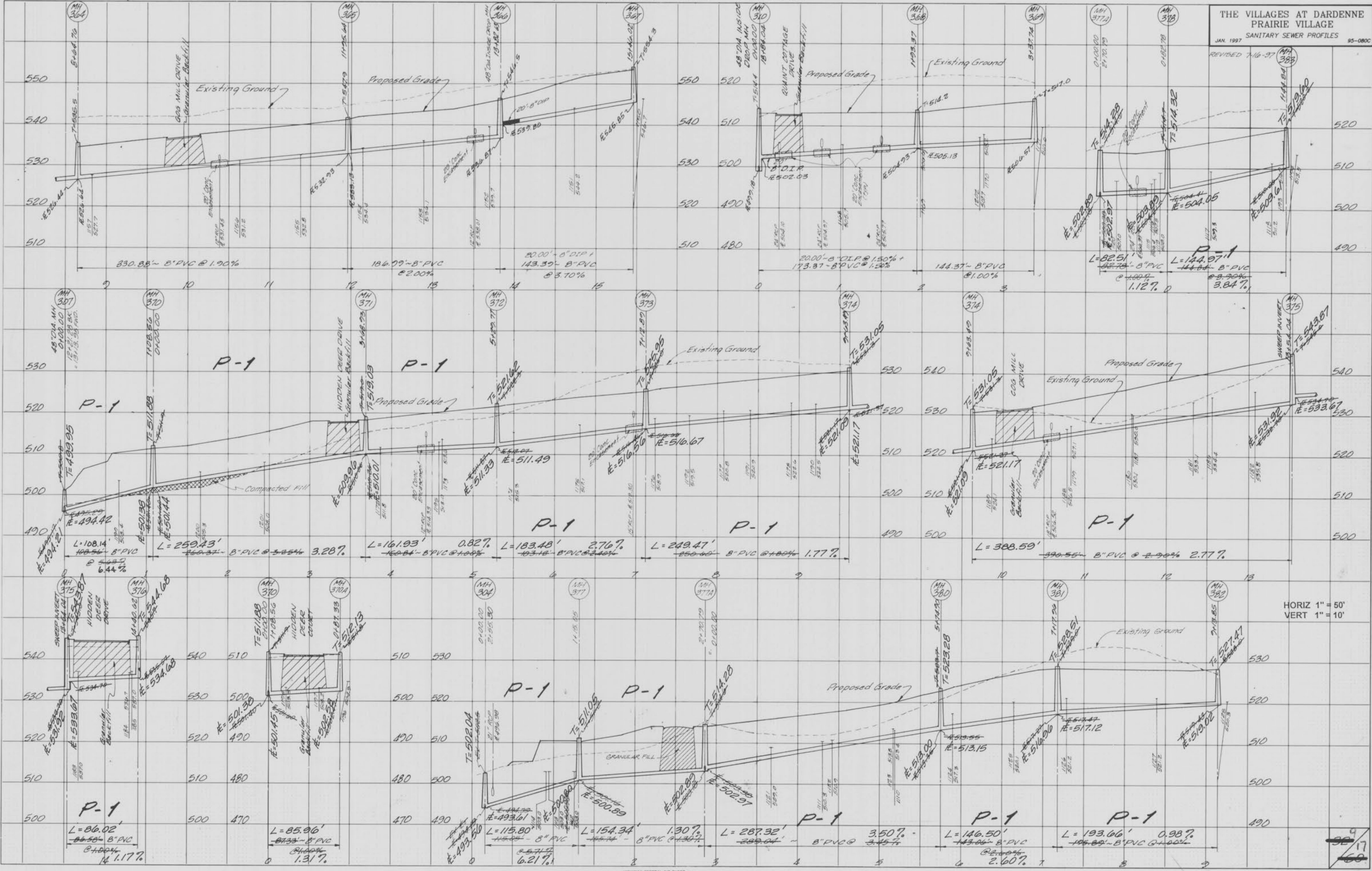
108/17

P-1 = PHASE ONE SEWERS

THE VILLAGES AT DARDENNE PRAIRIE VILLAGE
SANITARY SEWER PROFILES
JAN. 1997
REVISED 7-16-97
95-080C

FINAL SURVEY
DATE: _____
BY: _____
NOTED: _____
AREA CHECKED: _____

ORIGINAL SURVEY
DATE: _____
BY: _____
NOTED: _____
AREA CHECKED: _____



HORIZ 1" = 50'
VERT 1" = 10'

FORMED FEDERAL GOV'T
PLATE 3-FULL CROSS SECTION LINE & DOT
NATIONAL INSTRUMENTS
PRINTED IN U.S.A.

AS-BUILTS

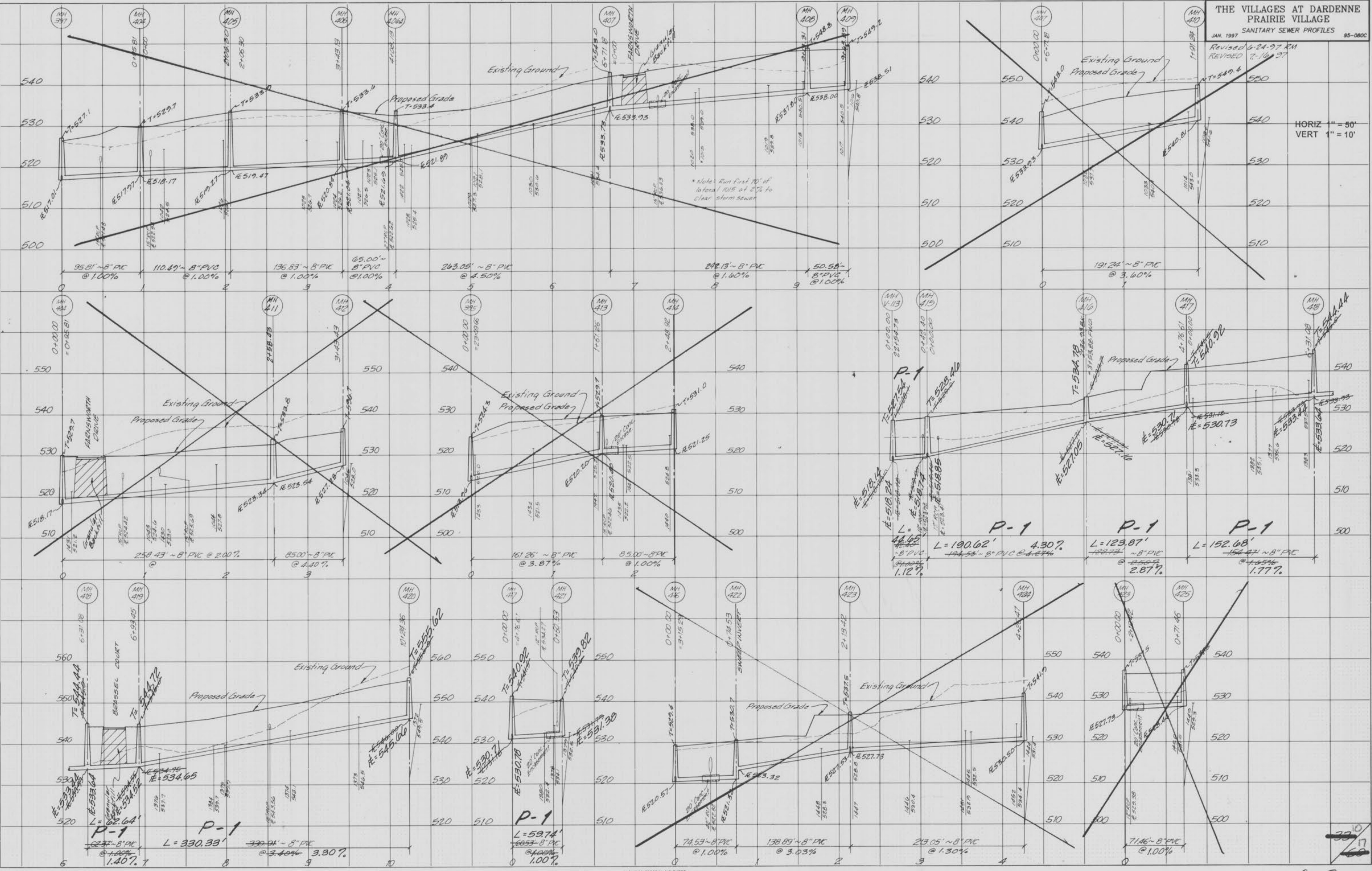
Villages@Dardenne - Prairie Village Ph 1

P-1 = PHASE ONE SEWERS

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
SANITARY SEWER PROFILES 95-080C

JAN. 1997
Revised 6-24-97 KM
REVISED 7-16-97

HORIZ " = 50'
VERT " = 10'



FINAL SURVEY
DRAWING
NOTED
TEMPLATE
NO. 1000
NO. 1000
NO. 1000
NO. 1000

ORIGINAL SURVEY
DRAWING
NOTED
TEMPLATE
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AS-BUILTS

AS-BUILTS

Villages@Dardenne - Prairie Village, MO

P-1 = PHASE ONE SEWERS

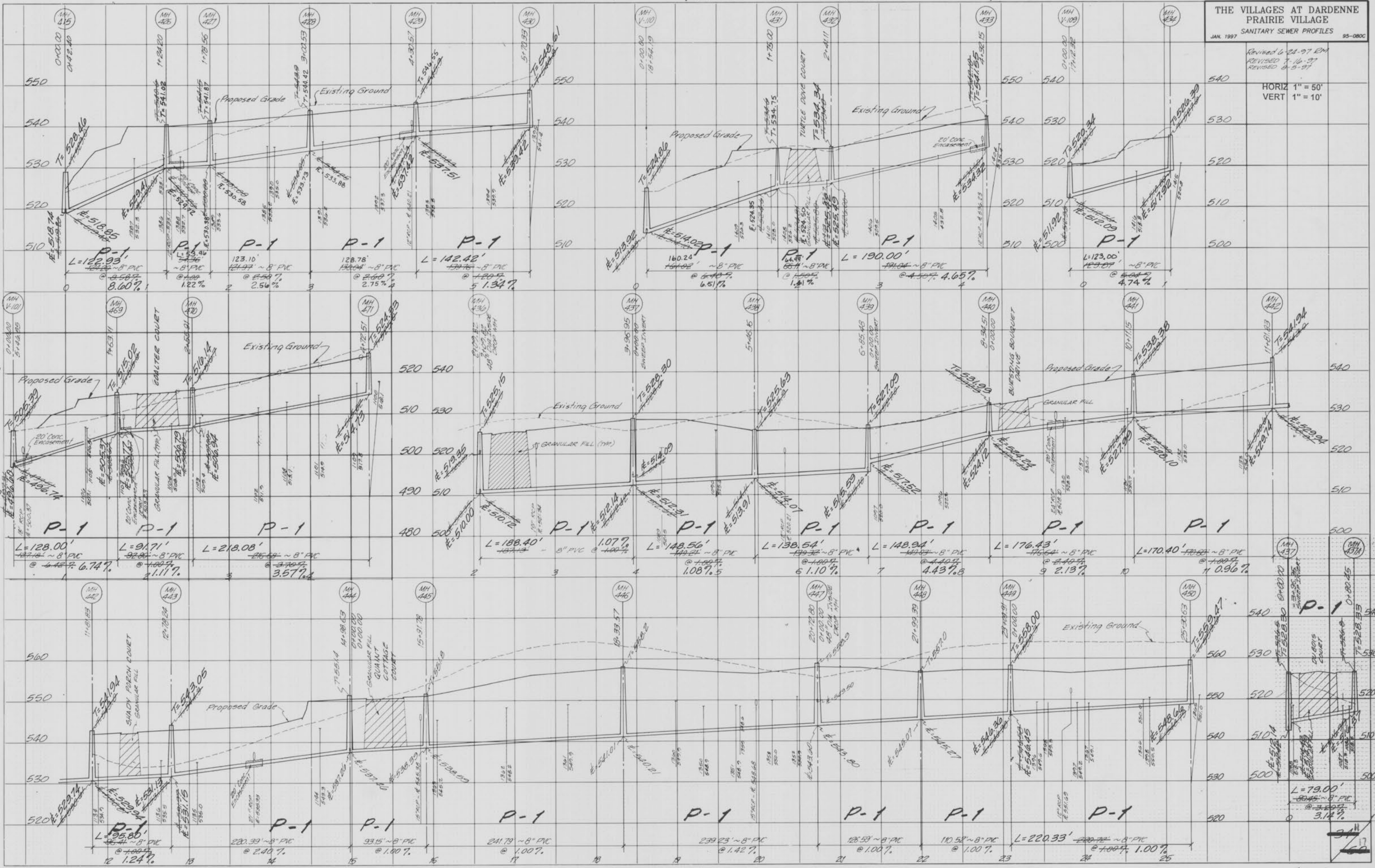
THE VILLAGES AT DARDENNE PRAIRIE VILLAGE
SANITARY SEWER PROFILES 95-080C

Revised 6-28-97 RM
REVISED 7-16-97
REVISED 8-5-97

HORIZ 1" = 50'
VERT 1" = 10'

FINAL SURVEY PLOTTED
NOTE BOOK NO. 480
AREAS CHECKED

ORIGINAL SURVEY PLOTTED
NOTE BOOK NO. 480
AREAS CHECKED



P-1 = PHASE ONE SEWERS

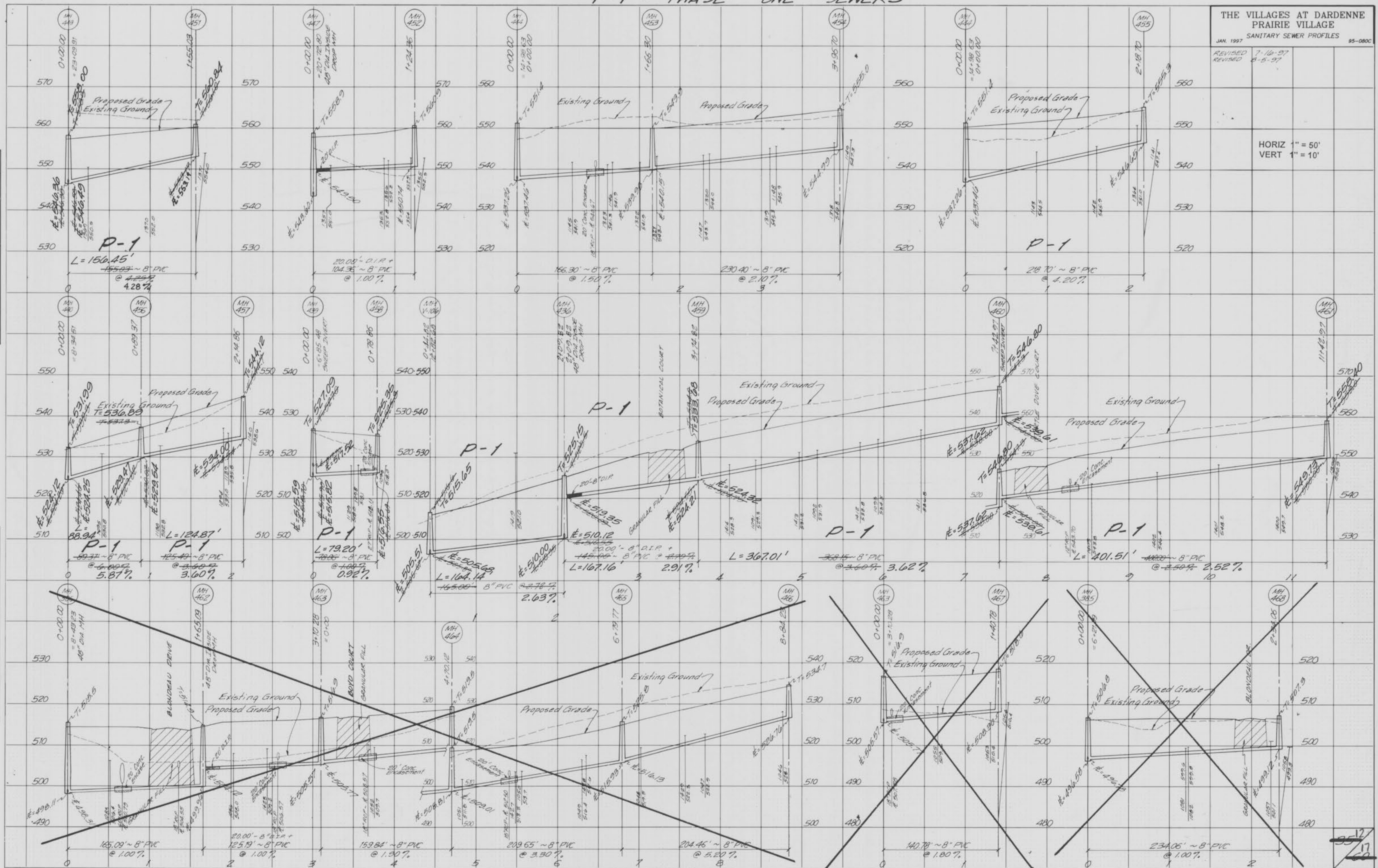
THE VILLAGES AT DARDENNE PRAIRIE VILLAGE
SANITARY SEWER PROFILES 95-080C

REVISIONS
7-16-97
8-5-97

HORIZ 1" = 50'
VERT 1" = 10'

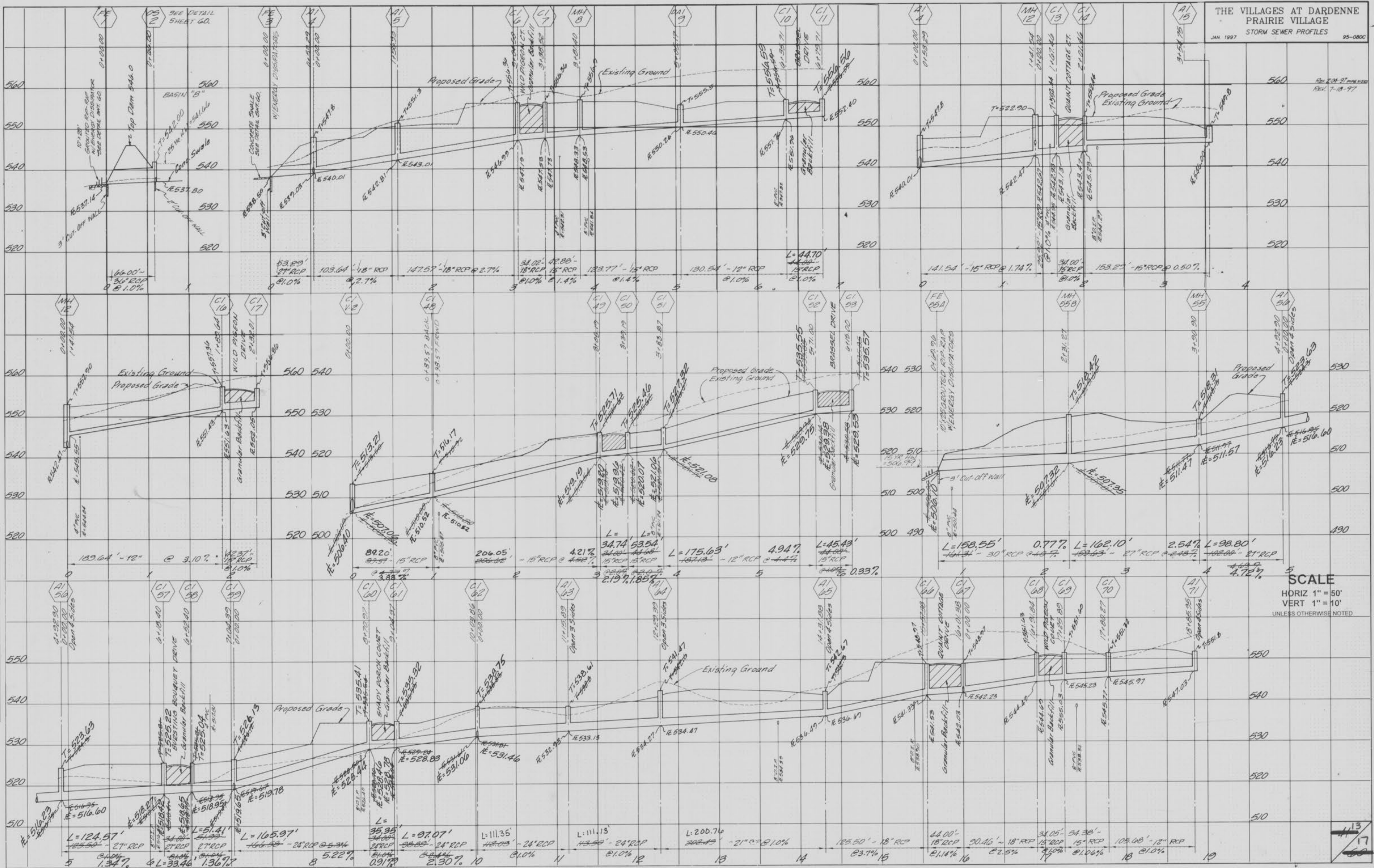
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NOTE BOOK
NO.

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BY
ORIGINAL SURVEY
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NOTE BOOK
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DATE: _____ BY: _____
 ORIGINAL SURVEY PLOTTED: _____
 NOTE BOOK: _____
 AREA CHECKED: _____

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 NOTE BOOK: _____
 AREA CHECKED: _____

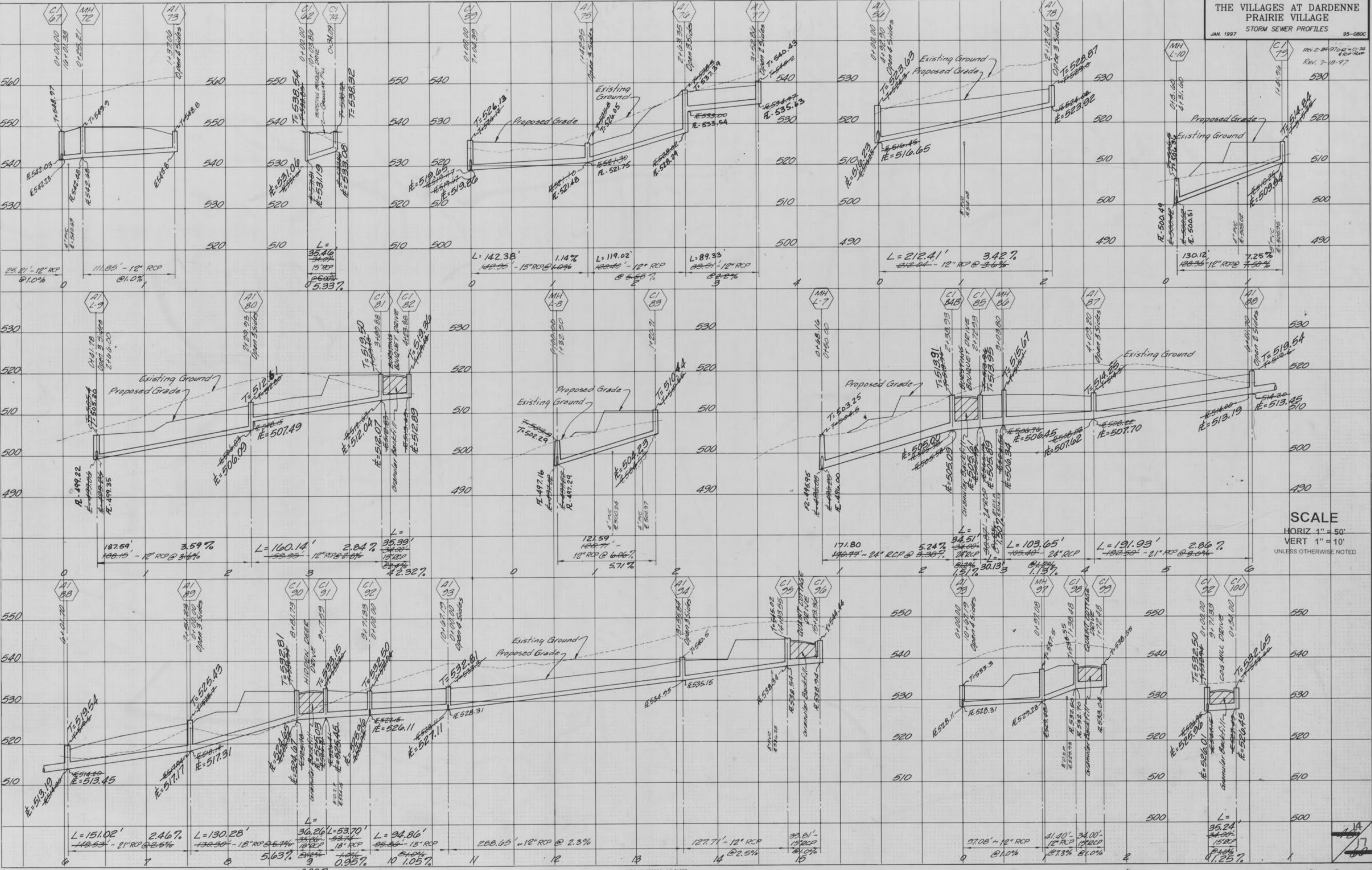


SCALE
 HORIZ 1" = 50'
 VERT 1" = 10'
 UNLESS OTHERWISE NOTED

REV. 2-28-97
REV. 7-18-97

DATE: _____ BY: _____
FINAL SURVEY SURVEYED BY: _____
NOTE BOOK NO. _____
AREAS CHECKED: _____

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ORIGINAL SURVEY SURVEYED BY: _____
NOTE BOOK NO. _____
AREAS CHECKED: _____



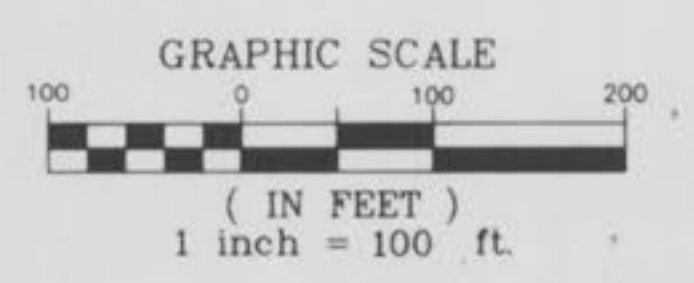
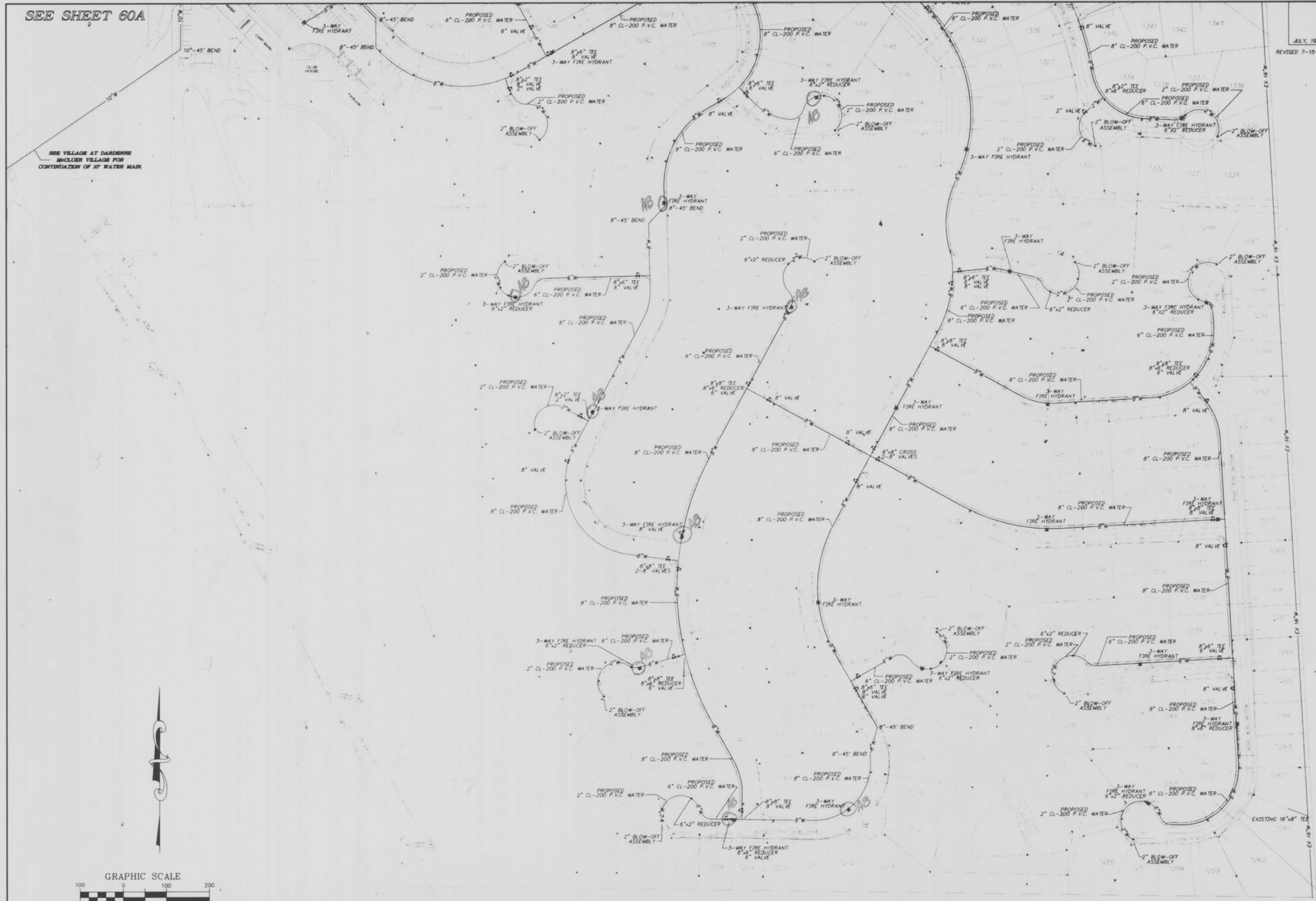
SCALE
HORIZ 1" = 50'
VERT 1" = 10'
UNLESS OTHERWISE NOTED

SEE SHEET 60A

THE VILLAGES AT DARDENNE
PRAIRIE VILLAGE
WATER LAYOUT PLAN

JULY, 1997 95080-C
REVISED 7-15-97 PER ST. CHARLES COUNTY P.W.S.D. No. 2, E.J.S.

SEE VILLAGE AT DARDENNE
McLUER VILLAGE FOR
CONTINUATION OF 10" WATER MAIN



- NOTES:**
1. ALL WATER MAINS WILL HAVE A MINIMUM OF 42" (3.5') OF COVER OVER PIPE.
 2. ALL WATER MAINS WILL BE CLASS 200 P.V.C. PIPE.
 3. ALL FIRE HYDRANTS WILL BE LOCATED 5 FEET FROM BACK OF CURB.
 4. BLOW-OFF ASSEMBLYS TO BE LOCATED 3'-4" PAST LAST PROPERTY LINE.
 5. ALL FIRE HYDRANT HOSE CONNECTIONS MUST FACE STREET.
 6. ALL FIRE HYDRANTS MUST BE INSTALLED WITH AN AUXILIARY VALVE.

C. DRAWING(S) SHWR



Villages @ Dardenne Prairie Village Ph. AS-BUILT S