

Plan View

As-built Drawing Index

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Benchmarks Project

BENCHMARK:
 ELEVATION 542.80 (DATUM NAVD88) ESTABLISHED BY COAST AND GEODETIC SURVEY 1935, A STANDARD BRASS DISK, STAMPED F 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 3 INCHES ABOVE GROUND. FURTHER DESCRIBED IN 2003 AS BEING LOCATED IN THE CITY OF O'FALLON, MO. APPROXIMATELY 12 MILES WEST OF THE CITY OF SAINT CHARLES AND 7.5 MI EAST OF WENTZVILLE AND IN FRONT OF THE CITY OF O'FALLON MUNICIPAL CENTER. THE STATION IS A STANDARD CGS DISK STAMPED-F 149 1935-AND SET IN A 4-INCH SQUARE CONCRETE MONUMENT PROJECTING 3 INCHES ABOVE THE GROUND. THE STATION IS 78.4 FEET SOUTH OF THE BRICK CITY OF O'FALLON MUNICIPAL BUILDING ENTRANCE SIGN, 61.2 FEET SOUTHWEST OF A STOP SIGN, 45.0 FEET NORTH OF THE NORTH RAIL OF THE NORFOLK AND SOUTHERN RAILROAD TRACKS, 28.6 FEET SOUTHWEST OF A LIGHT STANDARD, AND 25.7 FEET NORTHEAST OF A LIGHT STANDARD.

Site

BENCHMARK:
 ELEVATION 478.40; TOP FOUND IRON PIPE AT THE MOST SOUTHWEST CORNER OF EXISTING DETENTION BASIN SITE.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
SEEDING RATES:	
PERMANENT:	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.
TEMPORARY:	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Brome	March 1 to June 1
	August 1 to October 1
Wheat or Rye	March 15 to November 1
Oats	March 15 to September 15
MULCH RATES:	
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)	
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. To 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 2.02 Acres
 The area of land disturbance is 3.23 Acres
 Number of proposed lots is 8 Villa Lots (16 units)
 Building setback information. Front 25'
 Side 6'
 Rear 25'

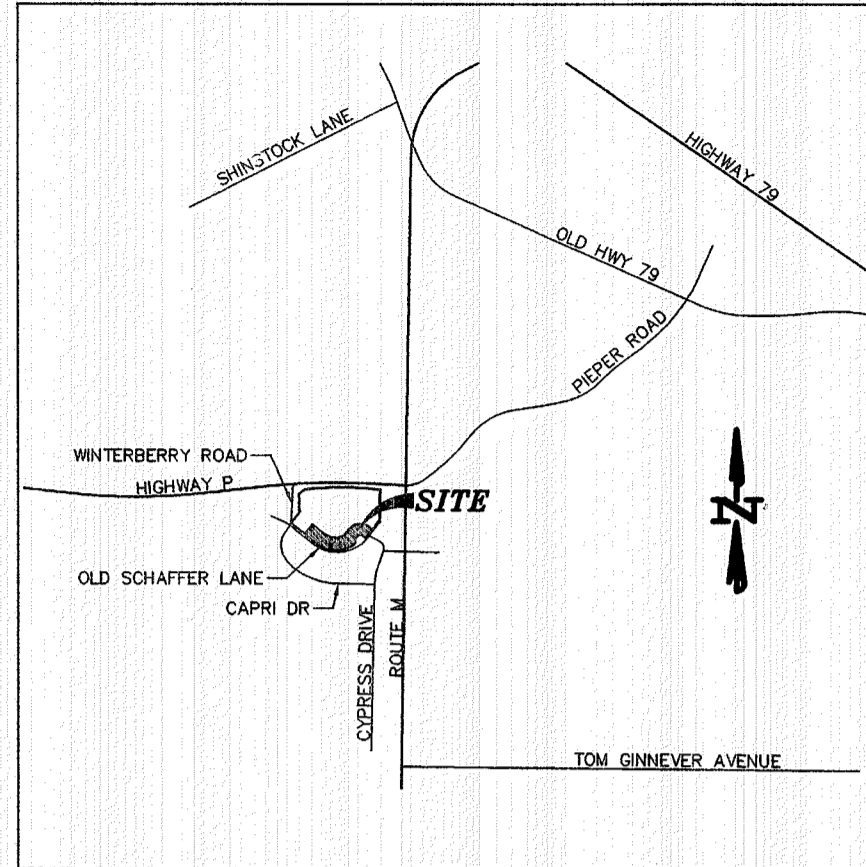
* The estimated sanitary flow in gallons per day is 5,920 GPD

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: _____ DATE _____
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

A SET OF AS-BUILT PLANS FOR VILLAS OF CAPRI

A TRACT OF LAND BEING PART OF THE FUTURE DEVELOPMENT OF "MOBILE ON THE GO" PLAT BOOK 38 PAGE 389
 BEING PART OF SOUTHEAST QUARTER OF FRACTIONAL SECTION 17 TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



Locator Map

Legend

600.00	EXISTING LABELS	□	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	□	EXIST. AREA INLET
CI	SINGLE CURB INLET	□	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	■	PROPOSED AREA INLET
AI	AREA INLET	■	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	■	EXIST. SANITARY MANHOLE
GI	GRATE INLET	●	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	●	PROPOSED MANHOLE
MH	MANHOLE	○	POWER POLE
FE	FLARED END SECTION	○	GUY WIRE
EP	END PIPE	○	LIGHT STANDARD
CP	CONCRETE PIPE	○	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	○	WATER METER
CMP	CORRUGATED METAL PIPE	○	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	○	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	○	TELEPHONE PEDESTAL
CO	CLEAN OUT	○	SIGN
—	SLOPE LIMITS	○	ADDRESS
—	DRAINAGE SWALE	○	TREE
—	EXISTING STORM SEWER	○	
—	EXISTING SANITARY SEWER	○	
—	EXISTING WATER LINE	○	
—	EXISTING FIBER OPTIC LINE	○	
—	EXISTING GAS LINE	○	
—	EXISTING UNDERGROUND ELECTRIC	○	
—	EXISTING OVERHEAD ELECTRIC	○	
—	EXISTING CABLE TV LINE	○	
—	EXISTING TELEPHONE LINE	○	
—	PROPOSED STORM SEWER	○	
—	PROPOSED SANITARY SEWER	○	
—	FENCE LINE	○	
—	SAWCUT LINE	○	

AS-BUILT LEGEND

●	AS-BUILT STORM MANHOLE
■	AS-BUILT CURB INLET
▲	AS-BUILT STORM FLARED END
■	AS-BUILT SANITARY MANHOLE
●	AS-BUILT FIRE HYDRANT
○	AS-BUILT WATER VALVE
○	AS-BUILT FIRE HOSE CONNECTION
○	AS-BUILT LIGHT STANDARD
○	AS-BUILT CLEANOUT
□	AS-BUILT ELECTRIC BOX
□	AS-BUILT ELECTRIC TRANSFORMER
○	AS-BUILT ELECTRIC PVC STUB

DEVELOPMENT NOTES

1. Existing Zoning: R-2 (Two Family Residential)
2. Per Flood Insurance Rate Map Panel Number 29183C02306, dated January 20, 2016. This site is located within Zone X - Areas determined to be outside of the 2% annual chance flood plain.
3. Topographic information is per Topographic Survey by Box Engineering during November, 2015.
4. Boundary information is per survey as compiled by Box Engineering during November, 2015.
5. All homes shall have a minimum of 2 off-street parking places with 2-car garages.
6. The new street lighting installed by the developer of the residential subdivision along Old Schaeffer Road shall meet the cities spacing requirements but will be city owned. The specifications will generally adhere to American's specifications. The developer shall install LED based and shutoff boxes for each new light. The new street lights shall be spaced a minimum distance of 3' feet behind proposed new curb.
7. All existing creeks, streams, and drainage swales will have an associated storm water easement that will be provided on the Record Plat.
8. All proposed utilities and/or utility relocations shall be located underground.
9. Sanitary sewers closer than 10 feet to the pavement edge or the pavement is within the 1:1 shear plane of the trench will require granular backfill within the trench.
10. The existing detention basin and the proposed improvements to the detention basin shall be maintained by the commercial property owners and the residential property owners as a shared expense. The detention basin will be designed to detain the 100 year, 20 minute storm event and shall be functioning during the initial stage of development.
11. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
12. All grades shall be within 0.2 feet of those shown on the grading plan.
13. No slope shall be steeper than 3:1. All slopes shall be sodded or seeded and mulched.
14. All construction and materials used shall conform to current City of O'Fallon Standards.
15. The existing easements and utilities located on the vacated portion of Old Schaeffer Lane will be vacated and relocated to new easements.
16. The developer shall be responsible for documenting the existing condition of Old Schaeffer Lane and establish an escrow with the city for any repairs that may be needed due to construction traffic using this road.
17. The developer will be required to make widening improvements on the north side of Old Schaeffer Lane to include adding concrete rolled curb & gutter and asphalt pavement widening to achieve a 26' foot wide two way road and constructing a cul-de-sac turnaround at the east end of road as shown on plan. No road improvements are planned along the south side of Old Schaeffer Lane.
18. All sidewalks and handicap ramps shall be constructed in accordance with the current approved American Disabilities Act Accessibility Guidelines. All sidewalks shall be constructed using a maximum 2% cross slope especially within driveways.
19. All street trees shown are based on one street tree per lot if lots are not subdivided or one street tree per unit if lots are not subdivided.
20. All onsite utility easements required for this development will be shown on the Record Plat.
21. All construction methods and practices to conform with OSHA Standards.
22. All water service lines will be bored under existing Old Schaeffer Road to make connection to existing water main on South side of existing Old Schaeffer Road.

Conditions of Approval From Planning and Zoning

1. The developer of the residential portion of the plat shall provide a letter that states that the Villas of Capri has permission to use the existing detention basin on the commercial portion of the plat. If permission is granted, a maintenance agreement shall be submitted prior to approval of the Record Plat.
2. The condition of Old Schaeffer Lane shall be documented and an escrow shall be established to repair any damage resulting from construction traffic.
3. The petitioner shall work with staff on the installation of City-owned street lights that meet City spacing requirements. These lights shall be LED based with shutoff boxes for each light.
4. Provide an easement five (5) feet in width along the Southeast property line on Lot 8 for a future trail connection to the commercial property.
5. If these lots are to be separately sold in the future, the Zoning requirements for two-family units located on separately platted lots shall be met. The Building requirements for Condominiums shall be met. A new Preliminary Plat shall be required.
6. The applicant shall abide by the Municipal Code Requirements before Construction Plan approval.

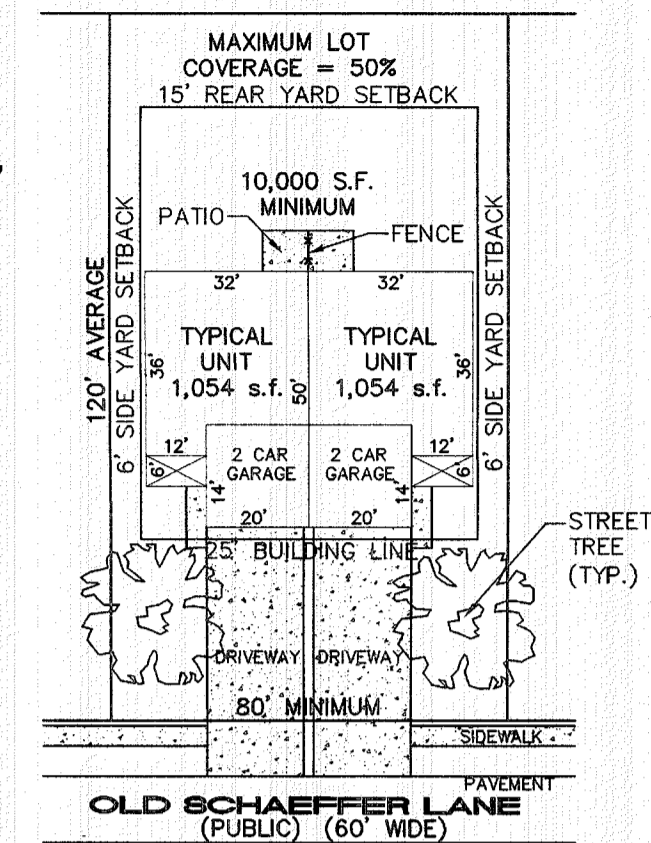
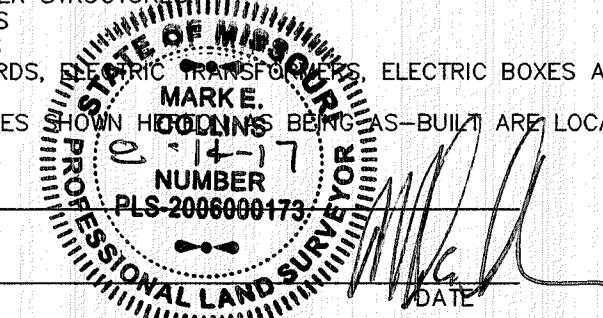
AS-BUILT PUBLIC UTILITY FINAL MEASUREMENTS

THE FOLLOWING UTILITIES HAVE BEEN LOCATED AND MEASURED AND THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS:

- STORM SEWERS, STORM SEWER LENGTHS, STORM SEWER PIPE SIZES, STORM SEWER FLOWLINES AND DEPTHS OF STORM SEWER STRUCTURES.
- SANITARY SEWERS, SANITARY SEWER LENGTHS, SANITARY SEWER PIPE SIZES, SANITARY SEWER FLOWLINES AND DEPTHS OF SANITARY SEWER STRUCTURES.
- FIRE HYDRANTS
- WATER VALVES
- LIGHT STANDARDS, TELEPHONE PEDESTALS, ELECTRIC BOXES AND ELECTRIC PVC STUBS.

ALL PUBLIC UTILITIES SHOWN HEREON ARE AS-BUILT AND LOCATED WITHIN DESIGNATED EXISTING OR PROPOSED EASEMENTS.

SIGNED: _____
 P.E./L.S.



TYPICAL LOT
 NOT TO SCALE

Utility Contacts

Sanitary Sewer
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO 63366
 Contact: 636-281-2858

Water
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO 63366
 Contact: 636-281-2858

Storm Sewer
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO 63366
 636-281-2858

Electric
 Ameren UE
 200 Callahan Road
 Wentzville, MO 63385
 636-639-8312

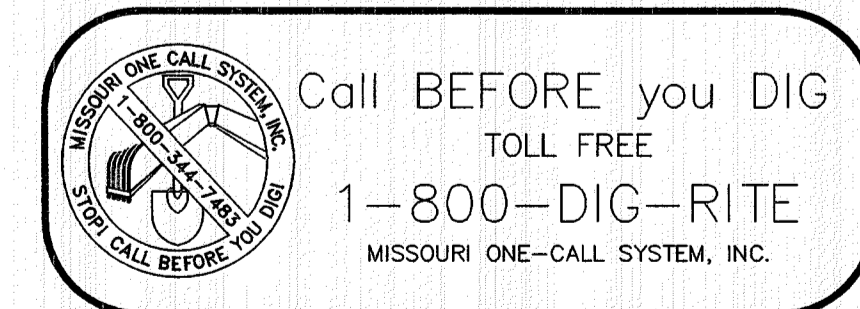
Gas
 LaClede Gas Company
 6400 Graham Road
 St. Louis, MO 63134
 314-522-2297

Telephone
 Century Tel
 1151 Century Tel Dr.
 Wentzville, MO 63385
 636-332-7261

Charter Communications
 941 Charter Commons
 Town & Country, MO 63017
 1-888-438-2427

School District:
 Fort Zumwalt School District
 555 East Terra Lane
 O'Fallon, MO 63366
 636-240-2072

Fire Department
 O'Fallon Fire Protection District
 119 E. Elm St.
 O'Fallon, MO 63366
 636-272-3493

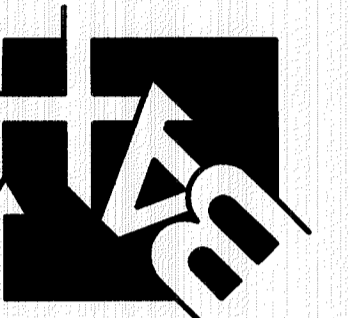


PROJECT TITLE:

AS-BUILT PLANS FOR VILLAS OF CAPRI

Box Project # 95-7632F Issue Date: 06/19/2017

ENGINEERING
 PLANNING
 SURVEYING
 221 Point West Blvd.
 St. Charles, MO 63301
 636-928-6562
 FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

DATE	CITY COMMENT	REVS.
7/14/17		
8/01/17		

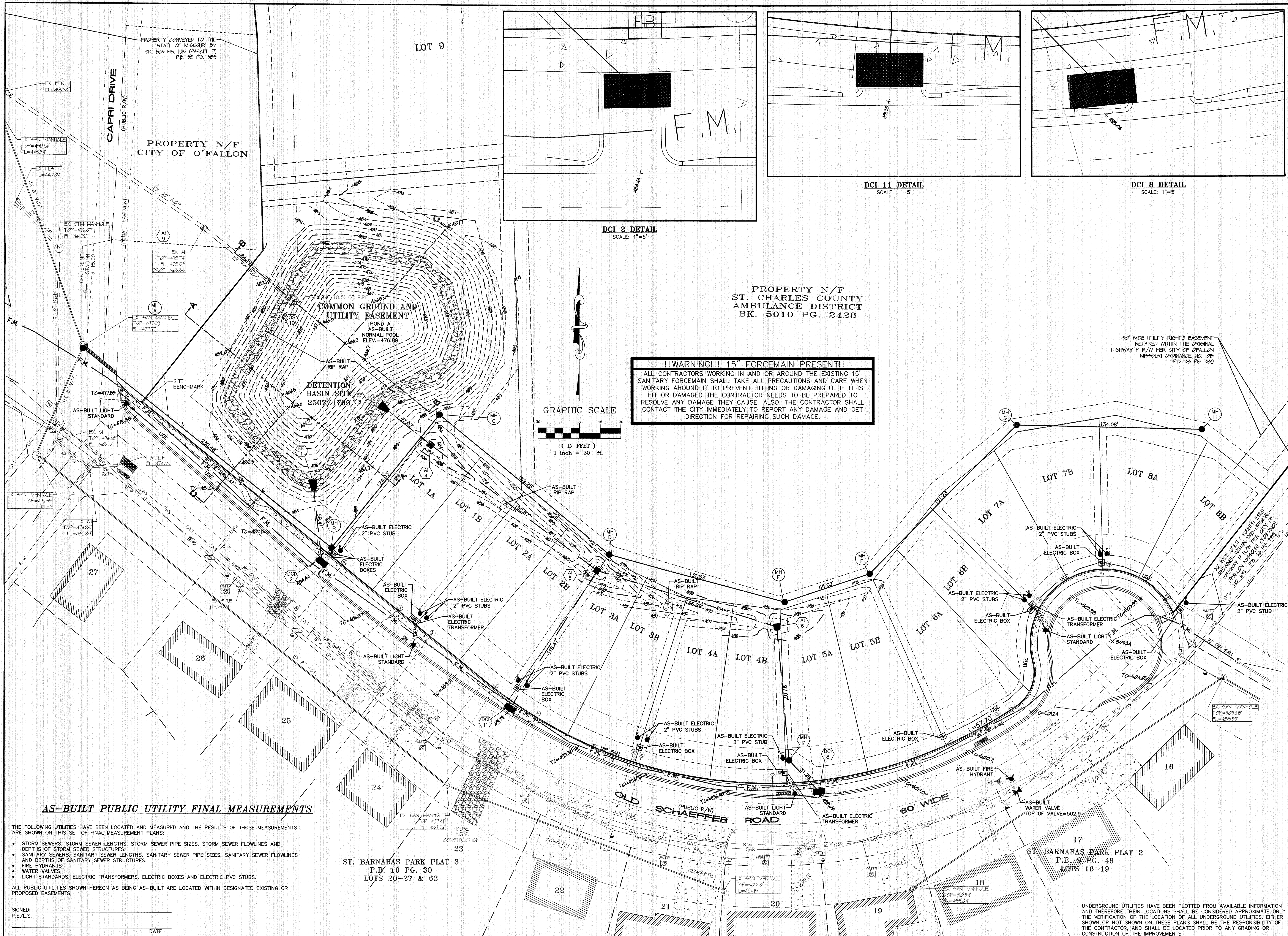
Developer / Owner:
 Twenty Seven Hundred Forty-865 Group, L.L.C.
 429 North Main Street
 O'Fallon, MO 63366
 636-240-0930

COVER SHEET

P+Z No. #04-16.03
 JUNE 16, 2017

City No. #

Page No. 1 of 6



PROJECT TITLE:
AS-BUILT PLANS FOR VILLAS OF CAPRI

ENGINEERING PLANNING SURVEYING

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 636-928-1716

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STATE OF MISSOURI
MARK E. COLLINS
12-17
NUMBER
PLS-2008000173
PROFESSIONAL LAND SURVEYOR

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000855
Missouri State Certificate of Authority
Surveying #000144

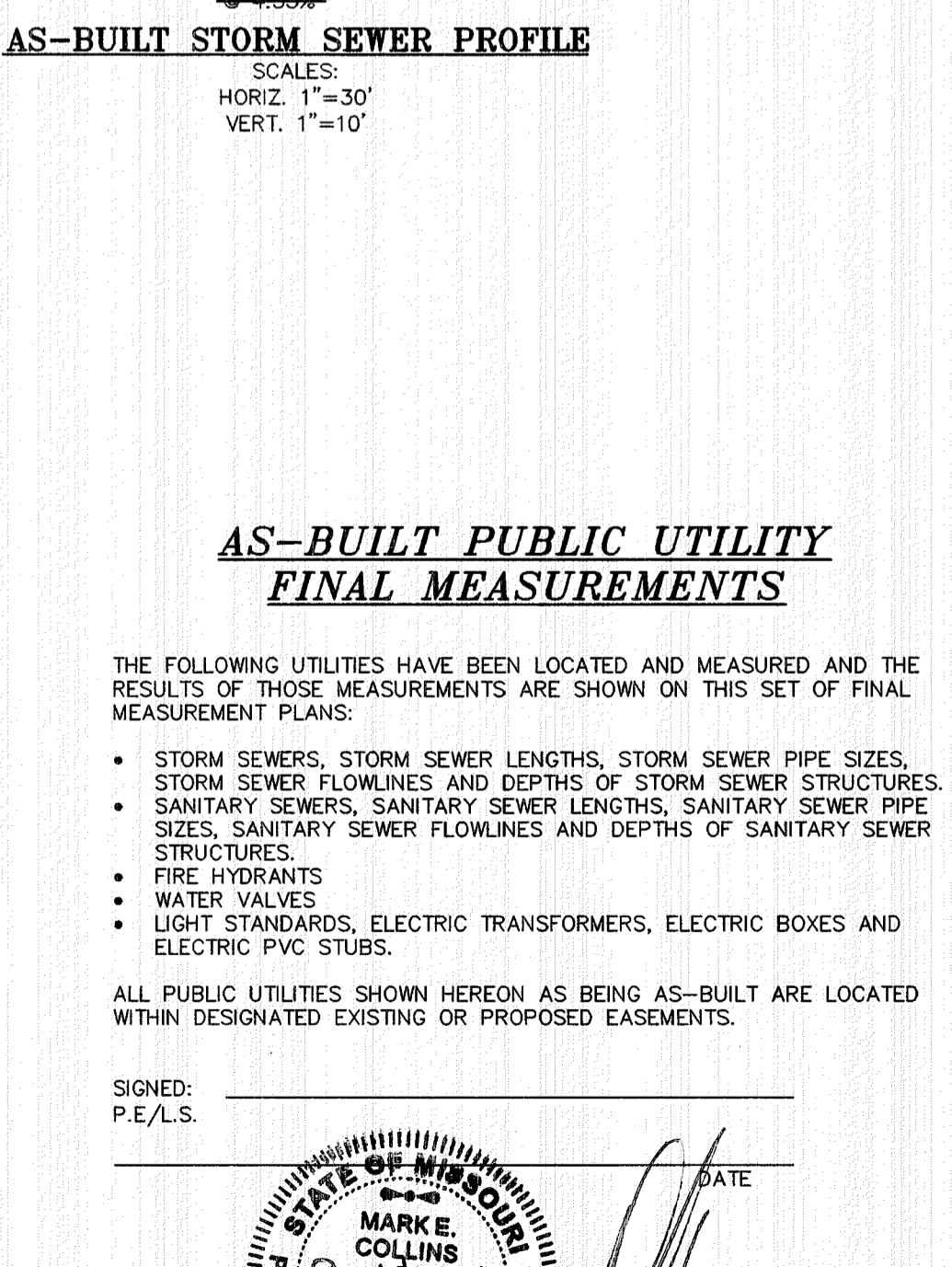
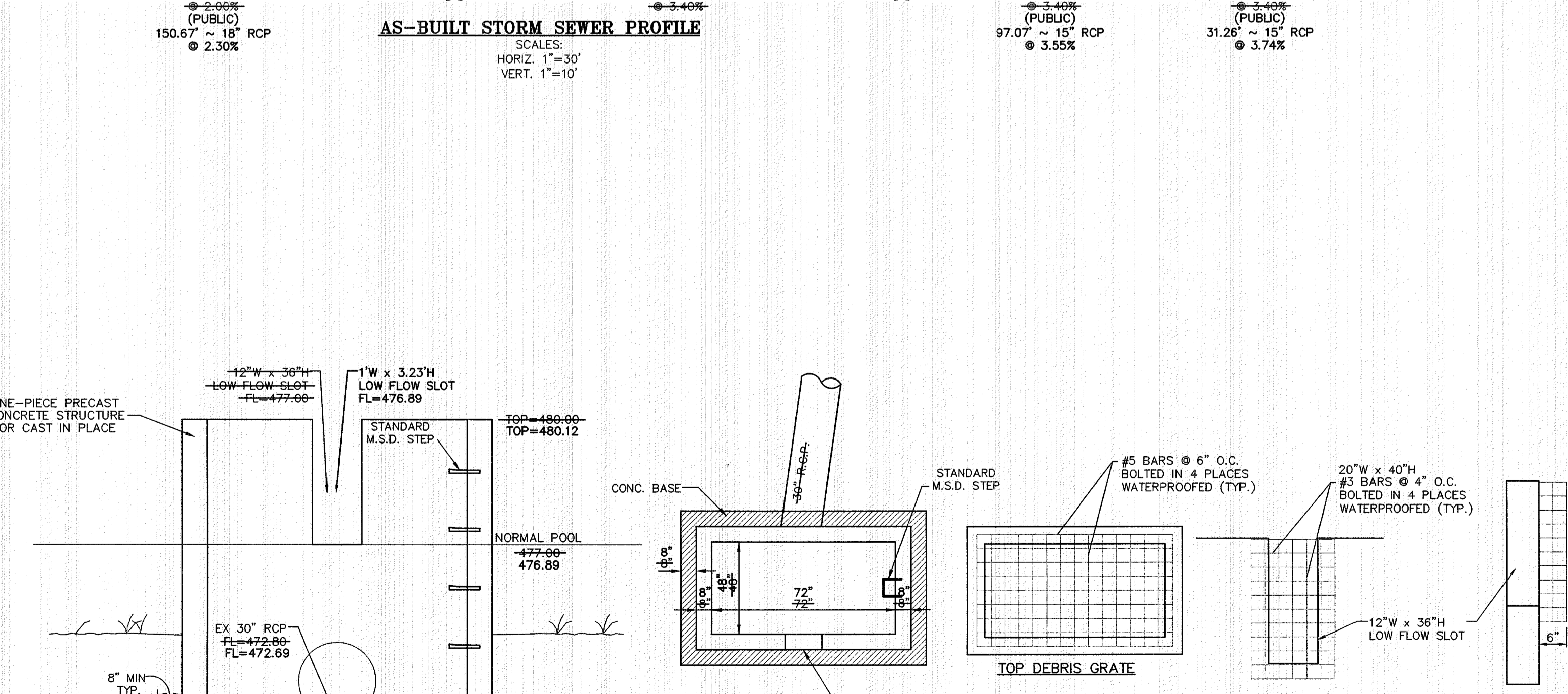
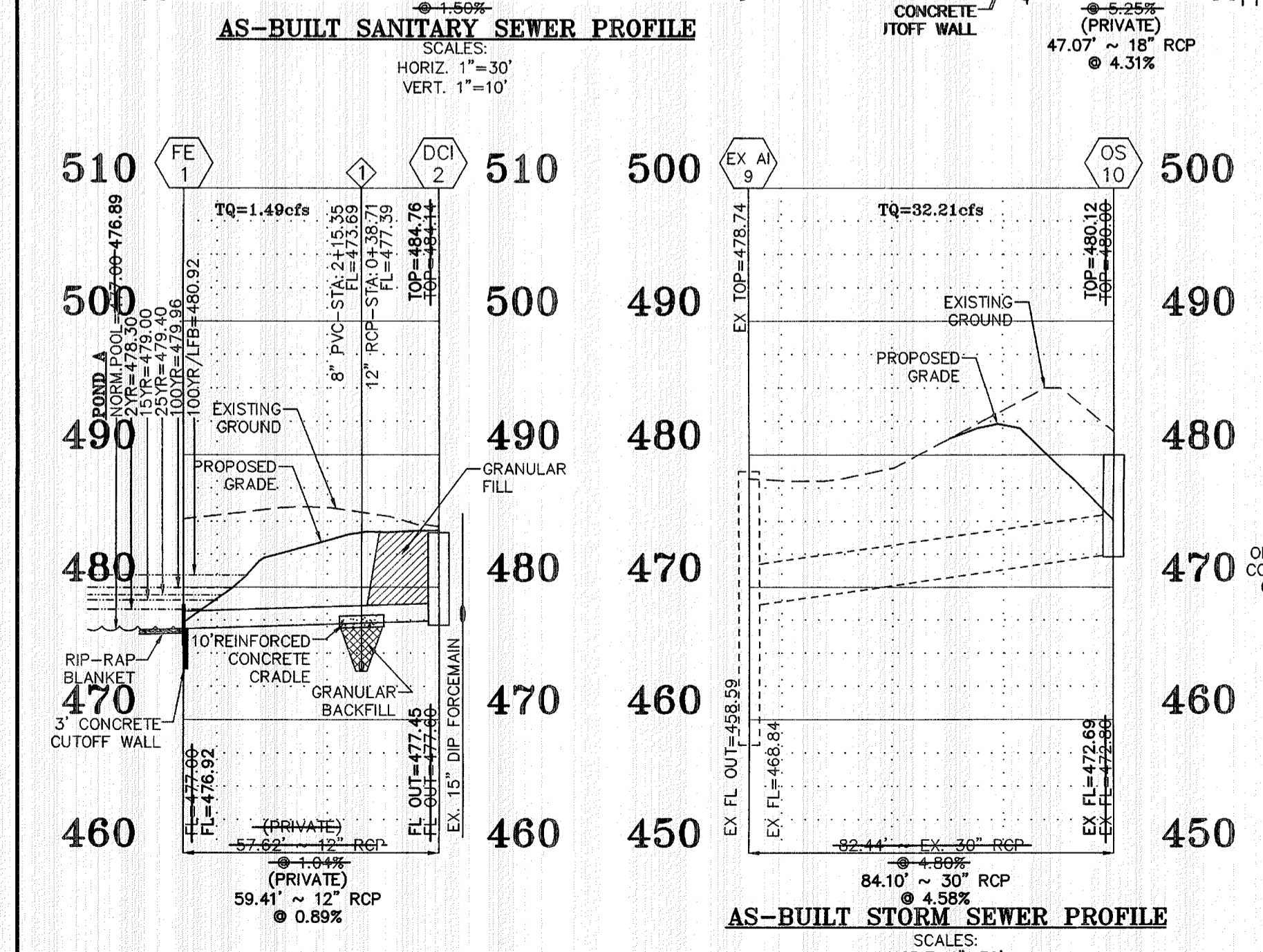
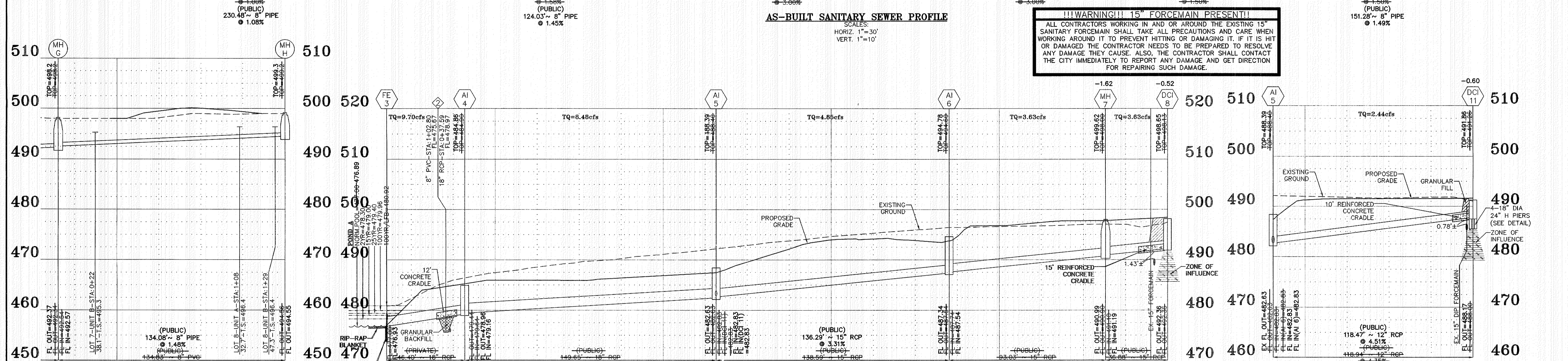
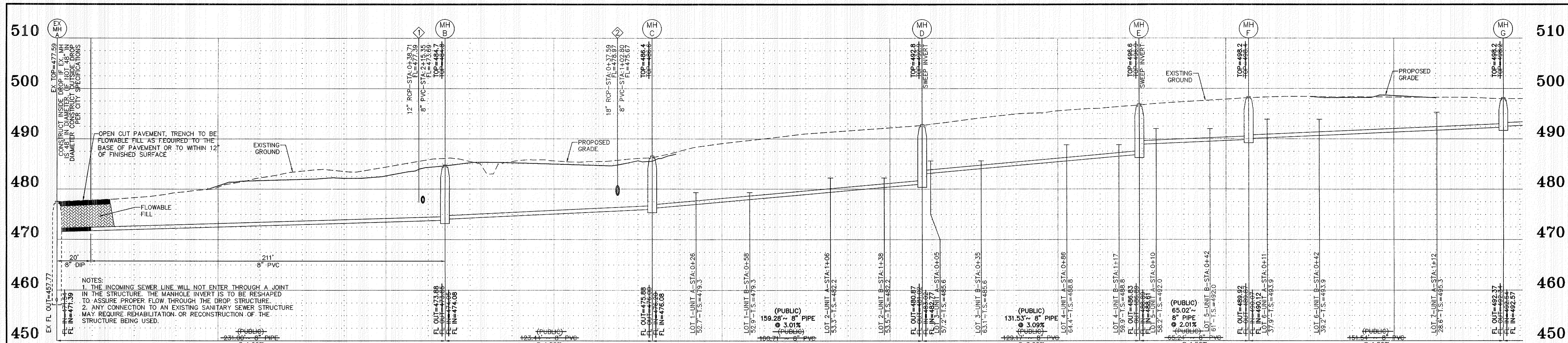
REVISIONS

DATE	REVISION
7/14/17	CITY COMMENT REVS
8/01/17	CITY COMMENT REVS

Developer / Owner:
Twenty Seven Hundred Forty-365 Group, L.L.C.
429 North Main Street
O'Fallon, MO 63366
636-240-0930

SITE PLAN

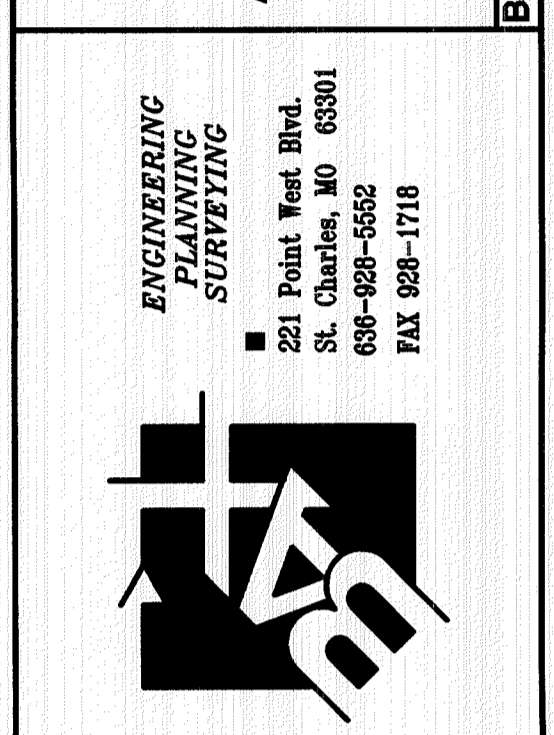
P+Z No. #04-16.03
City No. March 3, 2016
Page No. #
2 OF 6



OUTFALL STRUCTURE DETAIL
 NOT TO SCALE

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

PROJECT TITLE:
AS-BUILT PLANS FOR VILLAS OF CAPRI



ENGINEERING & SURVEYING
 221 Point West Blvd.
 St. Charles, MO 63301
 636-429-6552
 FAX 928-1718

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8/01/17	CITY COMMENT REVS

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

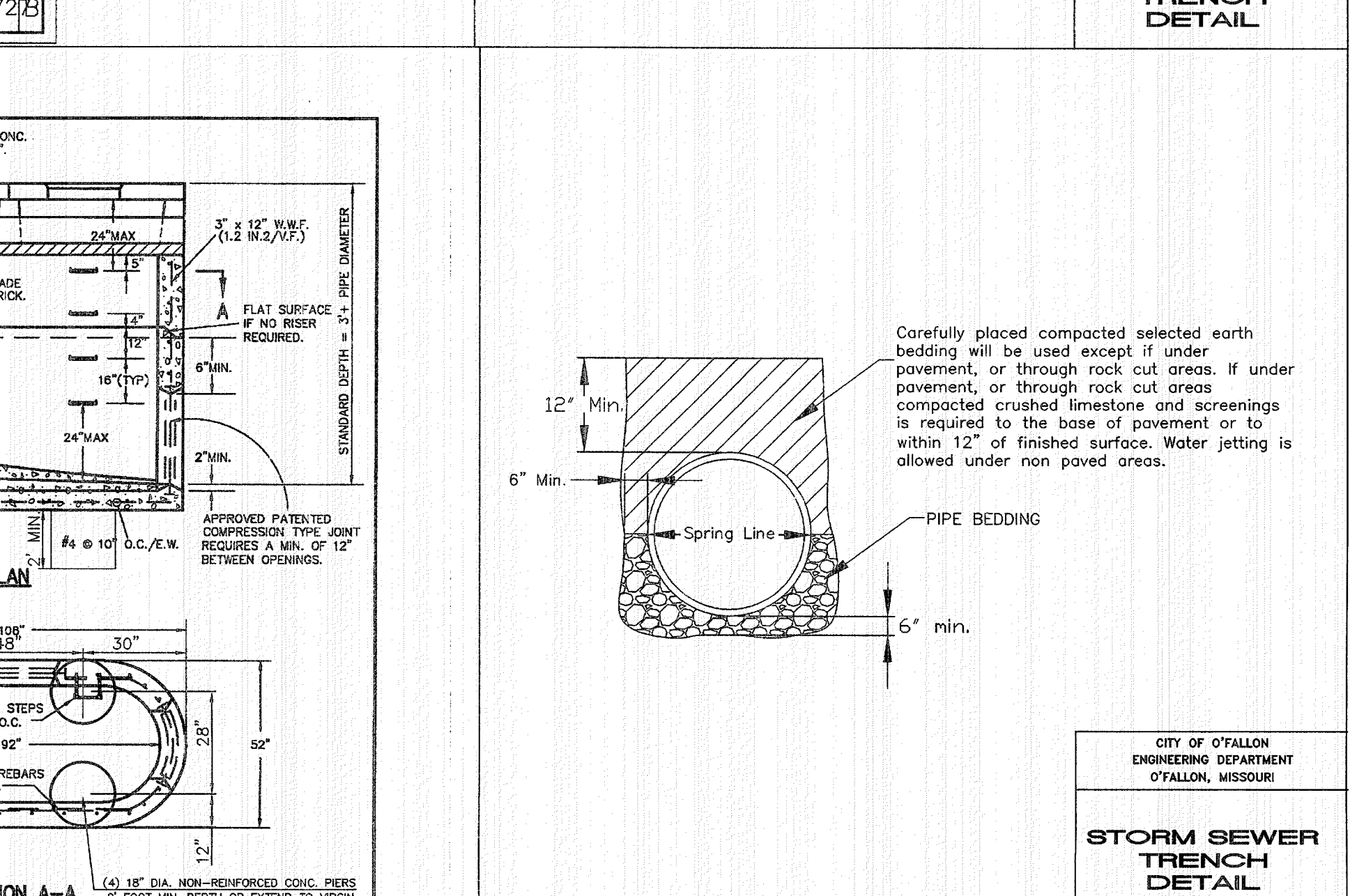
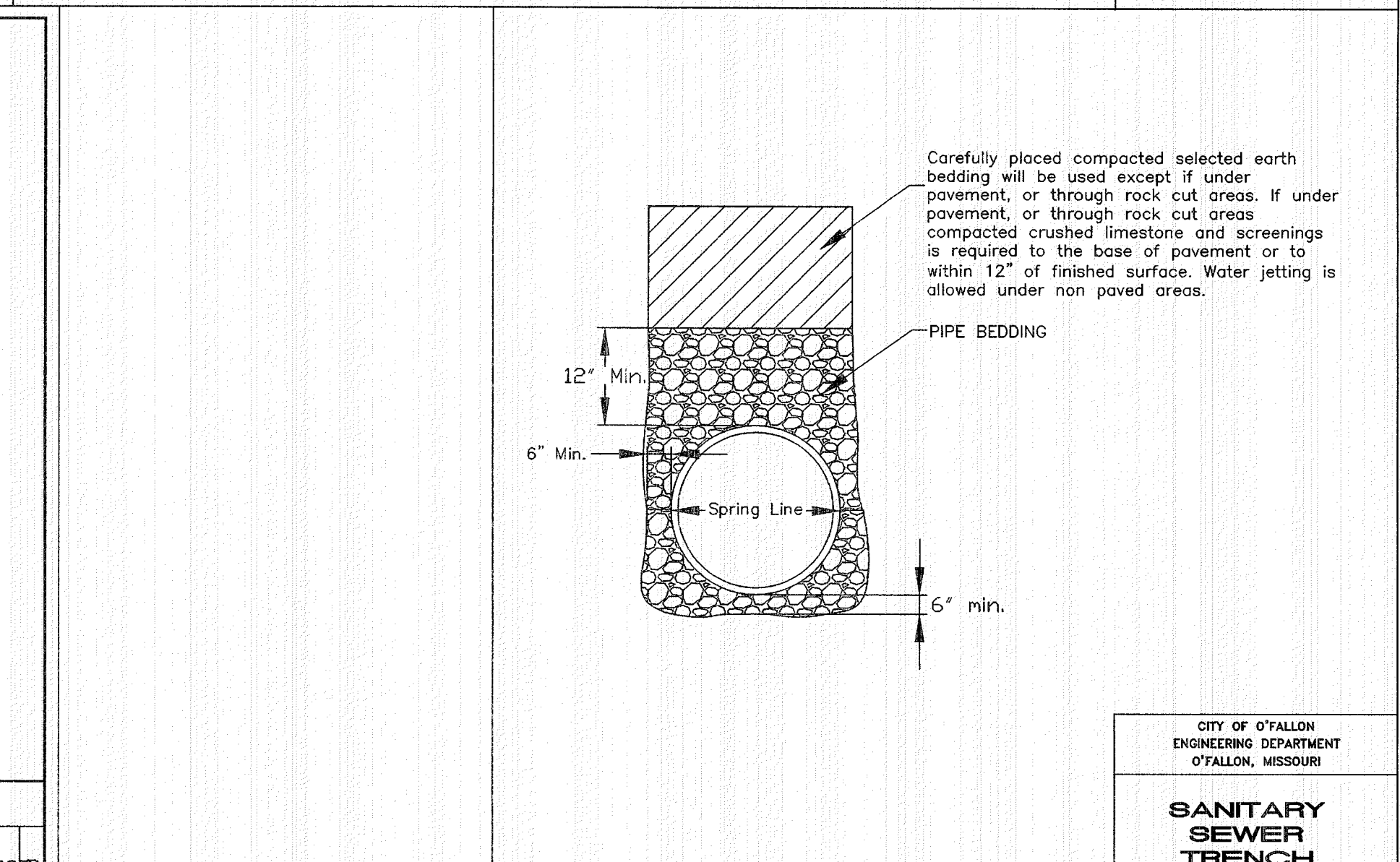
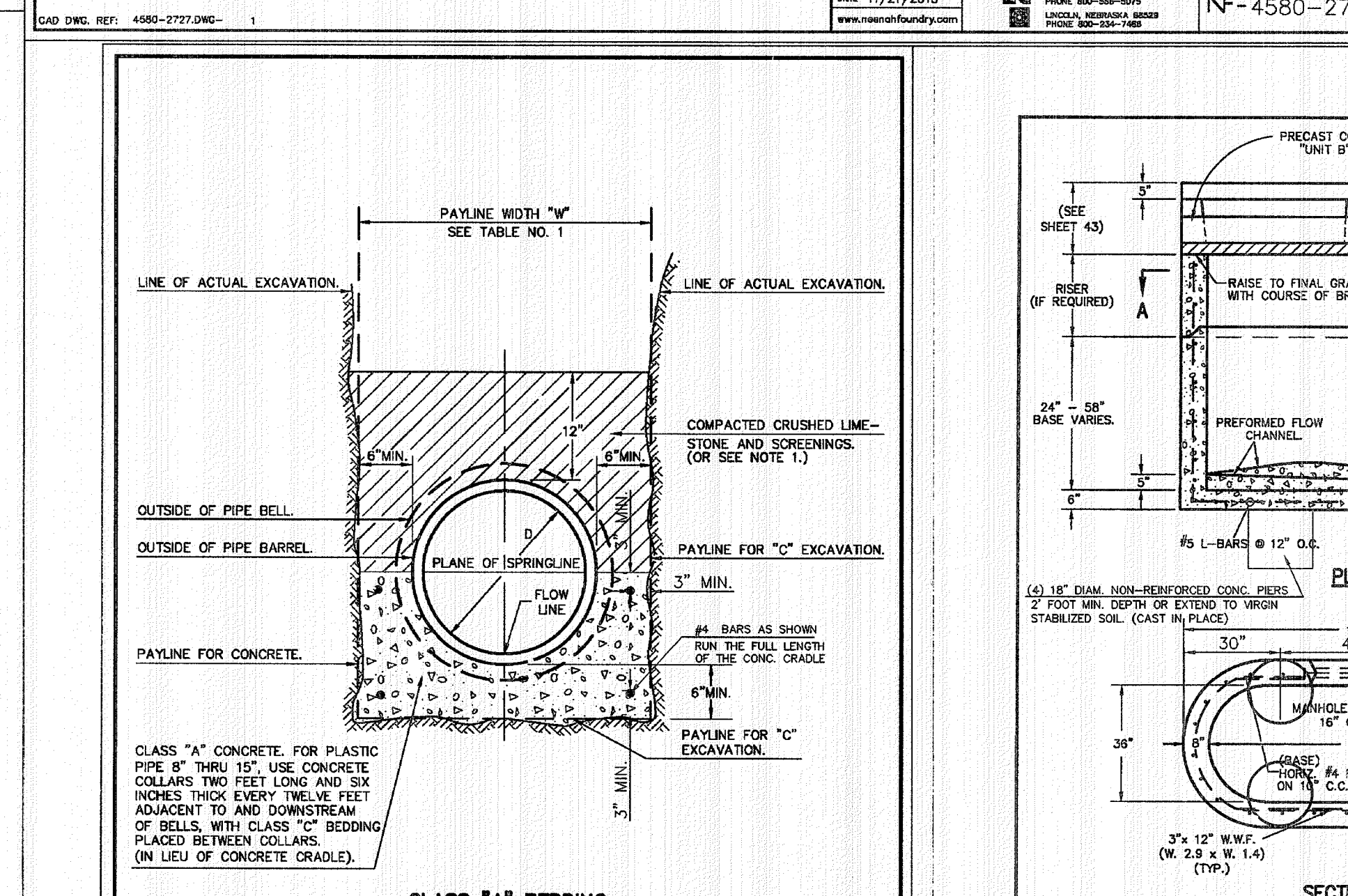
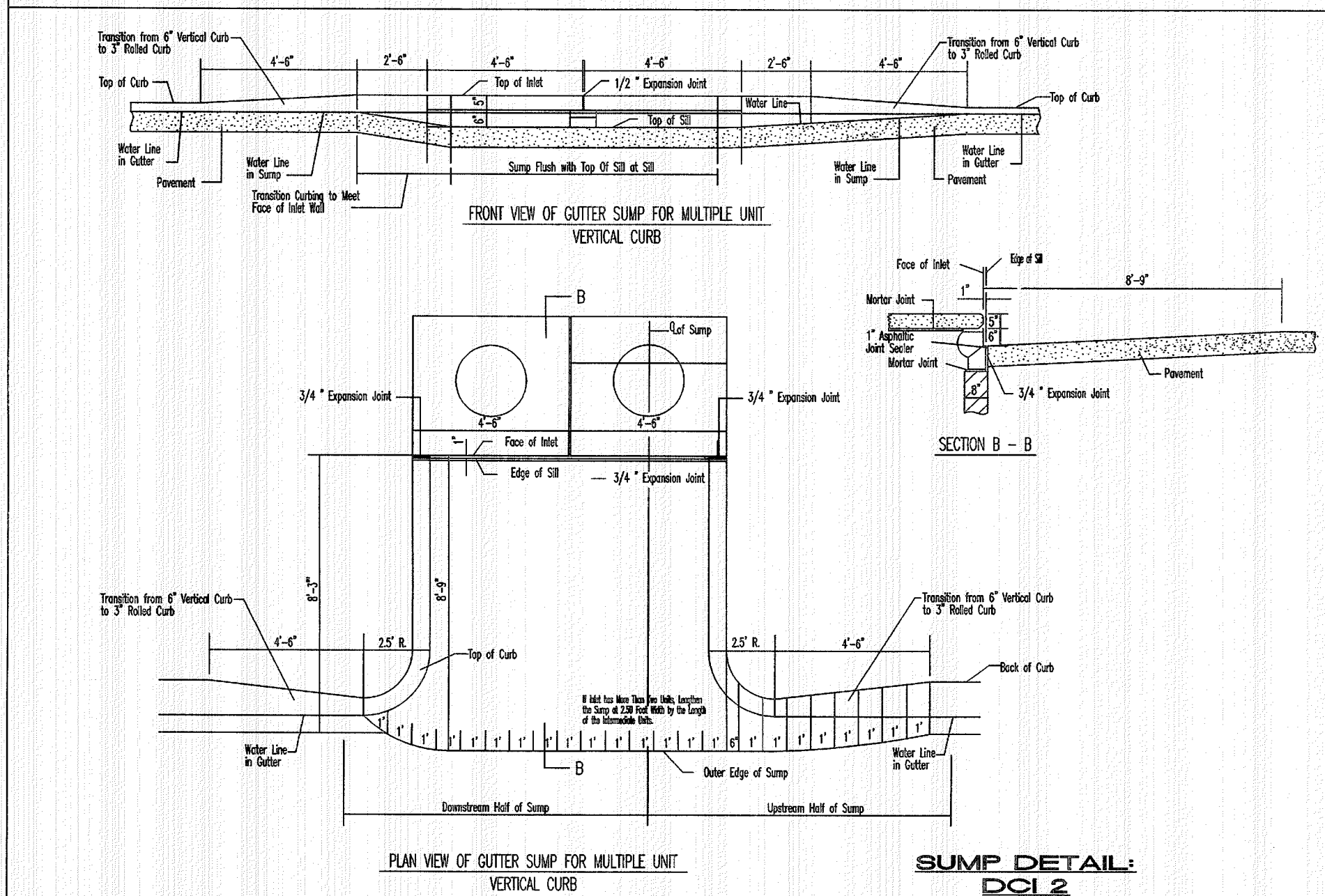
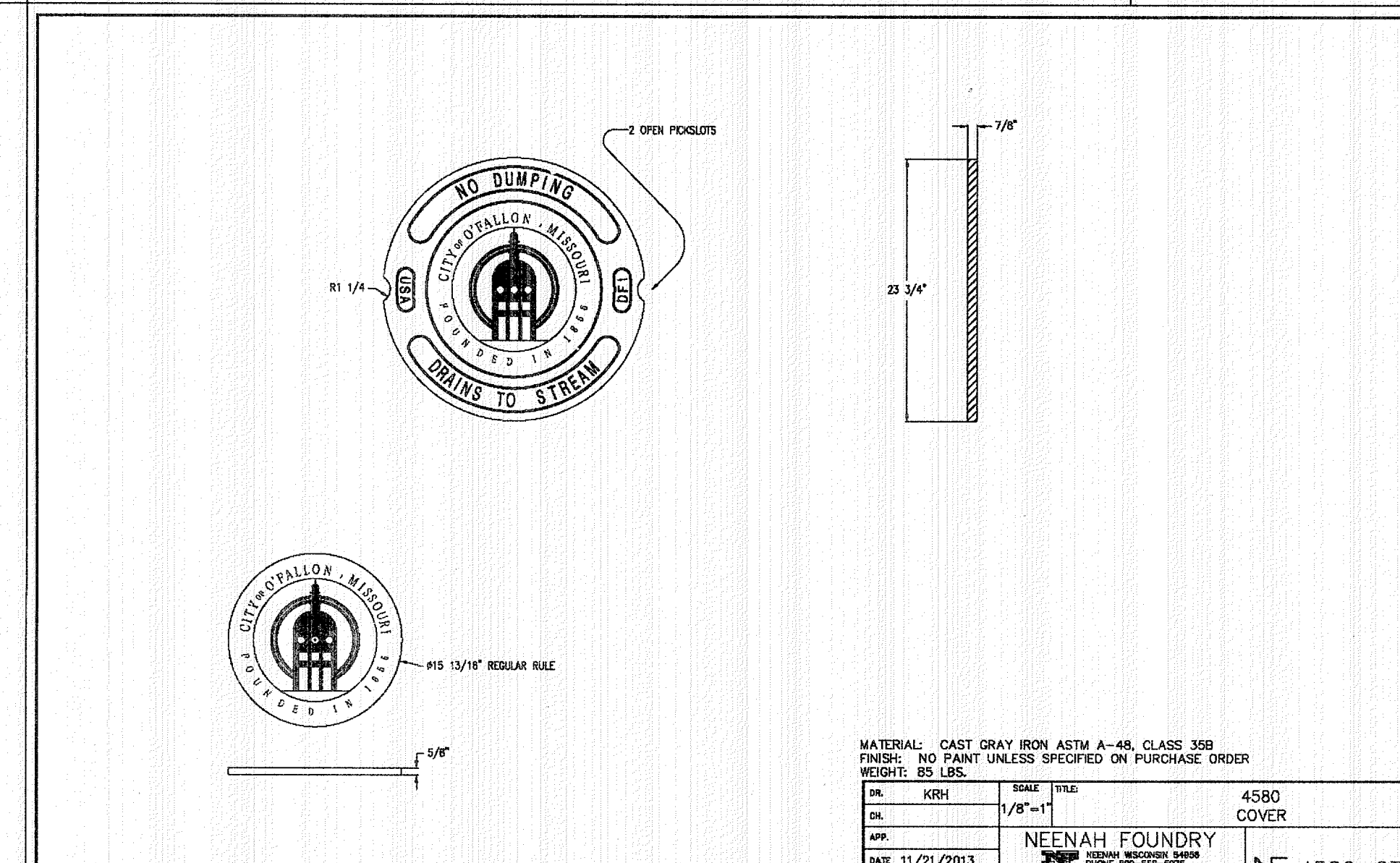
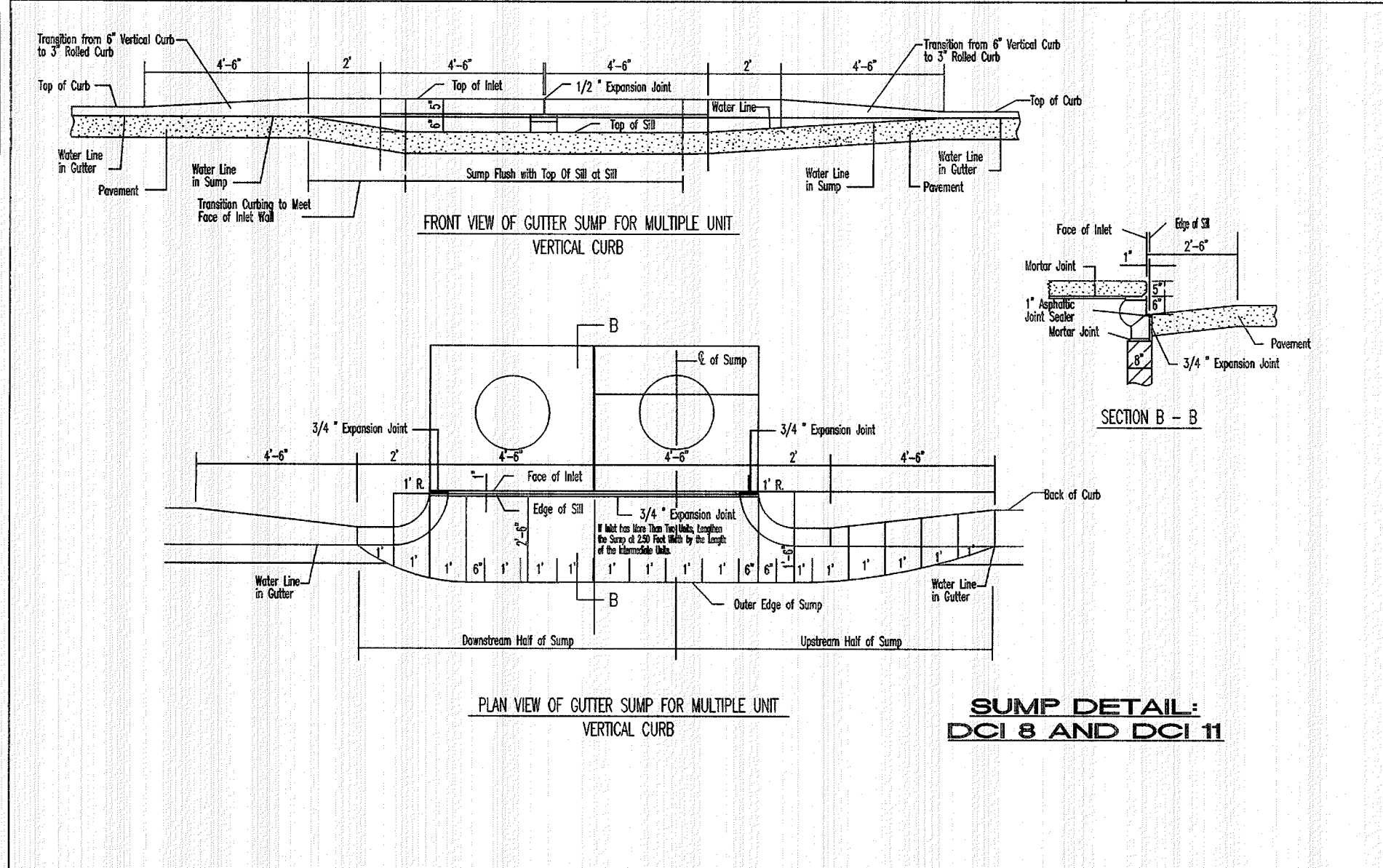
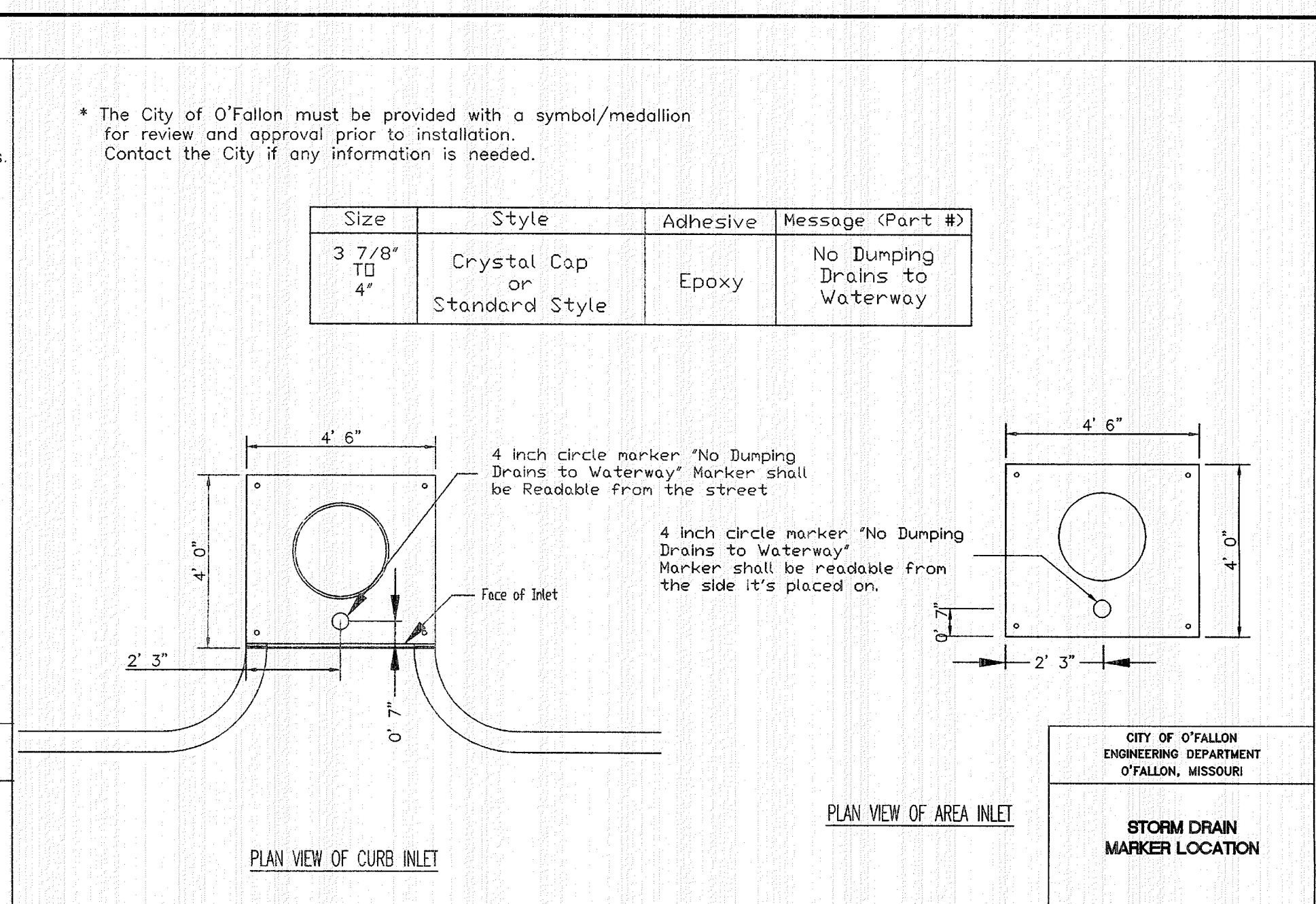
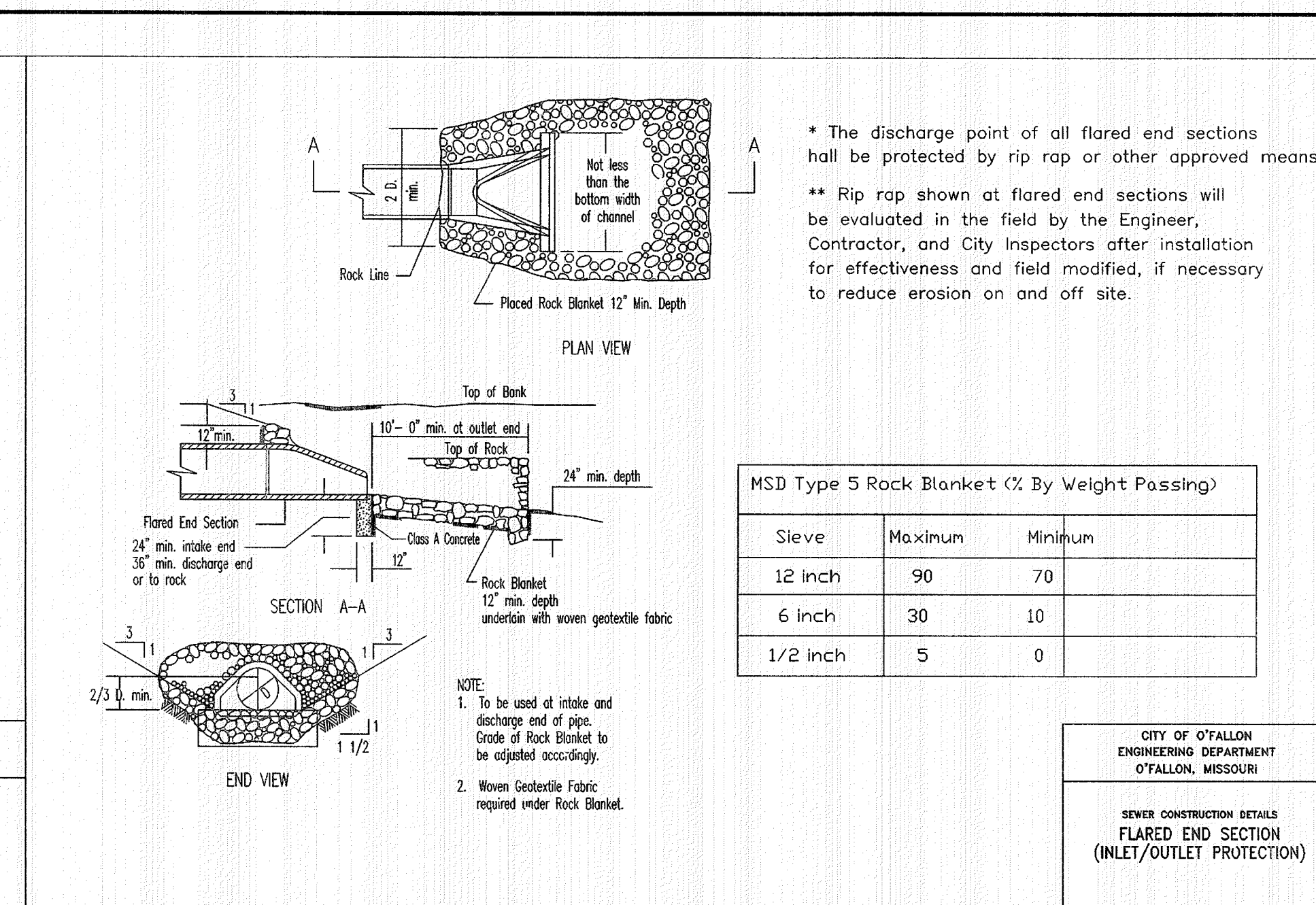
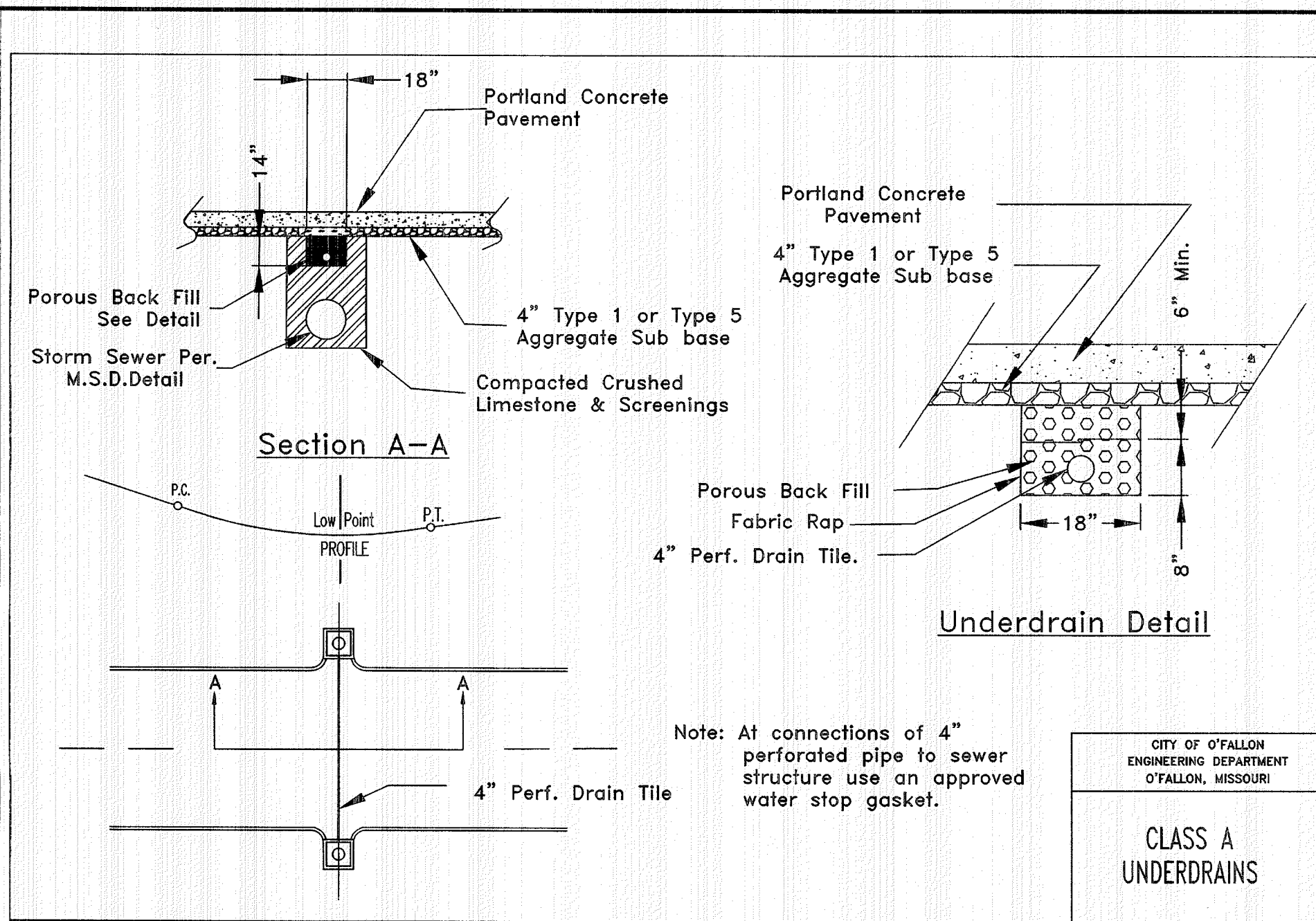
Developer / Owner:
 Twenty Seven Hundred Forty-365 Group, L.L.C.
 429 North Main Street
 O'Fallon, MO 63366
 636-240-0930

SEWER PROFILES

P4-Z No. #04-16.03
 March 3, 2016

City No. #

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SIGNED: _____
 P.E./L.S.
 DATE: _____

CONCRETE CRADLE

METROPOLITAN ST. LOUIS SEWER DISTRICT Standard Details of Sewer Construction

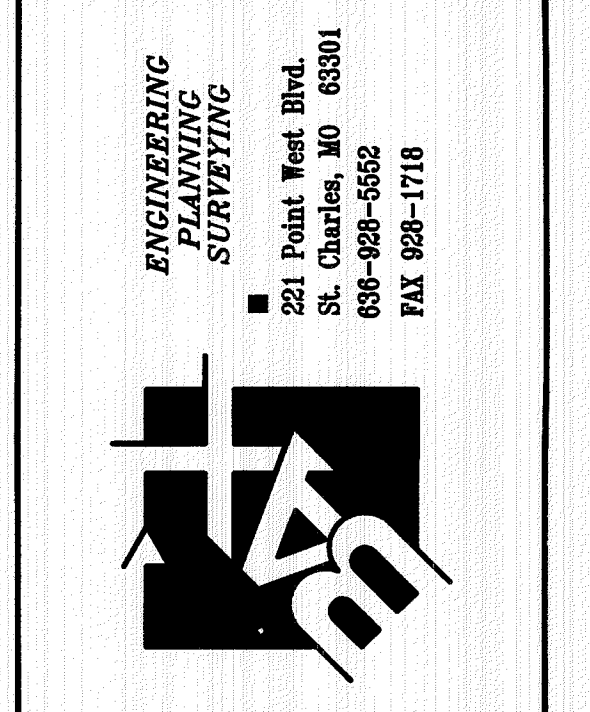
Dr. WSH/SAM Ch. J.C.K. 2009 SHEET 9

* All other Storm or Sanitary Sewer Details will be by M.S.D. 2007 Standards and Specifications.

NOTE:
 A 5/8" TRASH BAR SHALL BE CENTERED WITHIN THE OPENINGS OF ALL INLETS.

ENGINEERS SEAL DOES NOT APPLY TO CITY OF O'FALLON OR MSD DETAILS ON THIS SHEET.

PROJECT TITLE:
AS-BUILT PLANS FOR VILLAS OF CAPRI



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MARK E. COLLINS
 LICENSE NUMBER PLS-2006000173
PROFESSIONAL LAND SURVEYOR

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 429 North Main Street
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REFERENCE DETAILS

P+Z No. #04-16.03
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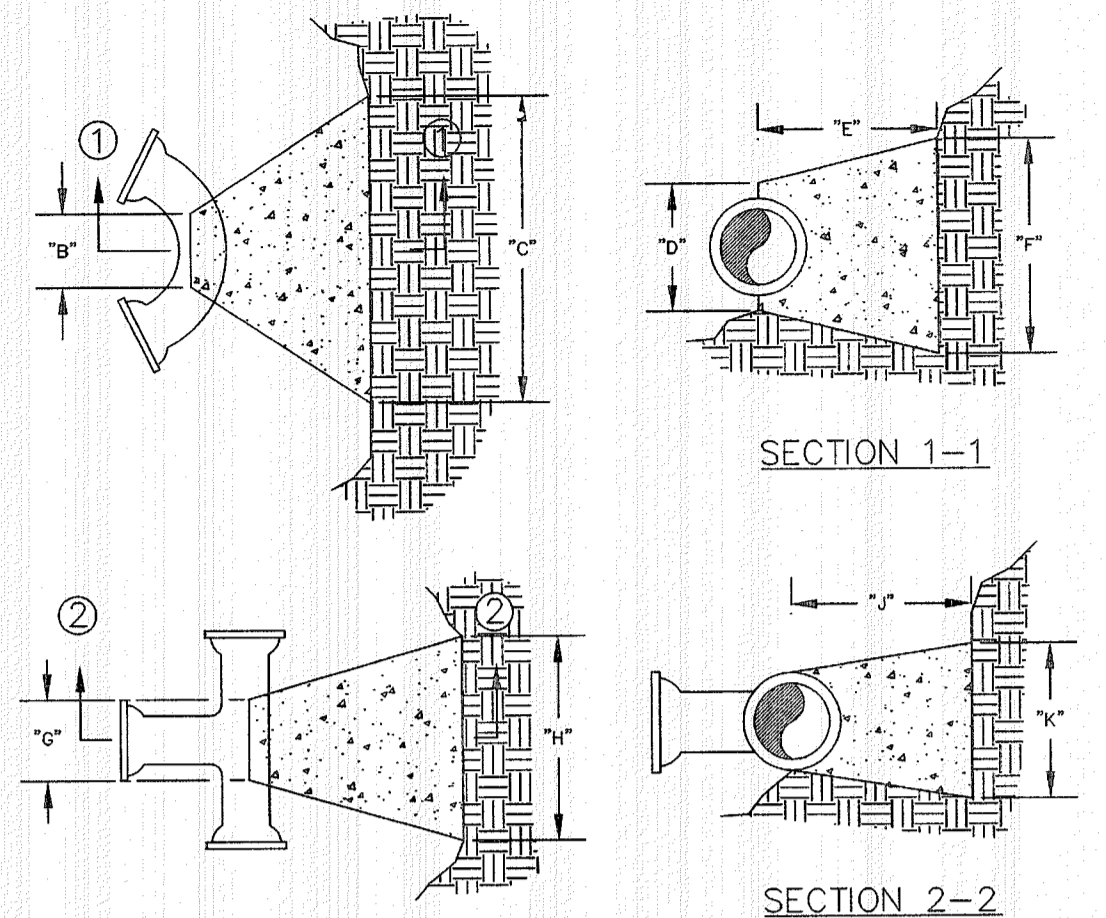
BENDS	"B"	"C"	"D"	"E"	"F"
6"-11 1/4"	8"	15"	12"	24"	10"
6"-22 1/2"	8"	19"	12"	24"	15"
6"-45"	8"	30"	12"	24"	15"
6"-90"	8"	30"	12"	24"	28"
8"-11 1/4"	8"	20"	12"	24"	10"
8"-22 1/2"	8"	22"	12"	24"	18"
8"-45"	8"	31"	12"	24"	24"
8"-90"	8"	38"	12"	24"	36"
12"-11 1/4"	8"	30"	12"	24"	15"
12"-22 1/2"	8"	38"	12"	24"	25"
12"-45"	8"	40"	12"	24"	40"
12"-90"	8"	60"	12"	24"	52"
16"-11 1/4"	TL	28"	20"	24"	28"
16"-22 1/2"	TL	38"	20"	24"	38"
16"-45"	TL	55"	20"	24"	55"
16"-90"	TL	91"	20"	24"	60"
20"-11 1/4"	TL	34"	24"	28"	28"
20"-22 1/2"	TL	48"	24"	28"	38"
20"-45"	TL	74"	24"	28"	55"
20"-90"	TL	138"	24"	28"	60"
24"-11 1/4"	TL	40"	28"	28"	40"
24"-22 1/2"	TL	58"	28"	28"	50"
24"-45"	TL	101"	28"	28"	60"
24"-90"	TL	186"	28"	28"	60"
30"-11 1/4"	TL	48"	34"	30"	48"
30"-22 1/2"	TL	78"	34"	30"	60"
30"-45"	TL	154"	34"	30"	60"
30"-90"	TL	285"	34"	30"	60"

TEES	"C"	"D"	"E"	"F"
6"x6"x6"	12"	24"	24"	18"
8"x8"x8"	12"	24"	24"	18"
12"x12"x12"	12"	24"	24"	27"
12"x12"x12"	12"	24"	24"	18"
12"x12"x8"	12"	27"	27"	27"
12"x12"x12"	12"	30"	24"	30"
24"x24"x16"	16"	53"	28"	53"

NOTES:
 1. 2"x4" FITTINGS EQUIVALENT TO 6" FITTINGS.
 2. TAPPING SLEEVES TO HAVE BLOCKS SAME SIZE AS REQUIRED FOR TEES.
 3. TL = TOTAL LENGTH OF FITTING MINUS CLEARANCE FOR BELLS.

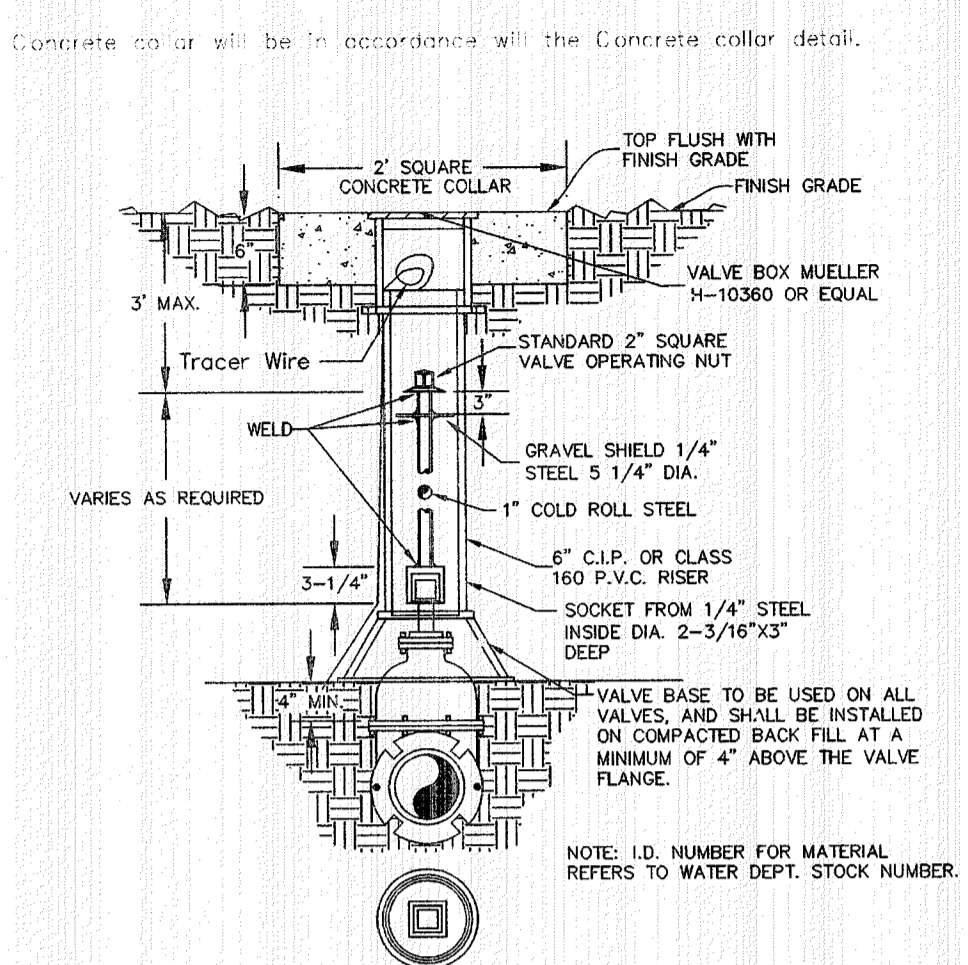
INTERNAL WATER PRESSURE 6" through 12"-200 psi
 INTERNAL WATER PRESSURE 16" through 30"-210 psi
 BEARING PRESSURE OF 300#-2000 psi

BACKING BLOCKS
 NOT TO SCALE



CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

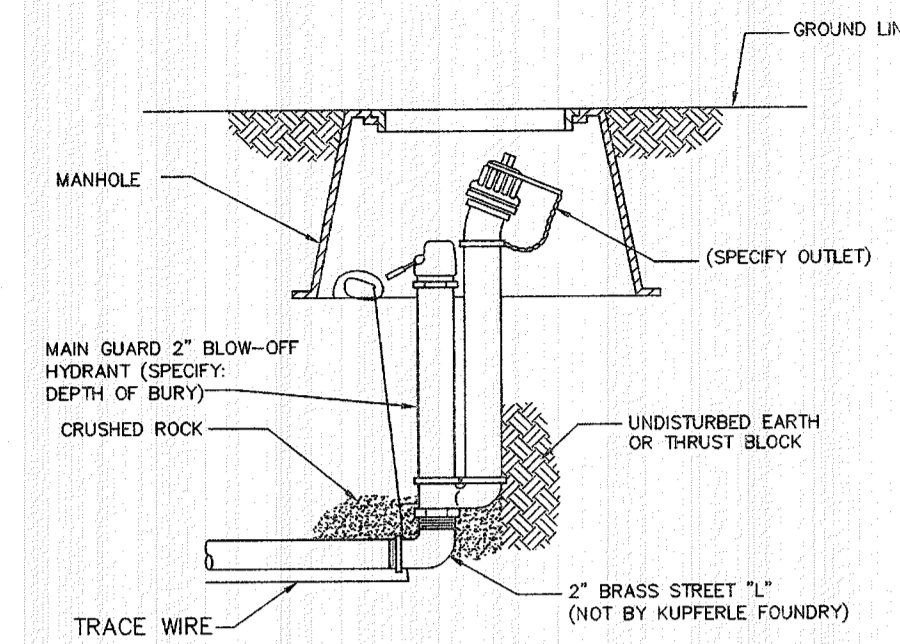
**BACKING BLOCK
 DETAILS AND LOCATIONS**



WATER VALVE DETAIL
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

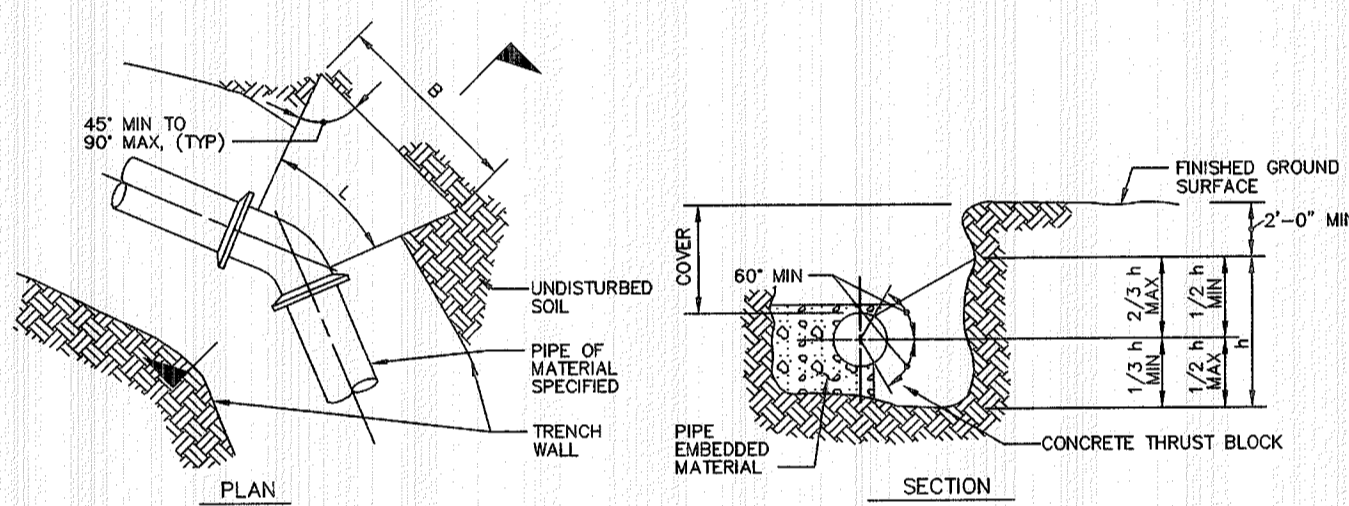
**WATER
 VALVE DETAIL**



BLOW-OFF HYDRANT
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

**BLOW-OFF
 HYDRANT DETAIL**



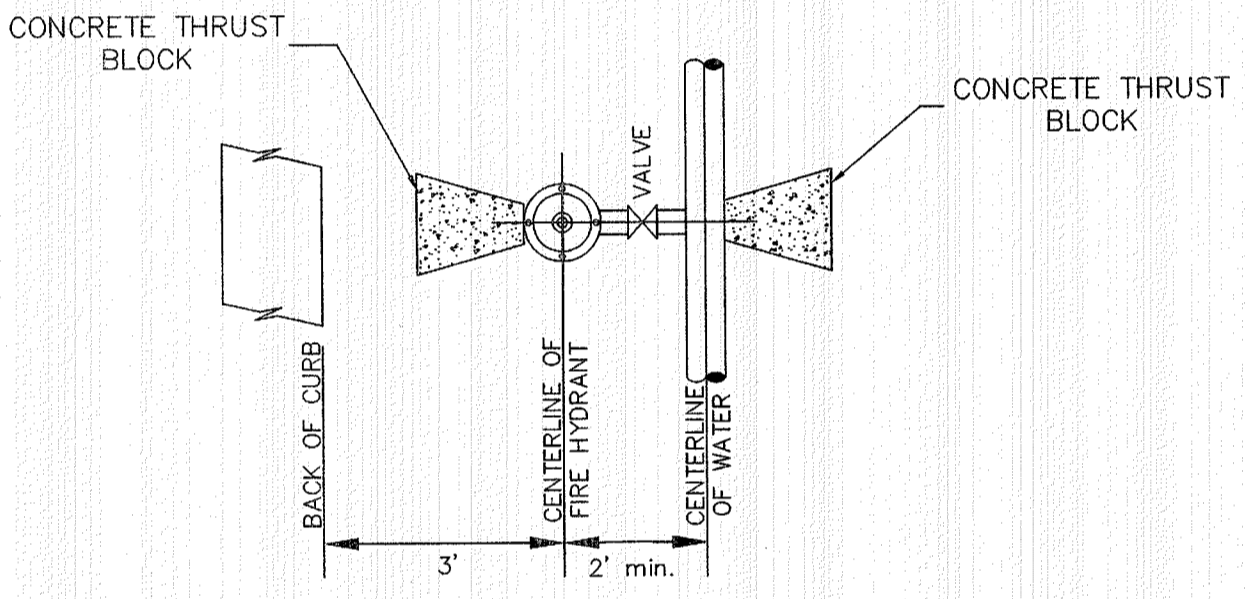
NOTES:
 1. AREA OF BLOCK, A = Bxh. BLOCK AREAS ARE SHOWN ON GENERAL LAYOUT OR TABLE.
 2. B = h = 4"x2". EXCEPT WHERE TOP OF BLOCK IS WITHIN 2 FEET FROM GROUND SURFACE, THEN B = A/h.
 3. MINIMUM BLOCK DIMENSION (B & h) SHALL BE AT LEAST CO OF PIPE OR 1 FOOT FOR PIPE CO 12" OR LESS.
 4. THE BOTTOM OF THE BLOCK SHALL EXTEND AT LEAST TO THE BOTTOM OF THE TRENCH IN ALL CASES.
 5. L=FITTING LENGTH MINUS CLEARANCE FOR BELLS.
 6. DETAIL IS SHOWN FOR CAST IRON PIPE. DETAIL IS SIMILAR FOR OTHER TYPES OF PIPE.
 7. DIMENSIONS FOR THRUST BLOCKS FOR FIRE HYDRANT ASSEMBLY ARE SHOWN FIRE HYDRANT ASSEMBLY DETAIL.

SIZE	BEND	THRUST AREA	B	H
16"	11 1/2"	4 SF	2'	2'
16"	45"	8 SF	2.8'	2.8'

CONCRETE THRUST BLOCKING
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

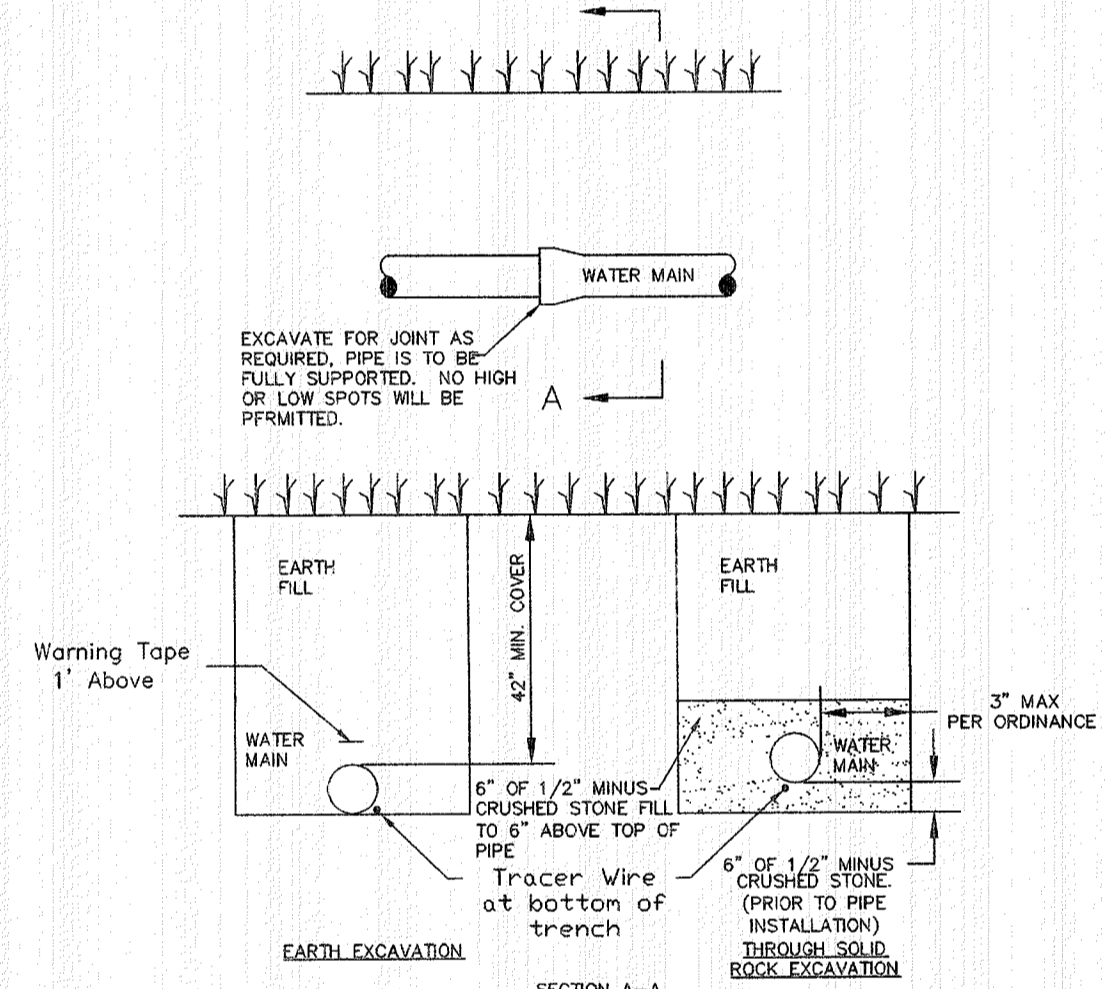
**CONCRETE THRUST
 BLOCKING DETAILS**



**TYPICAL WATER MAIN AND FIRE
 HYDRANT LOCATIONS**
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

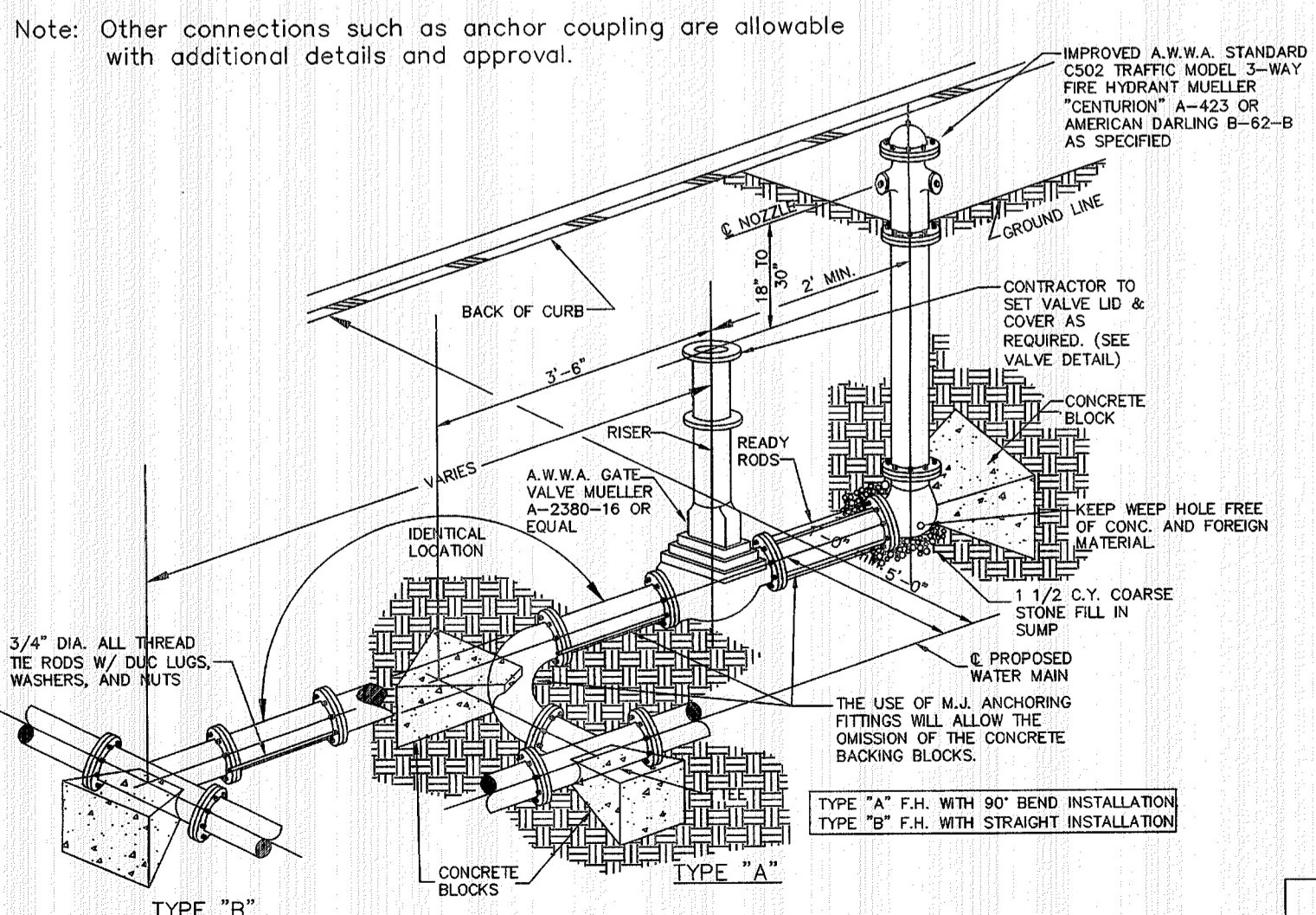
**WATER MAIN
 FIRE HYDRANT DETAIL**



**TYPICAL WATER MAIN
 INSTALLATION DETAILS**
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

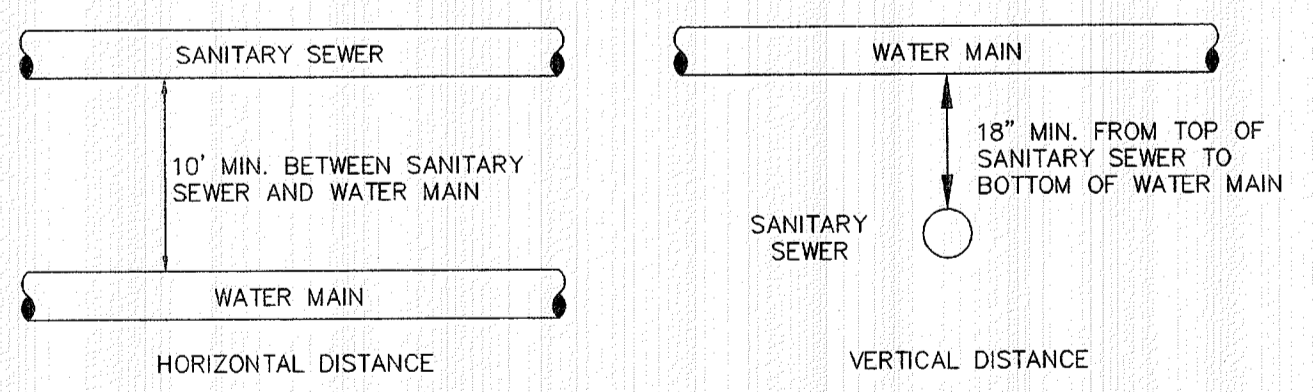
**WATER MAIN
 INSTALLATION DETAIL**



FIRE HYDRANT DETAIL
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

**FIRE HYDRANT
 DETAILS**



**TYPICAL WATER AND SEWER
 SEPARATION**
 NOT TO SCALE

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 O'FALLON, MISSOURI

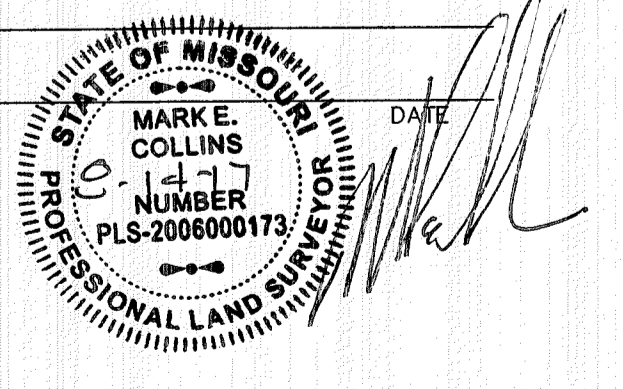
**WATER AND SEWER
 SEPARATION DETAIL**

AS-BUILT PUBLIC UTILITY FINAL MEASUREMENTS

THE FOLLOWING UTILITIES HAVE BEEN LOCATED AND MEASURED AND THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS:

- STORM SEWERS, STORM SEWER LENGTHS, STORM SEWER PIPE SIZES, STORM SEWER FLOWLINES AND DEPTHS OF STORM SEWER STRUCTURES.
 - SANITARY SEWERS, SANITARY SEWER LENGTHS, SANITARY SEWER PIPE SIZES, SANITARY SEWER FLOWLINES AND DEPTHS OF SANITARY SEWER STRUCTURES.
 - FIRE HYDRANTS
 - WATER VALVES
 - LIGHT STANDARDS, ELECTRIC TRANSFORMERS, ELECTRIC BOXES AND ELECTRIC PVC STUBS.
- ALL PUBLIC UTILITIES SHOWN HEREON AS BEING AS-BUILT ARE LOCATED WITHIN DESIGNATED EXISTING OR PROPOSED EASEMENTS.

SIGNED: P.E./L.S.



ENGINEERS SEAL DOES NOT APPLY TO CITY OF O'FALLON DETAILS ON THIS SHEET.

PROJECT TITLE:
**AS-BUILT PLANS FOR
 VILLAS OF CAPRI**

**ENGINEERING
 SURVEYING**

221 Point West Blvd. 63301
 St. Charles, MO 63301
 636-928-6562
 FAX 636-928-1718

DISCLAIMER OF RESPONSIBILITY
 I hereby certify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

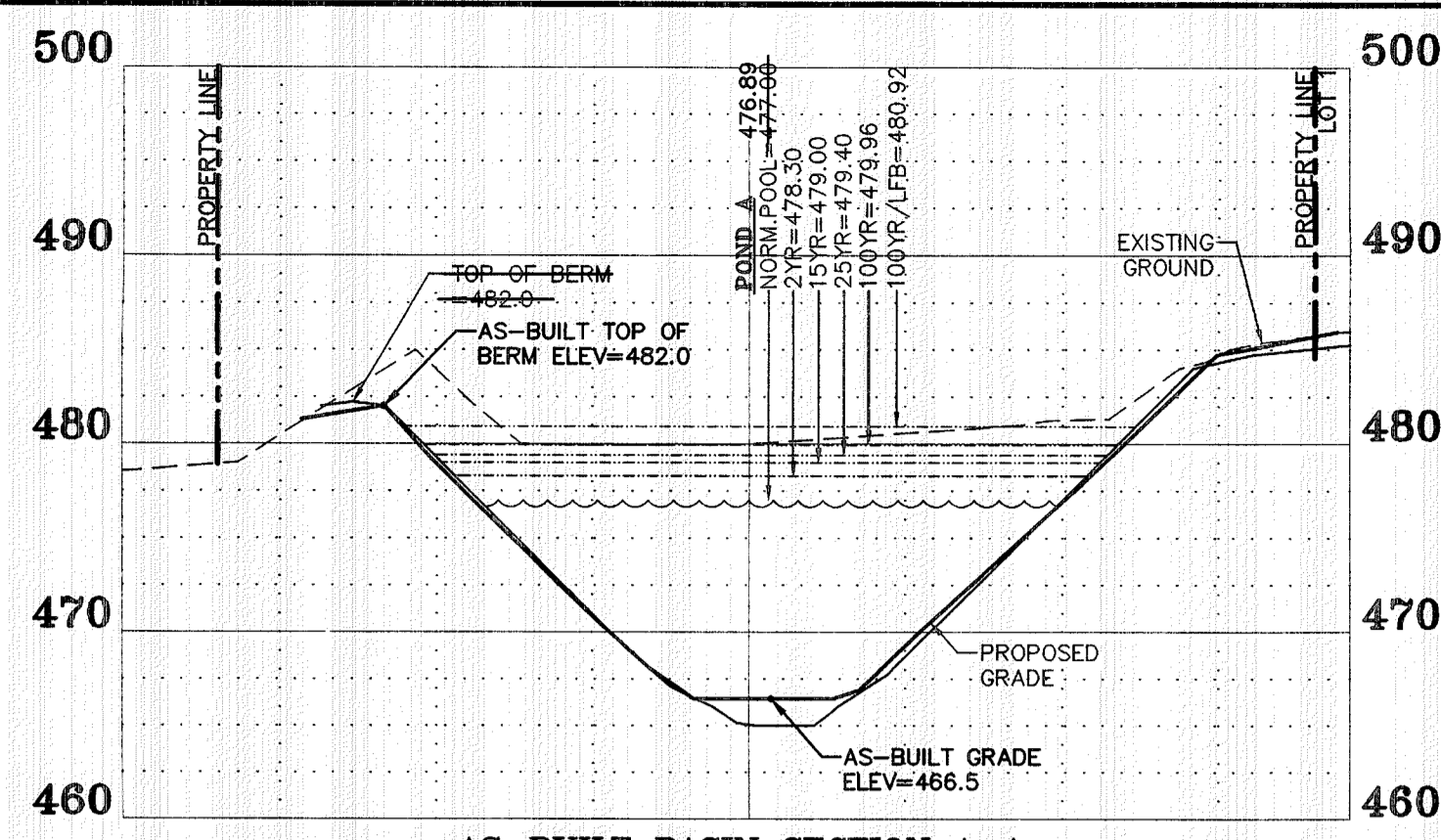
REVISIONS	DATE	REVISION
7/14/17	CITY COMMENT	REVS.
8/01/17	CITY COMMENT	REVS.

Developer / Owner:
 Twenty Seven Hundred Forty-365 Group, L.L.C.
 429 North Main Street
 O'Fallon, MO 63366
 636-240-0930

P+Z No. #04-16.03
 March 3, 2016
City No. #

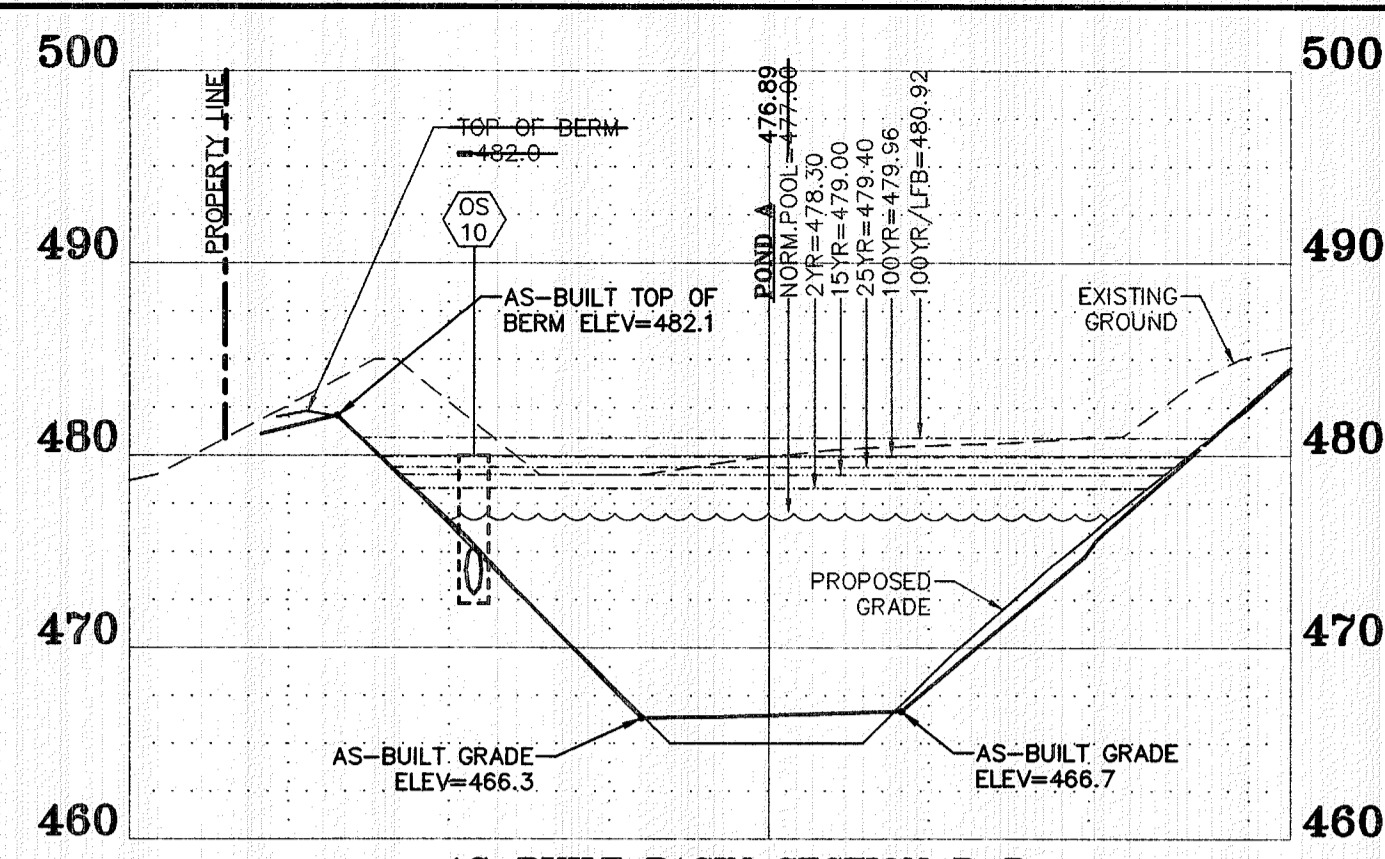
Page No.
 5 of 6

REFERENCE DETAILS



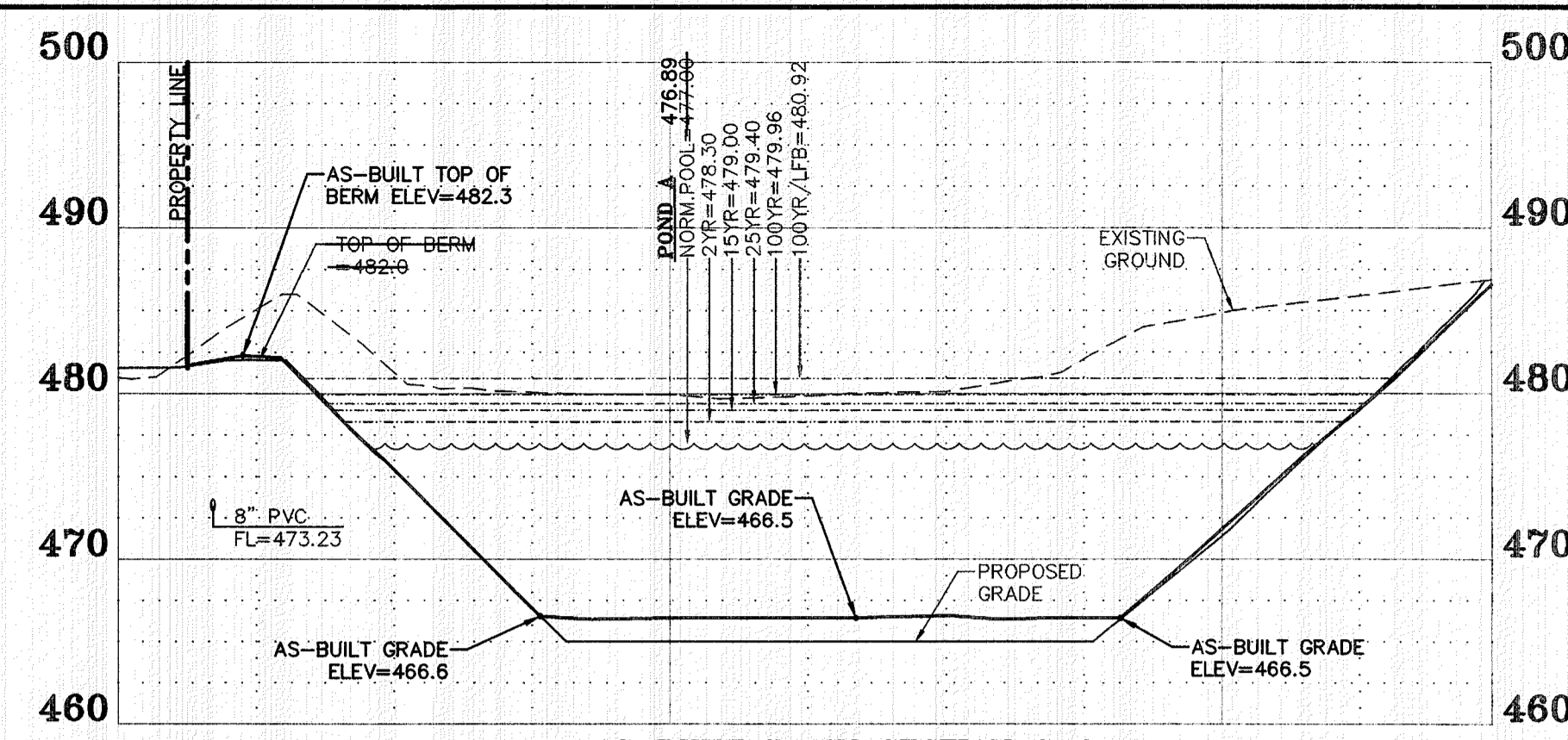
AS-BUILT BASIN SECTION A-A

SCALES:
HORIZ. 1"=30'
VERT. 1"=10'



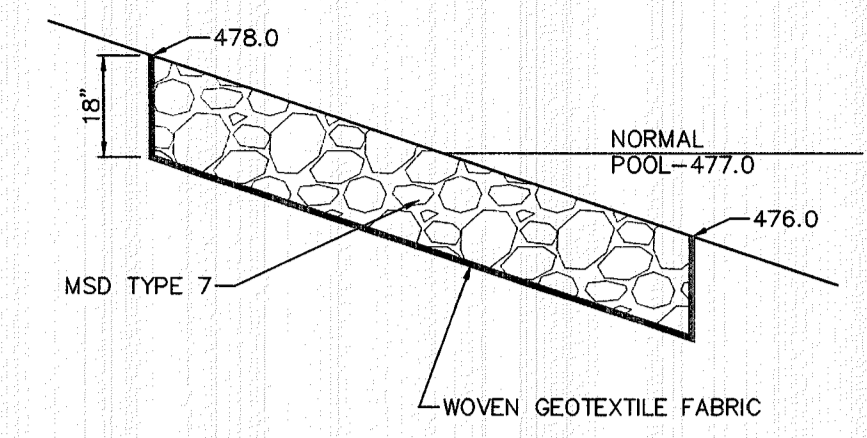
AS-BUILT BASIN SECTION B-B

SCALES:
HORIZ. 1"=30'
VERT. 1"=10'

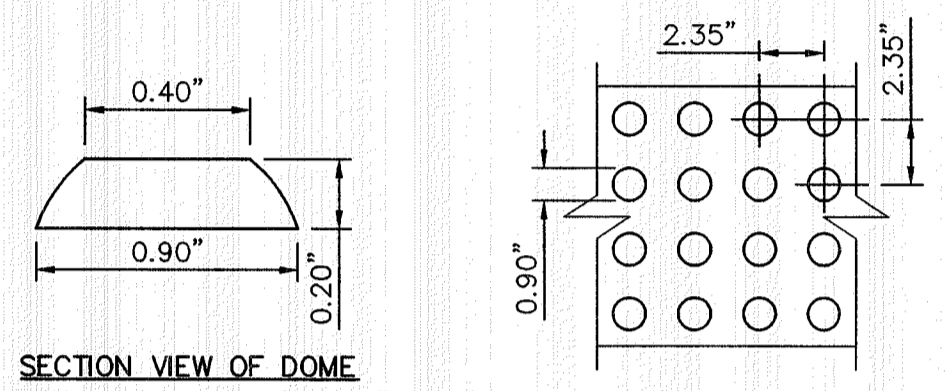


AS-BUILT BASIN SECTION C-C

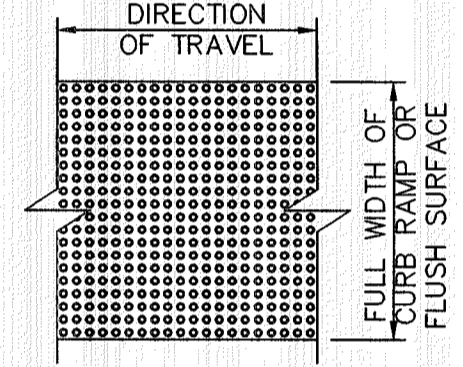
SCALES:
HORIZ. 1"=30'
VERT. 1"=10'



WETPOND PERIMETER RIPRAP
NOT TO SCALE

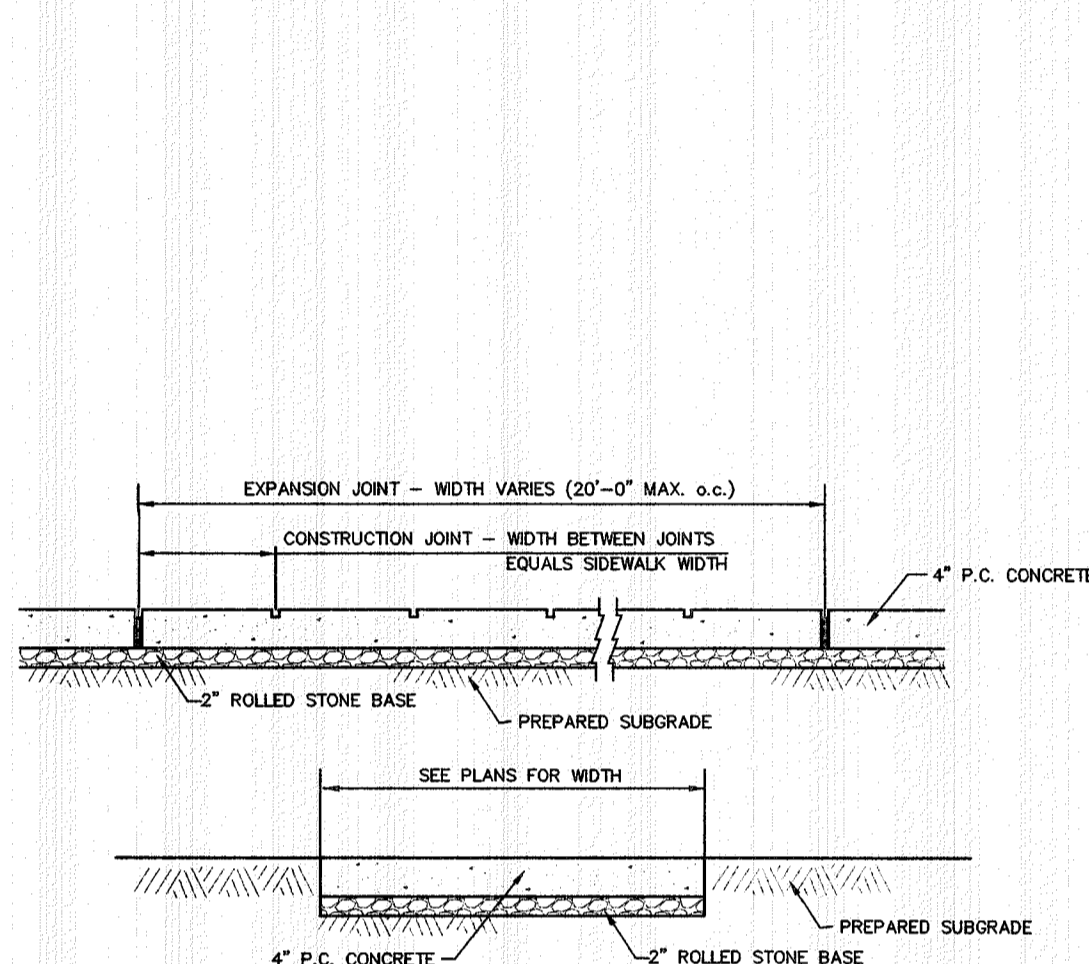


SECTION VIEW OF DOME



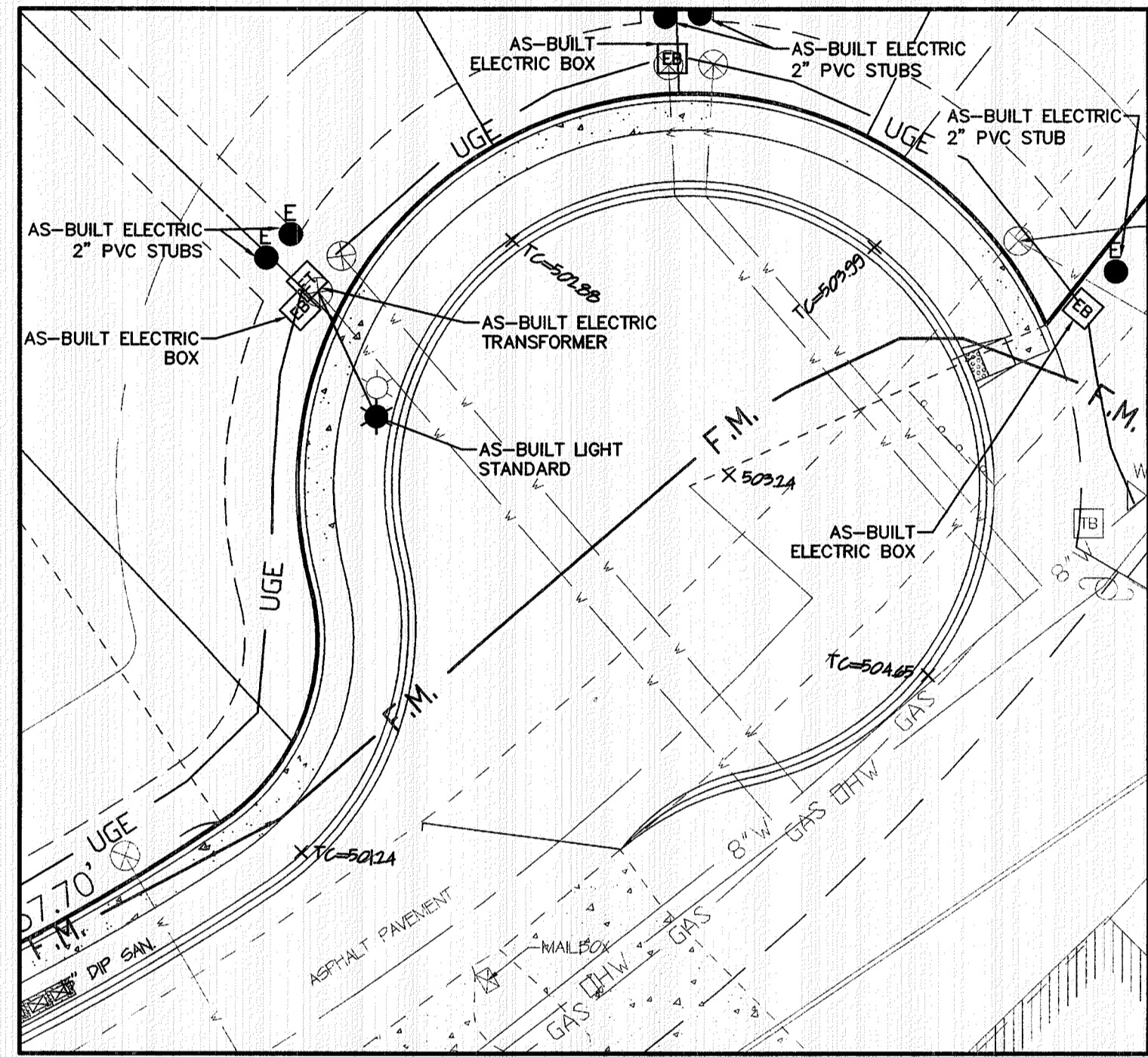
PLAN VIEW OF A DETECTABLE WARNING SURFACE
SHOWING DOMES ALIGNED IN ROWS, NOT SKewed
DIAGONALLY.

TYPICAL DETAIL OF DETECTABLE WARNING SURFACE
NOT TO SCALE



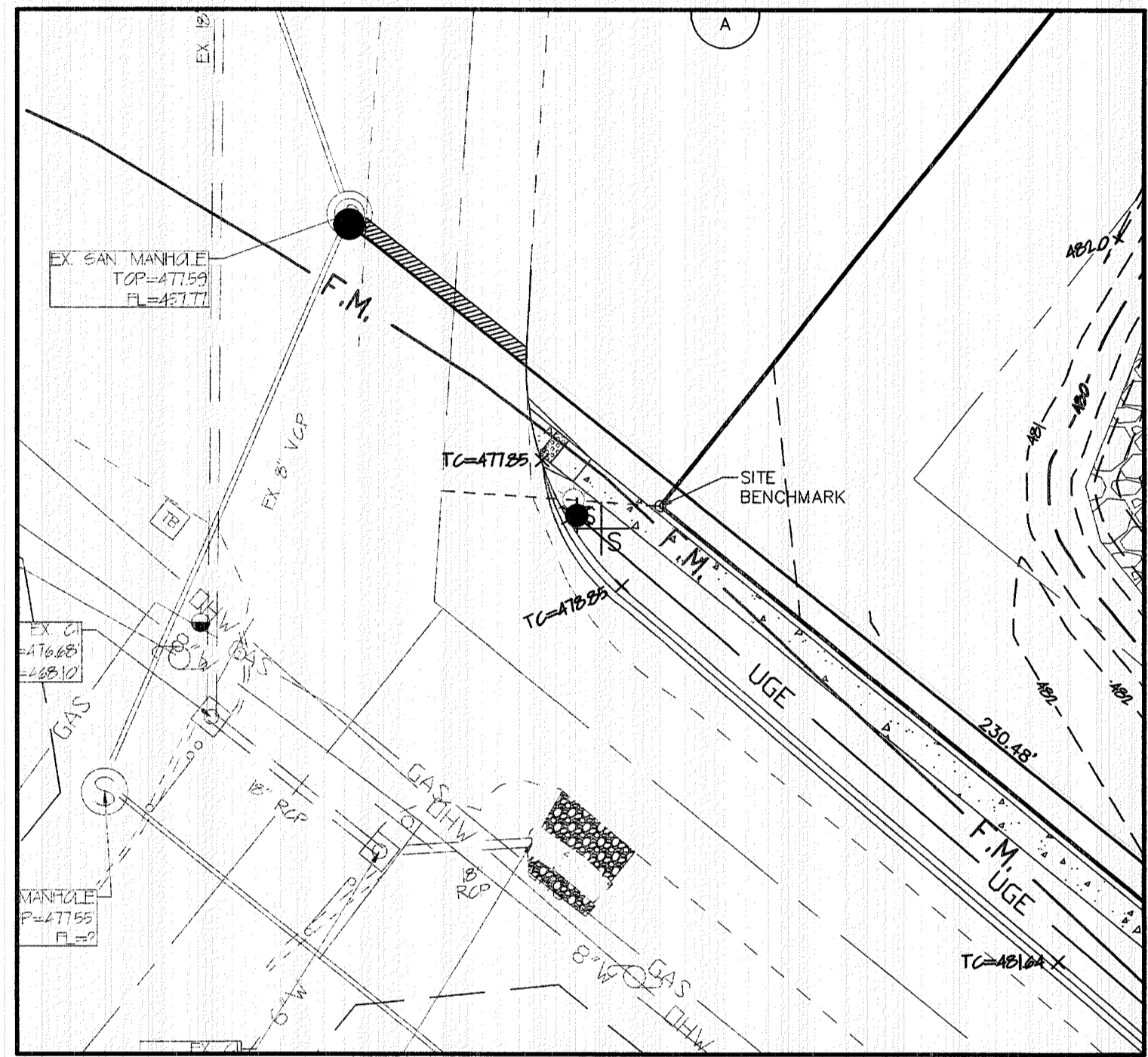
CONCRETE SIDEWALK DETAIL
NOT TO SCALE

!!!WARNING!!! 15" FORCEMAIN PRESENT!!!
ALL CONTRACTORS WORKING IN AND OR AROUND THE EXISTING 15" SANITARY FORCEMAIN SHALL TAKE ALL PRECAUTIONS AND CARE WHEN WORKING AROUND IT TO PREVENT HITTING OR DAMAGING IT. IF IT IS HIT OR DAMAGED THE CONTRACTOR NEEDS TO BE PREPARED TO RESOLVE ANY DAMAGE THEY CAUSE. ALSO, THE CONTRACTOR SHALL CONTACT THE CITY IMMEDIATELY TO REPORT ANY DAMAGE AND GET DIRECTION FOR REPAIRING SUCH DAMAGE.



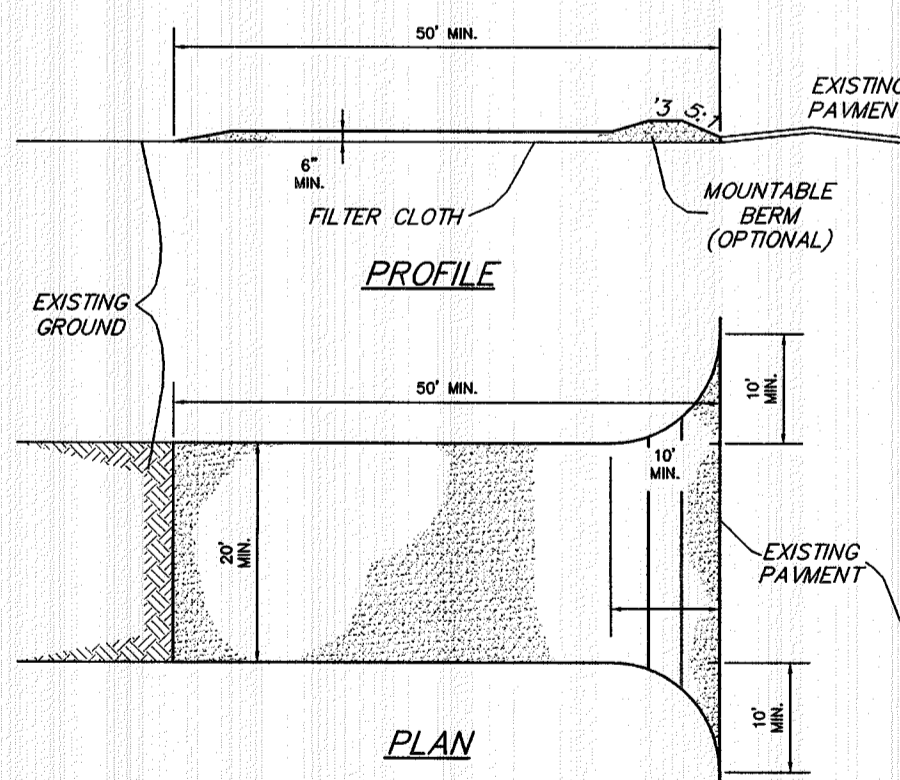
WARPING DETAIL
SCALE: 1" = 20'

NOTE:
ALL ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
TP=TOP OF PAVEMENT



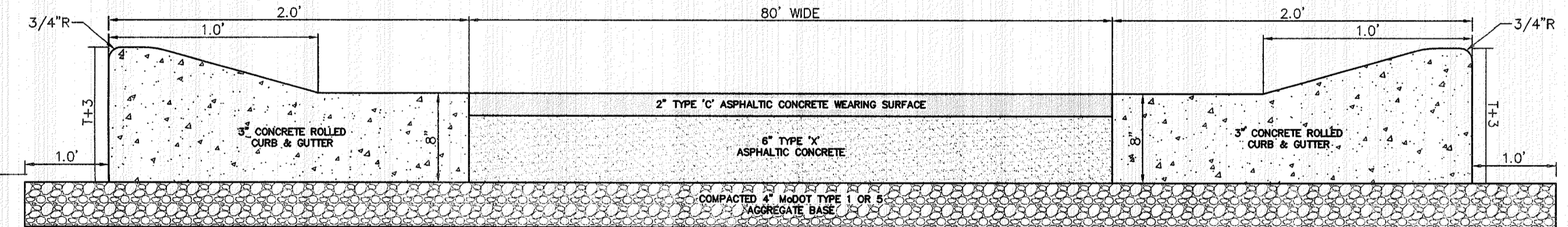
INTERSECTION DETAIL
SCALE: 1" = 20'

NOTE:
ALL ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
TP=TOP OF PAVEMENT



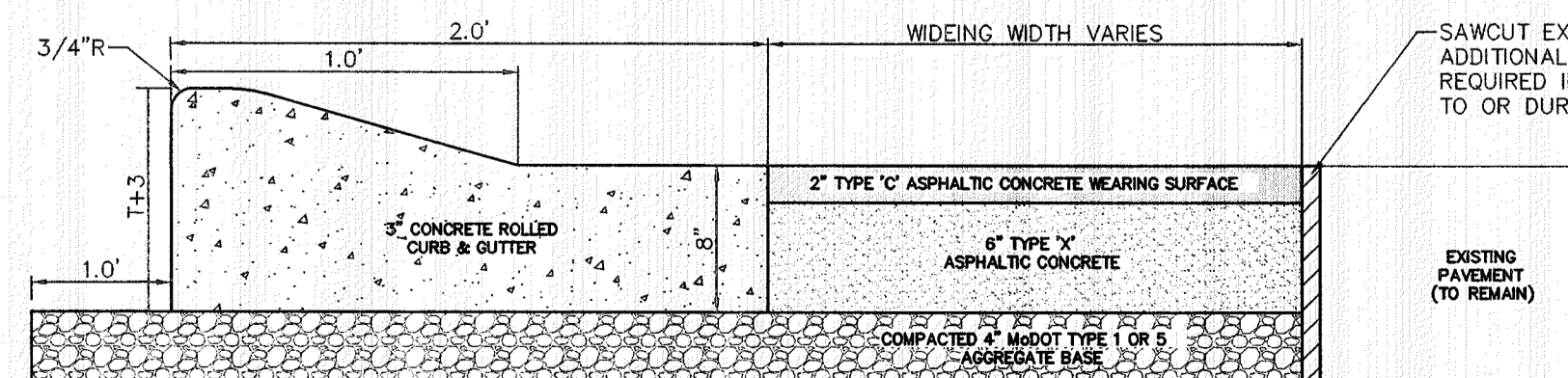
- CONSTRUCTION SPECIFICATIONS
- Stone Size - Use 2" stone, or reclaimed or recycled concrete equivalent.
 - Length - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness - Not less than six (6) inches.
 - Width - Twenty (20) foot minimum, but not less than the full width at points where ingress or egress occurs.
 - Filter Cloth - Will be placed over the entire area prior to placing of stone. Filter will not be required on a single family residence lot.
 - Surface Water - All surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public rights-of-way must be removed immediately.
 - Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain.

STABILIZED CONSTRUCTION ENTRANCE/WASHDOWN AREA
NOT TO SCALE



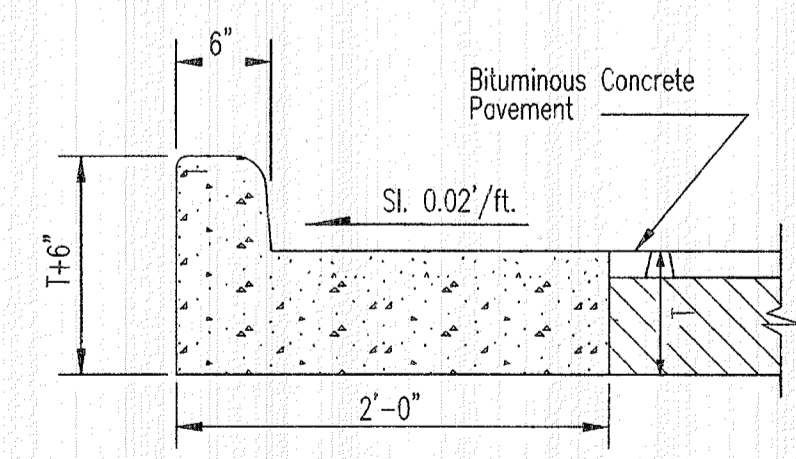
CUL-DE-SAC
PAVEMENT SECTION DETAIL
NOT TO SCALE

- NOTES:
- ALL NON-REINFORCED CONCRETE SHALL BE 4,000 PSI AT 28 DAYS.
 - THE ASPHALT SURFACE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY.
 - THE PROPOSED PAVEMENT WIDENING SHALL MATCH THE EX. PAVEMENT THICKNESS OF OLD SCHAEFFER ROAD BUT SHALL NOT BE LESS THAN THE PAVEMENT THICKNESS SHOWN.

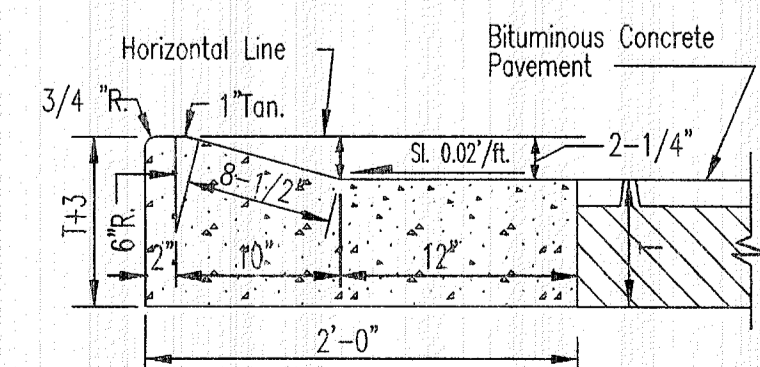


OLD SCHAEFFER LANE
PAVEMENT SECTION WIDENING DETAIL
NOT TO SCALE

- NOTES:
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 - THE PROPOSED PAVEMENT WIDENING SHALL MATCH THE EX. PAVEMENT THICKNESS OF OLD SCHAEFFER ROAD BUT SHALL NOT BE LESS THAN THE PAVEMENT THICKNESS SHOWN.



VERTICAL CURB AND GUTTER
(2'-0" WIDE)



ROLLED CURB AND GUTTER
(2'-0" WIDE)

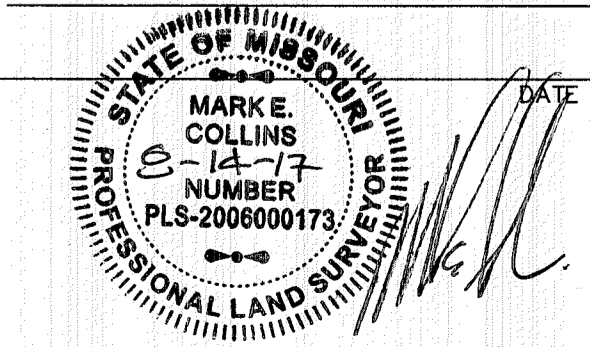
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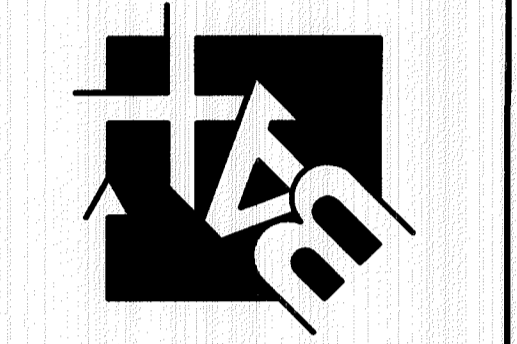
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SIGNED:
P.E./L.S.



PROJECT TITLE:
**AS-BUILT PLANS FOR
VILLAS OF CAPRI**

ENGINEERING
DRAWING
STAMPING
221 Point West Blvd.
St. Charles, MO 63301
636-928-6662
FAX 928-1718



DISCLAIMER OF RESPONSIBILITY
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Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

REVISIONS

DATE	REVISION
7/14/17	CITY COMMENT REVS.
8/01/17	CITY COMMENT REVS.

Developer / Owner:
Twenty Seven Hundred Forty-365 Group, L.L.C.
429 North Main Street
O'Fallon, MO 63366
636-240-0930

P+Z No. #04-16.03
March 3, 2016
City No. #

Page No. 6 of 6

Box Project # 95-7653F Issue Date: 06/19/2017

CONSTRUCTION DETAILS/BASIN SECTIONS