

# SITE DEVELOPMENT NOTES

- LOT DATA 794 LOTS
  - VILLAGE A (R-1)
    - 165 LOTS (SINGLE FAMILY DETACHED COTTAGES)
    - BUILDING LINE SETBACK 25'
    - SIDE YARD SETBACK 6'
    - REAR YARD SETBACK 15'
    - MINIMUM LOT WIDTH 35'
    - MINIMUM LOT SIZE - 3,850 SQ.FT.
    - AVERAGE LOT SIZE - 5,941 SQ.FT.
    - (EXCLUDES R.O.W. & COMMON GROUND)
    - SMALLEST LOT SIZE SHOWN - 4,088 SQ.FT.
  - VILLAGE B (R-1)
    - 215 LOTS (SINGLE FAMILY)
    - BUILDING LINE SETBACK 25'
    - SIDE YARD SETBACK 6'
    - REAR YARD SETBACK 15'
    - MINIMUM LOT WIDTH - 52'
    - MINIMUM LOT SIZE - 5,720 SQ.FT.
    - AVERAGE LOT SIZE - 8,368 SQ.FT.
    - (EXCLUDES R.O.W. & COMMON GROUND)
    - SMALLEST LOT SIZE SHOWN - 6,300 SQ.FT.
  - VILLAGE C (R-1)
    - 117 LOTS (SINGLE FAMILY)
    - BUILDING LINE SETBACK - 25'
    - SIDE YARD SETBACK - 6'
    - REAR YARD SETBACK 15'
    - MINIMUM LOT WIDTH - 52'
    - MINIMUM LOT SIZE - 8,640 SQ.FT.
    - AVERAGE LOT SIZE - 10,496 SQ.FT.
    - (EXCLUDES R.O.W. & COMMON GROUND)
    - SMALLEST LOT SIZE SHOWN - 7,035 SQ.FT.
  - VILLAGE D (R-1)
    - 114 LOTS (SINGLE FAMILY)
    - BUILDING LINE SETBACK - 25'
    - SIDE YARD SETBACK - 6'
    - REAR YARD SETBACK 15'
    - MINIMUM LOT WIDTH - 72'
    - MINIMUM LOT SIZE - 8,640 SQ.FT.
    - AVERAGE LOT SIZE - 14,313 SQ.FT.
    - (EXCLUDES R.O.W. & COMMON GROUND)
    - SMALLEST LOT SIZE SHOWN - 8,700 SQ.FT.
  - VILLAGE E (R-1)
    - 102 LOTS (SINGLE FAMILY)
    - BUILDING LINE SETBACK - 25'
    - SIDE YARD SETBACK - 6'
    - REAR YARD SETBACK 15'
    - MINIMUM LOT WIDTH - 85'
    - MINIMUM LOT SIZE - 10,625 SQ.FT.
    - AVERAGE LOT SIZE - 20,384 SQ.FT.
    - (EXCLUDES R.O.W. & COMMON GROUND)
    - SMALLEST LOT SIZE SHOWN - 10,625 SQ.FT.
- AMENITIES
  - SWIMMING POOL
  - BATH HOUSE
  - 2 - SPORTS COURTS 60'x120' MIN.
  - 3 - PAVILIONS 30'x30' W/ BBQ GRILLS & TABLES
  - 3 - HORSESHOES PIT AREAS
  - 3 - TOTLOT PLAYGROUNDS (AGES 2 - 5)
  - 1 - FOOTBRIDGE AND PEDESTRIAN TRAILS
  - BIKE RACKS AT ALL PAVILION & SPORTS COURTS
- THIS TRACT IS IN AND SERVED BY -
  - DUCKETT CREEK SANITARY DISTRICT
  - PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHARLES COUNTY
  - CUVIER RIVER ELECTRIC COOPERATIVE
  - CENTURY TEL.
  - ST. CHARLES GAS CO.
  - WENTZVILLE FIRE PROTECTION DISTRICT & NEW MELLE FIRE PROTECTION DISTRICT
  - WENTZVILLE SCHOOL DISTRICT
  - O'FALLON POST OFFICE
- STREETS SHALL BE BUILT PER CITY OF O'FALLON SPECIFICATIONS
- ALL DRIVEWAYS SHALL ACCESS INTERIOR STREETS WITH THE EXCEPTION OF THE FOUR CUSTOM LOTS THAT ACCESS DIEHR ROAD.
- GRADING SHALL BE PER CITY OF O'FALLON STANDARDS
- STREET TREES, LANDSCAPING, STREET LIGHTS AND SIDEWALKS SHALL BE PER CITY OF O'FALLON STANDARDS
- UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE TOPOGRAPHIC SURVEY IS FROM FIRM DATUM
- THIS PROJECT IS IN COMPLIANCE WITH ARTICLE 26 OF THE CITY OF O'FALLON ZONING CODE.
- ALL SIDEWALKS AND TRAILS SHALL BE 4' WIDE MINIMUM.
- THIS PLAT IS NOT FOR RECORD
- A PORTION OF THIS SITE IS IN THE 100 YEAR FLOOD AS SHOWN ON FIRM MAP PANEL NUMBERS 29183C0215E & 29183C0220E, DATED MARCH 17, 2003 AND FIRM MAP PANEL NUMBERS 29183C0405E & 29183C04100E DATED AUGUST 2, 1996.
- WETLAND EVALUATIONS HAVE BEEN DETERMINED AND SHALL BE FORWARDED TO THE CITY.
- PROPOSED LIGHT STANDARDS SHALL BE 16' TALL.
- THE PROPOSED UTILITIES AND SEWERS SHALL BE COVERED BY EASEMENTS GRANTED TO THE APPROPRIATE UTILITY COMPANIES AND MUNICIPALITIES.
- COVENANTS & RESTRICTIONS WILL BE SIMILAR TO HOMEFIELD. (Book 2333, Page 79 Amended Book 2474, Page 1951)
- THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DEPT. OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS PRIOR TO DEVELOPMENT.
- ALL ENTRANCE MONUMENTS AND LOCATIONS MUST BE APPROVED SEPARATELY IN ACCORDANCE WITH THE CITY'S SIGN CODE.
- THE DEVELOPER WILL PROVIDE THE APPROPRIATE APPROVALS FROM DNR AND COE FOR THIS DEVELOPMENT'S IMPACT ON THE EXISTING CREEK.
- NO PORTION OF THE DWELLINGS, INCLUDING THE FOOTING AND ROOF OVERHANG, SHALL ENDOUR INTO THE FIVE (5) FOOT SETBACK/EASEMENT IN ORDER TO MEET BUILDING AND FIRE DEPARTMENT REQUIREMENTS.
- A SEPARATE SITE PLAN SUBMITTAL WILL BE PROVIDED FOR THE COMMON GROUND AMENITIES SUCH AS BUILDING ELEVATIONS, LANDSCAPING, ETC.
- A 60' WIDE DRAINAGE EASEMENT IS TO BE CENTERED ALONG THE CENTERLINE OF THE EXISTING DRAINAGE DITCH AND WILL BE SHOWN ON THE RECORD PLAT. AREA WITHIN THIS EASEMENT IS TO REMAIN UNDISTURBED.
- UNLESS NOTED OTHERWISE, ALL EXISTING STRUCTURES AND IMPROVEMENTS ARE TO BE REMOVED.
- PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR MORE THAN 30% OF THE TOTAL UNITS, BUILDING PERMITS FOR ALL OF THE RECREATIONAL AMENITIES SHALL BE PULLED. PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR 40% OF THE TOTAL UNITS, ALL RECREATIONAL AMENITIES SHALL BE OPEN FOR USE.
- ADDITIONAL RIGHT OF WAY IS BEING DEDICATED TO PROVIDE THE EXISTING DIEHR ROAD WITH A R.O.W. WIDTH OF 80'.
- ENTRANCE AND ALL IMPROVEMENTS WITHIN HIGHWAY N RIGHT-OF-WAY (INCLUDING ANY ADDITIONAL R.O.W. DEDICATION REQUIRED) WILL BE COORDINATED WITH AND APPROVED BY MODOOT. A 10' WIDE UTILITY EASEMENT SHALL BE PROVIDED ALONG DEDICATED HIGHWAY N ROW.
- AN INTERNAL STREET LOOP WILL BE PROVIDED WITH THE FIRST PHASE OF DEVELOPMENT FOR BUS TRAFFIC
- PROPOSED PEDESTRIAN FOOTBRIDGE DETAIL WILL BE PROVIDED WITH COMMON GROUND & AMENITIES PLANS
- THIS DEVELOPMENT WILL PROVIDE A STORM WATER SYSTEM THAT INSURES THAT THE RATE OF FLOW OF STORM WATER RUNOFF DISCHARGE FROM THE SITE AFTER DEVELOPMENT DOES NOT EXCEED THE RATE OF FLOW OF STORM WATER RUNOFF DISCHARGED FROM THE SITE FOR THE DESIGNATED STORM EVENT BEFORE DEVELOPMENT.
- FENCING ALONG THE REAR OF LOTS ADJACENT TO THE COLLECTOR AND ARTERIAL RIGHTS-OF-WAY SHALL BE WHITE-VINYL FENCE REGULATED BY THE COC&S OF THE SUBDIVISION
- STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." ARE TO HAVE STREET TREES PLANTED AT A SPACING OF 30' FROM CENTER TO CENTER. ALL LOTS BACKING STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." ARE TO BE LIMITED TO ONE FENCE STYLE DESIGNATED BY THE HOMEOWNERS ASSOCIATION.
- AS PART OF THE SALES CONTRACTS FOR LOTS WITH FLOODWAY AND UNDISTURBED DRAINAGE EASEMENTS ON THEM, THE PURCHASER MUST SIGN AN ACKNOWLEDGEMENT STATING THAT MAINTENANCE OF THAT UNDISTURBED AREA, DRAINAGE WAY AND/OR CREEK WILL BE THE HOME OWNER'S RESPONSIBILITY (LOTS 749, 780, 781, 779, 780, 781, & 782).
- A 10' WIDE NO-GRADE ZONE SHALL BE MAINTAINED BETWEEN VILLAGE A AND ADJACENT LOTS TO THE WEST. ANY EXISTING TREES DESTROYED IN THIS BUFFER SHALL BE REPLACED WITH A THREE (3) INCH CALIPER DECIDUOUS TREE.
- ALL AMENITIES SHALL BE HANDICAPPED ACCESSIBLE WITH PROPER NUMBER OF PARKING SPACES PROVIDED.
- THE BIKE PATH ALONG HIGHWAY N SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE SUBDIVISION CONSTRUCTION.
- STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." SHALL BE DESIGNED TO MEET OR EXCEED CITY OF O'FALLON ROAD STANDARDS AND SPECIFICATIONS. THE DESIGN SPEED FOR STREET "PAUL RENAUD BLVD." SHALL BE 35 M.P.H. AND THE POSTED SPEED SHALL BE 30 M.P.H.

### TREE PRESERVATION

Existing trees = 256.6 Acres  
Trees Saved = 141.2 Acres = 55% of trees saved  
Per ordinance, no trees need to be replaced.

### STREET TREES

1 tree shall be provided for every lot street frontage.  
(corner lots shall require additional trees for each street adjoining it.)

794 lots = 794 trees  
Corner lots fronting two streets = 118 additional trees  
Corner lots fronting three streets = 7 additional trees  
Collector Road trees (30' spacing) = 375 additional trees

Total trees required = 1294 trees

### REVEGETATION SCHEDULE

**Seeding Rates:**  
Fescue - 30 lbs./ac.  
Smooth Brome - 20 lbs./ac.  
Combined: Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac.

**Temperatures:**  
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per square foot)  
Oats - 120 lbs./ac. (2.75 lbs. per square foot)

**Seeding Periods:**  
Fescue or Brome - March 1 to June 1  
August 1 to October 1

Wheat or Rye - March 15 to November 1  
Oats - March 15 to September 15

**Mulch rates:** 100 lbs. per 1,000 sq. ft. (4,356 lbs. per acre)

**Fertilizer rates:** Nitrogen 30 lbs./ac.  
Phosphate 30 lbs./ac.  
Potassium 30 lbs./ac.  
Lime 600 lbs./ac. ENM\*

\*ENM = effective neutralizing material as per State evaluation of quarried rock.

### POOL / BATHHOUSE PARKING CALCULATIONS

1 PARKING SPACE/10 UNITS  
794 LOTS = 80 PARKING SPACES REQUIRED  
= 83 PARKING SPACES PROVIDED

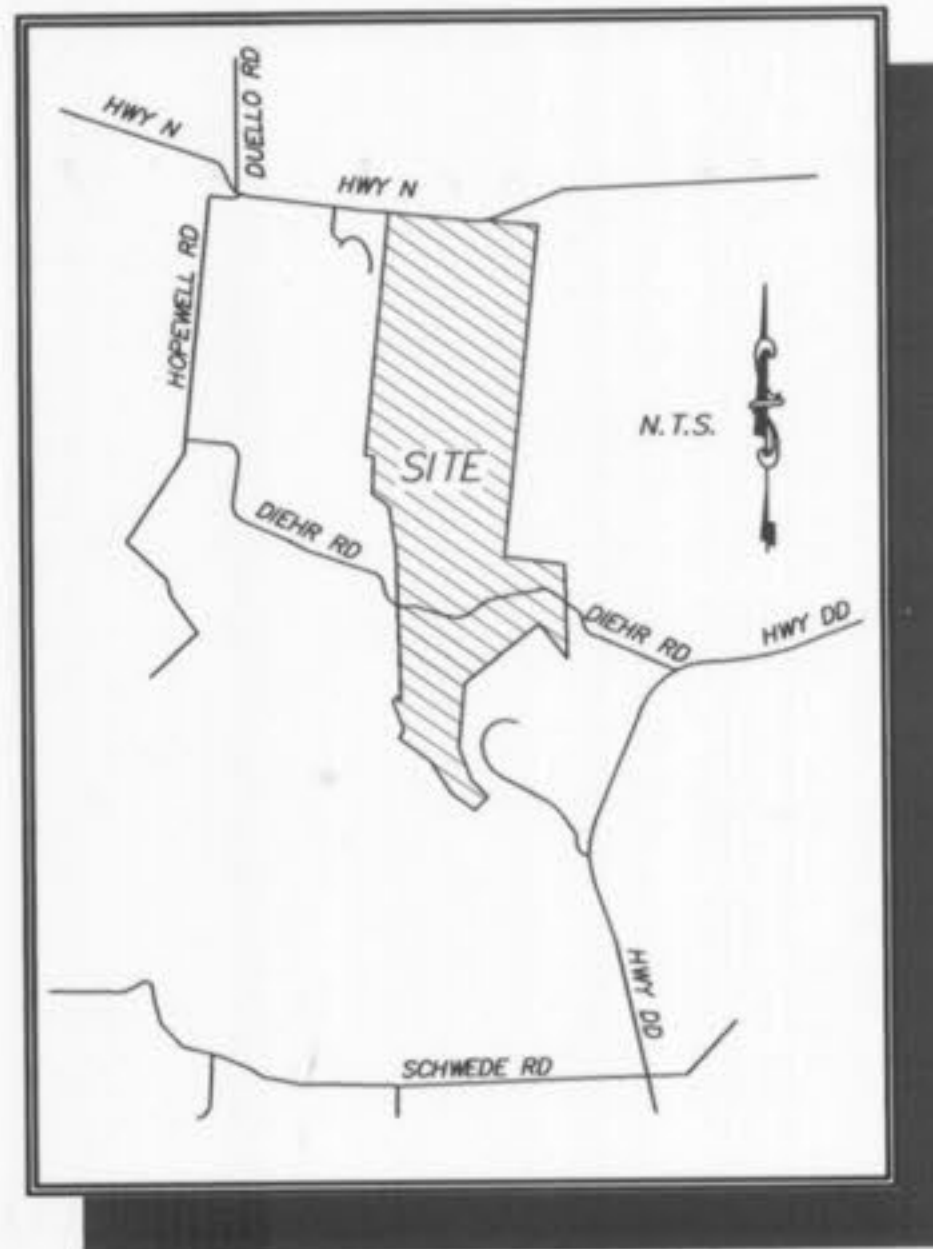
# WYNDGATE IMPROVEMENT PLANS

## (794 LOTS)

### VILLAGE B-1 "AS-BUILTS"

TRACTS OF LAND BEING PART OF FRACTIONAL SECTIONS 16 & 17, AND U.S. SURVEYS 61 & 417, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI

### LOCATION MAP



Call BEFORE you DIG  
TOLL FREE  
1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

MoDOT LOCATOR: 314-340-4100

### PROJECT BENCH MARK

U.S.G.S BENCH MARK  
At Dardenne T.46N., R.2E. Near Approx. Corner Sections 1, 2, 11 & 12, 31' north & 20' west of crossroads, 49' south of S.E. corner of Catholic Church, 2.0' north of sidewalk & in a concrete post standard tablet stamped "T1 60C 1936 616".  
Elev. 616.50

### LEGEND

Sanitary Sewer (Proposed)	(Symbol)	Sanitary Structure	R.C.P.	Reinforced Concrete Pipe
Sanitary Sewer (Existing)	(Symbol)	Storm Structure	C.M.P.	Corrugated Metal Pipe
Storm Sewer (Proposed)	(Symbol)	Test Hole	C.I.P.	Cast Iron Pipe
Storm Sewer (Existing)	(Symbol)	Power Pole	P.V.C.	Polyvinyl Chloride
Water Line & Size	(Symbol)	Light Standard	V.C.P.	Vitrified Clay Pipe
Existing water line	(Symbol)	Double Water Meter Setting	C.O.	Clean Out
Tree & Valve	(Symbol)	Single Water Meter Setting	V.T.	Vent Trap
Hydrant	(Symbol)	C.I. Curb Inlet	T.B.R.	To Be Removed
Cap	(Symbol)	S.C.I. Skewed Curb Inlet	T.B.R.&R	To Be Removed & Relocated
18 Lot or Building Number	(Symbol)	D.C.I. Double Curb Inlet	T.B.P.	To Be Protected
Existing Fence Line	(Symbol)	G.I. Grate Inlet	T.B.A.	To Be Abandoned
Existing Tree Line	(Symbol)	A.I. Area Inlet	B.C.	Base Of Curb
Street Sign	(Symbol)	D.A.I. Double Area Inlet	T.C.	Top Of Curb
Existing Contour	(Symbol)	C.C. Concrete Collar	T.W.	Top Of Wall
Proposed Contour	(Symbol)	F.E.S. Flared End Section	B.W.	Base Of Wall
Rip-Rap	(Symbol)	E.P. End Pipe	(TYP)	Typical
End of Lateral	(Symbol)	E.D. Energy Dissipater	M.H.	Manhole
Asphalt Pavement	(Symbol)	M.H. Manhole	U.N.O.	Unless Noted Otherwise
Concrete Pavement	(Symbol)	C.P. Concrete Pipe	U.I.P.	Use In Place
Proposed Swale	(Symbol)	S.A.S. Sinkhole Access Structure	Yield Sign	Yield Sign

These "As-Built" Storm Sewer plans, are based on actual field measurements conducted during January 2006, and the results are shown hereon.

By: *[Signature]* 6-21-06  
JAMES R. CHERVEK P.L.S., #2211  
STATE OF MISSOURI  
PICKETT, RAY & SILVER'S CORPORATE  
REGISTRATION NO. LS-54-D

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PICKETT RAY & SILVER

333 Mid Rivers Mall Drive  
 St. Peters, MO 63376  
 Phone (636) 397-1211  
 Fax (636) 397-1104

CIVIL ENGINEERS  
 PLANNERS  
 LAND SURVEYORS

219 FOX HILL ROAD  
 ST. CHARLES, MO. 63101  
 (636) 940-9300

WYNDGATE COVER SHEET

Prepared For: SUMMIT POINTE, L.C.

SEE SHEET 2 FOR FURTHER REVISIONS.

NO.	DATE	REVISIONS
1	10/25/04	REVISED PER CITY
2	12/09/04	REVISED PER PRSD #2
3	12/20/04	REVISED PER DCSB
4	01/20/05	REVISED PER PRSD #2
5	02/03/05	REVISED PER DCSB
6	02/18/05	REVISED PER CITY OF O'FALLON
7	03/09/05	REVISED PER CITY OF O'FALLON
8	03/09/05	NOTE: MBR. DOE PER CLIENT
9	03/25/05	REVISED PER P.# S.D.#2
10	04/08/05	REVISED PER CITY & CLIENT
11	04/15/05	REVISED PER CITY

**ENGINEERS AUTHENTICATION**  
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

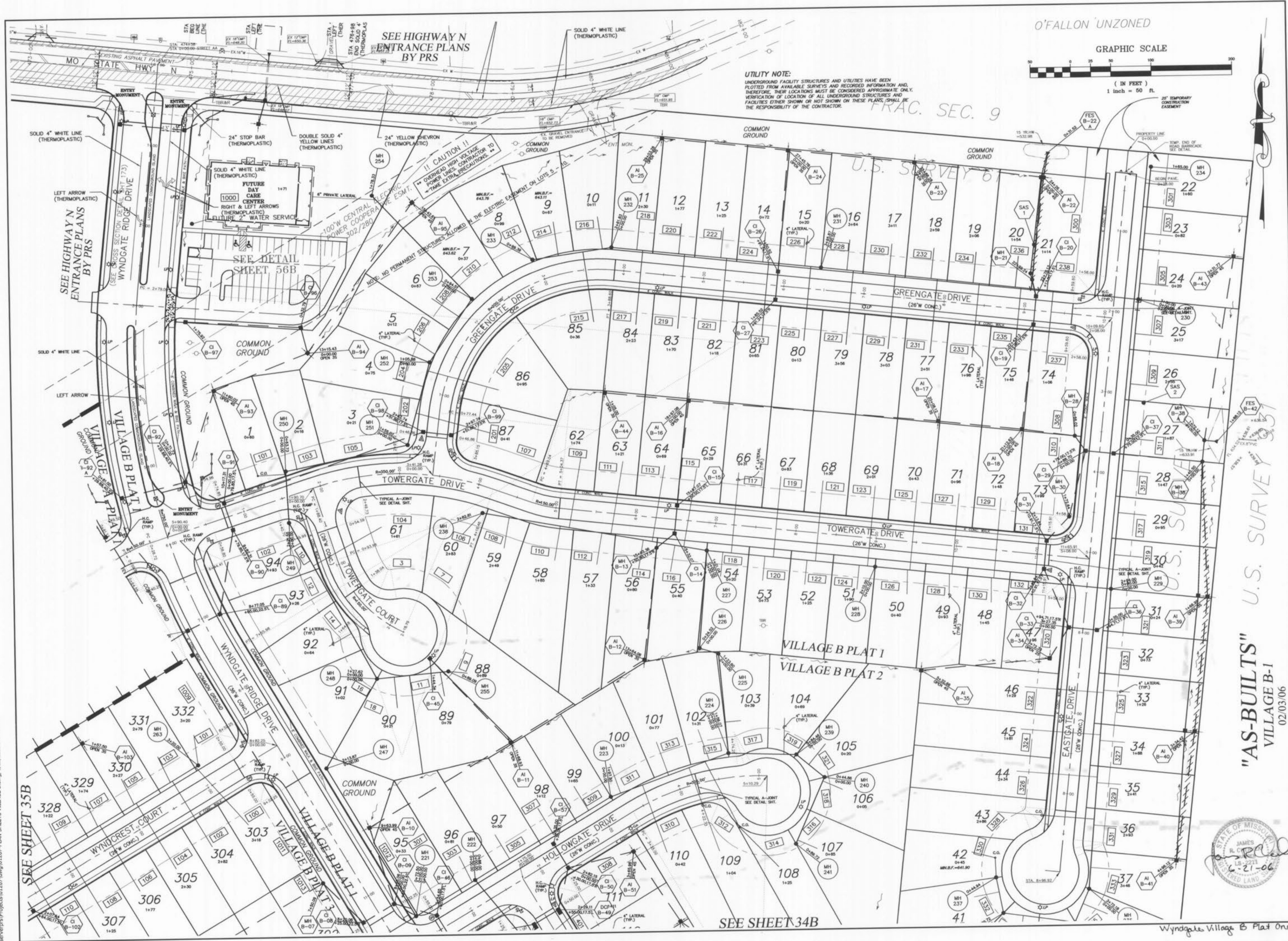
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DRAWN	J.E.E.	DATE	6-29-04
CHECKED	D.W.D.	DATE	6-29-04
PROJECT #	01267.SUPD.02R		
TASK #	2		
FIELD BOOK			

WYNDGATE - PHASE 1 COVER SHEET

SHEET 1 OF 174

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333 Mid Rivers Mall Drive  
 St. Peters, MD 21786  
 Phone (856) 397-1211  
 Fax (856) 397-1104

**WYNDGATE VILLAGE B SITE PLAN**

Prepared For:  
**SUMMIT POINTE, L.C.**

219 FOX HILL ROAD  
 ST. CHARLES, MD 21758  
 (856) 940-8877

**REVISIONS**

NO.	DATE	REVISIONS
1	10/25/04	REVISED PER CITY
2	12/20/04	REVISED PER DSD
3	02/03/05	REVISED PER CITY
4	02/03/05	REVISED PER CITY
5	02/03/05	REVISED PER CITY
6	02/03/05	REVISED PER CITY
7	02/03/05	REVISED PER CITY
8	02/03/05	REVISED PER CITY
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16	02/03/05	REVISED PER CITY
17	02/03/05	REVISED PER CITY
18	02/03/05	REVISED PER CITY
19	02/03/05	REVISED PER CITY

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**WYNDGATE VILLAGE B SITE PLAN**

**SHEET 33B OF 174**

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SEE SHEET 33B

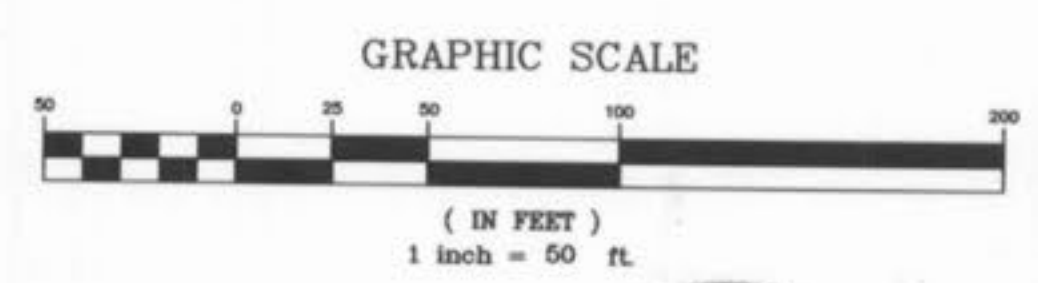
"AS-BUILTS"  
VILLAGE B-1  
02/03/06

**PICKETT RAY & SILVER**  
CIVIL ENGINEERS  
PLANNERS  
LAND SURVEYORS  
333 Mid Rivers Mall Drive  
St. Peters, MO 63376  
Phone (636) 397-1211  
Fax (636) 397-1104

**WYNDGATE VILLAGE B**  
SITE PLAN  
Prepared For:  
**SUMMIT POINTE, L.C.**

NO.	DATE	REVISIONS
1	10/25/04	REVISED PER CITY
2	12/09/04	REVISED PER DCS
3	02/05/05	REVISED PER CITY & CLIENT
4	06/18/05	REVISED PER CITY & CLIENT
5	07/05/05	REVISED PER CITY
6	09/09/05	REVISED PER CITY
7	10/28/05	SURPLUS AL-JOINTS ELIMINATED
8	02/03/06	"AS-BUILTS" VILLAGE B-1

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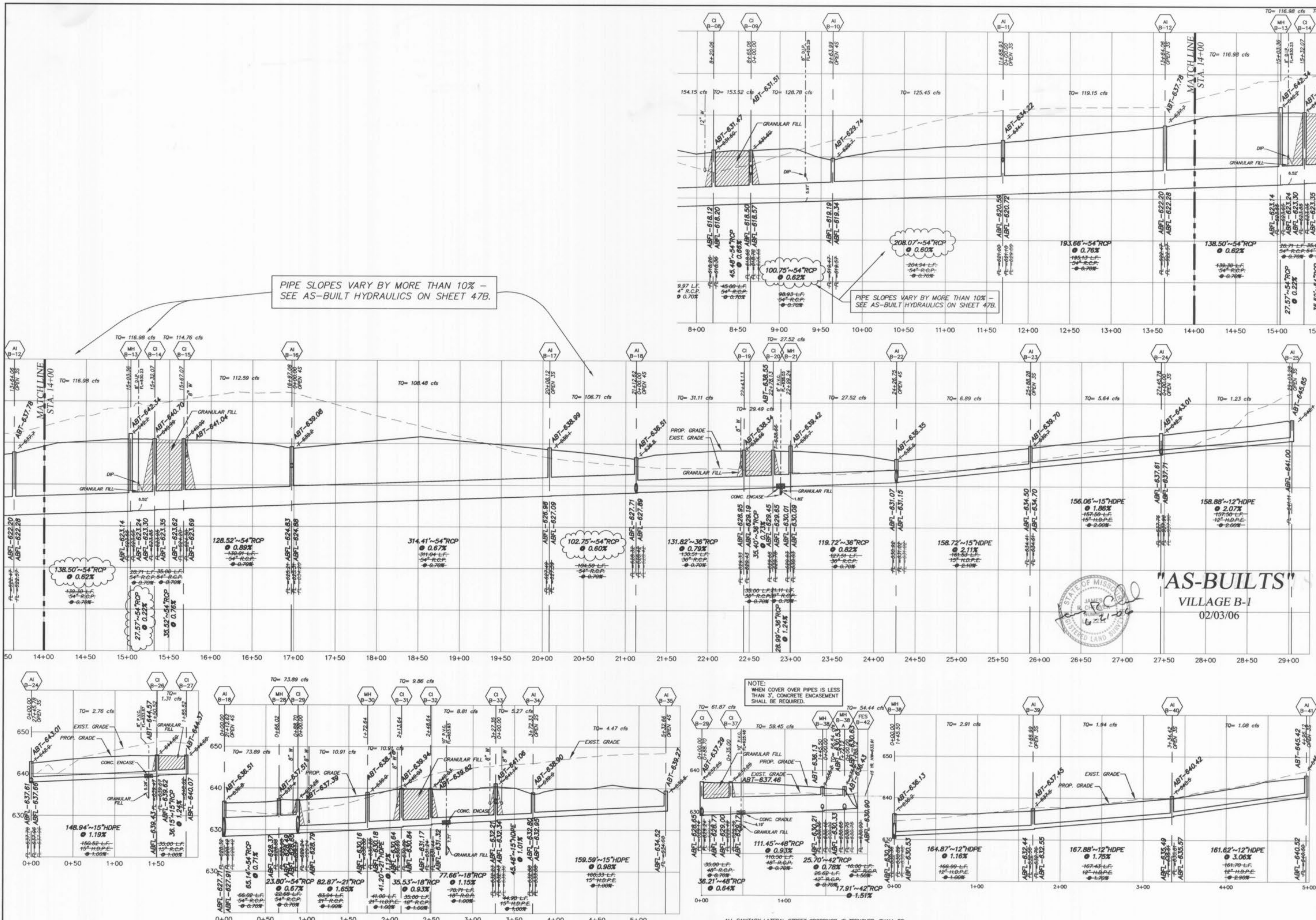


**UTILITY NOTE:**  
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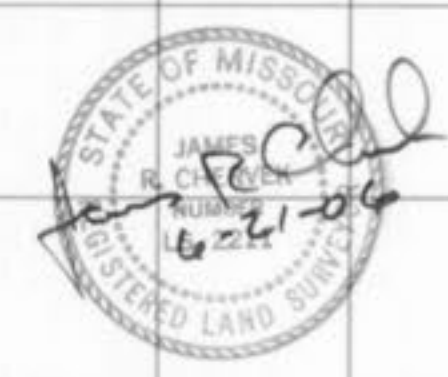
DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT #	01267-SUPO.02R		
TASK #	2	FIELD	BOOK

WYNDGATE VILLAGE B  
SITE PLAN  
SHEET 34B OF 174  
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PIPE SLOPES VARY BY MORE THAN 10% - SEE AS-BUILT HYDRAULICS ON SHEET 47B.

PIPE SLOPES VARY BY MORE THAN 10% - SEE AS-BUILT HYDRAULICS ON SHEET 47B.



**"AS-BUILTS"**  
VILLAGE B-1  
02/03/06

NOTE:  
WHEN COVER OVER PIPES IS LESS THAN 3', CONCRETE ENCASEMENT SHALL BE REQUIRED.

IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERLAP, THE UPPER SHALL BE PLACED ON A SHELF (OR ENCASED H.D.P.E.) THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE GRADE.

ALL SANITARY LATERAL STREET CROSSINGS, IF TRENCHED, SHALL BE BACKFILLED WITH GRANULAR MATERIAL (AGGREGATE).  
STORM SEWERS WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE GRADED IN CONCRETE (OR ENCASED H.D.P.E.) THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE GRADE.

HORIZONTAL SCALE: 1" = 50'  
VERTICAL SCALE: 1" = 10'

**PICKETT RAY & SILVER**  
CIVIL ENGINEERS  
PLANNERS  
LAND SURVEYORS  
333 Mid Rivers Mall Drive  
St. Peters, MO 63376  
Phone (636) 397-1211  
Fax (636) 397-1104

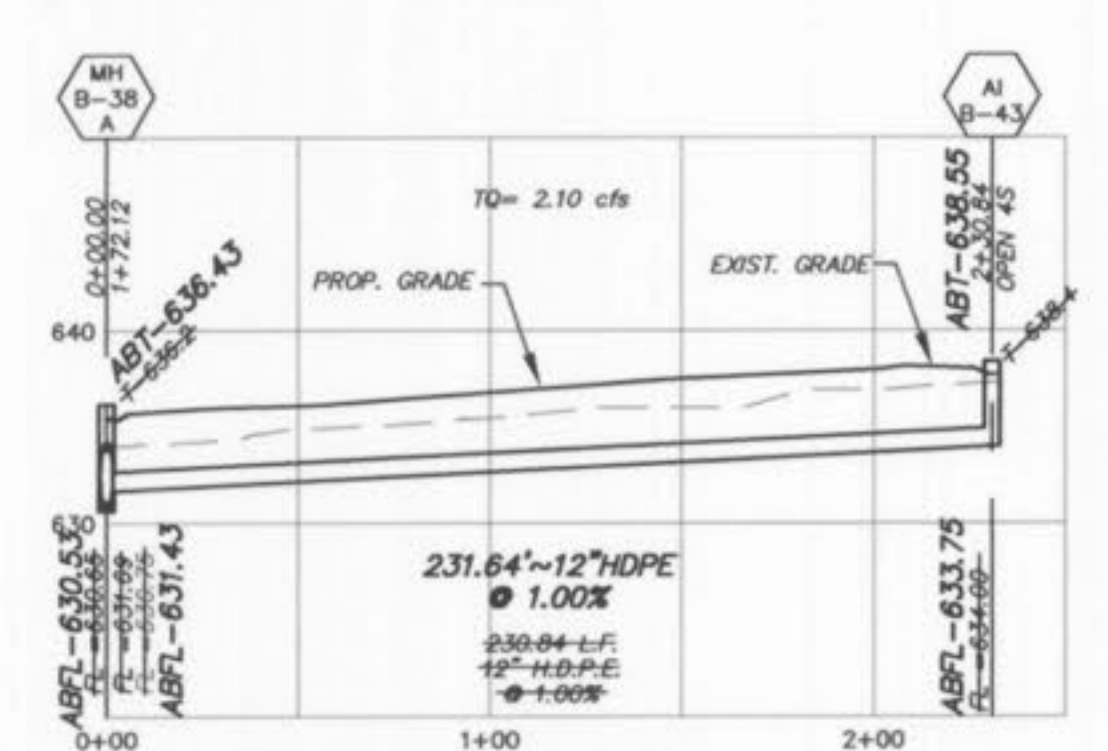
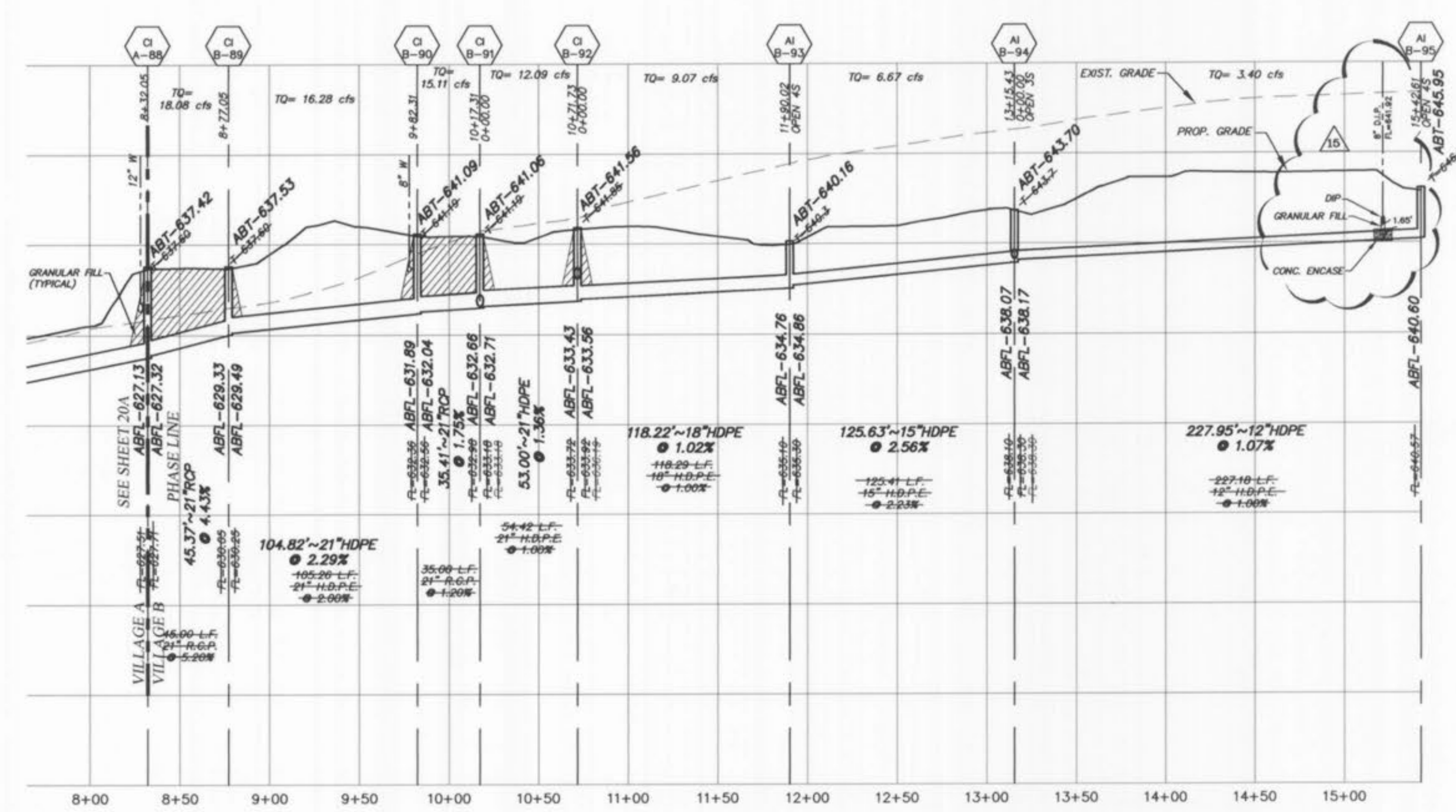
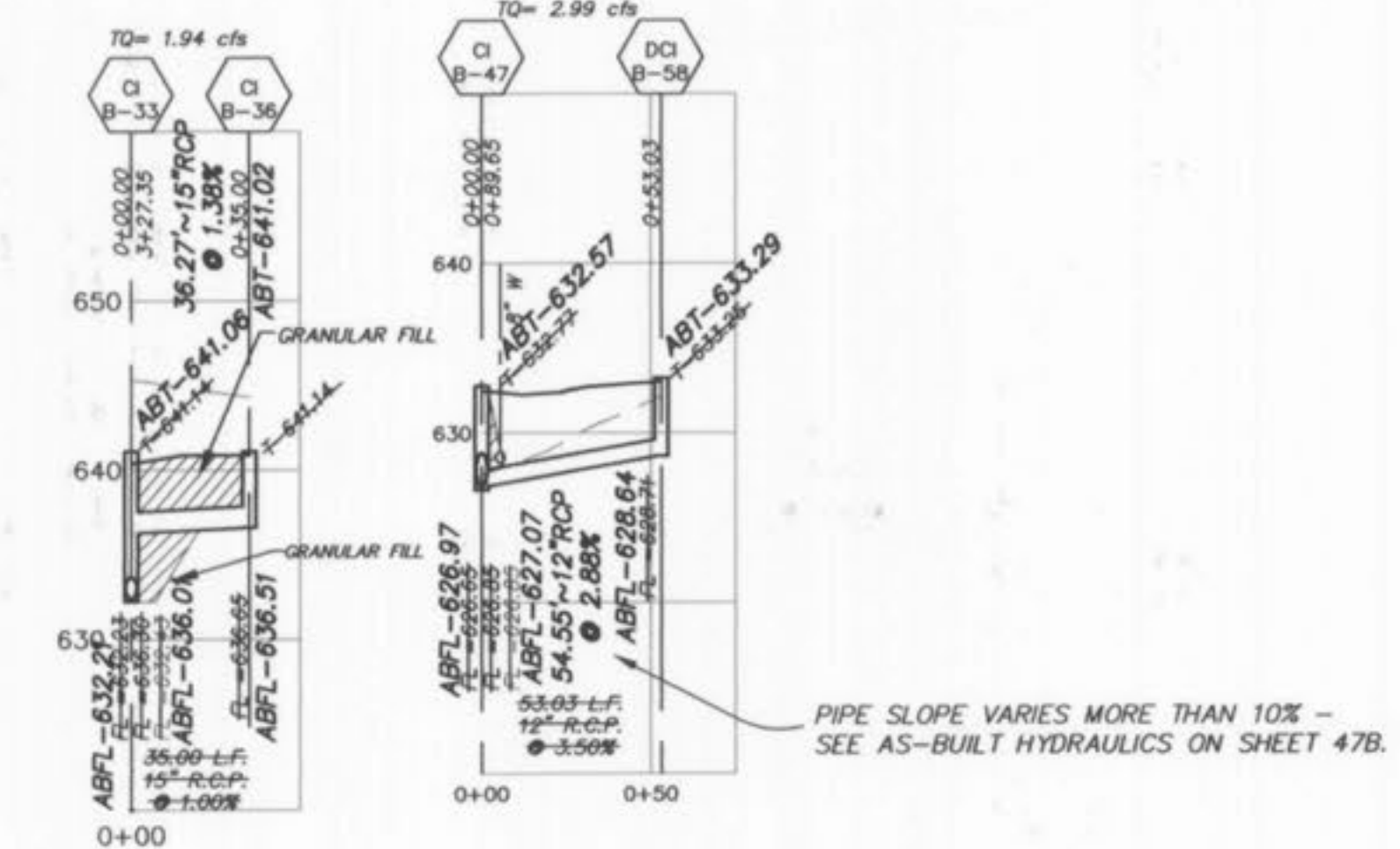
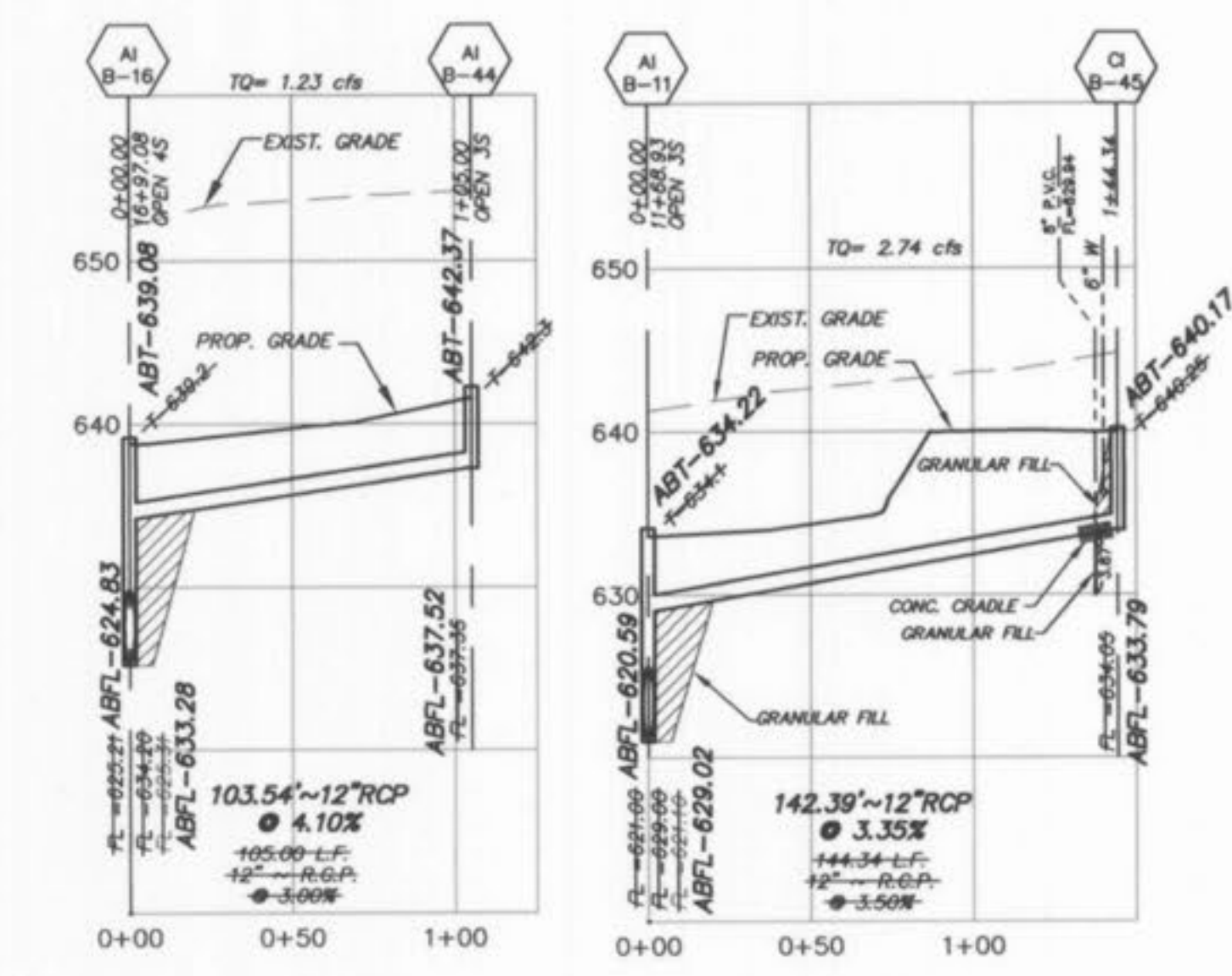
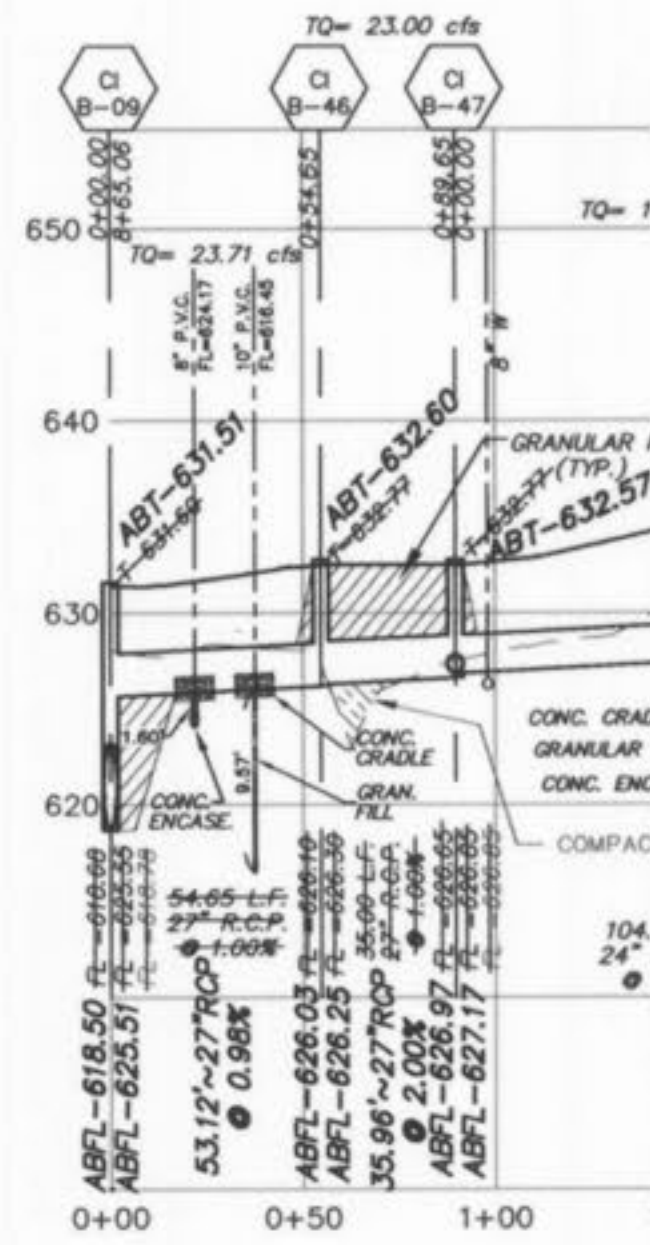
**WYNDGATE**  
VILLAGE B  
STORM SEWER PROFILES  
SUMMIT POINTE, L.C.  
Prepared For:  
239 FOX HILL ROAD  
ST. CHARLES, MO 63301  
(636) 940-9500

NO.	DATE	REVISIONS
1	10/05/04	REVISED PER CITY
2	12/09/04	REVISED PER PSDS No. 2
3	12/20/04	REVISED PER PSDS No. 2
4	07/20/05	REVISED PER PSDS No. 2
5	02/19/06	REVISED PER CITY OF FALLON
6	02/05/06	AS-BUILTS VILLAGE B-1
7	02/21/06	AS-BUILTS REVISED

**ENGINEERS AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.  
PICKETT, RAY & SILVER, INC

DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT	# 01267-SUPD.02R		
TASK	2	FIELD BOOK	

Wyndgate Village B Plat One As built



**"AS-BUILTS"**  
VILLAGE B-1  
02/03/06

**PICKETT RAY & SILVER**  
CIVIL ENGINEERS  
PLANNERS  
LAND SURVEYORS  
333 Mid Rivers Mall Drive  
St. Peters, MO 63276  
Phone (636) 397-1211  
Fax (636) 397-1104

**WYNDGATE**  
VILLAGE B  
STORM SEWER PROFILES  
SUMMIT POINTE, L.C.  
Prepared For:  
219 FOX HILL ROAD  
ST. LOUIS, MO 63103  
(636) 942-3300

REVISIONS	NO.	DATE	REVISIONS PER CITY	REVISIONS PER PERD No.2
	1	10/25/04	REVISED PER CITY	REVISED PER PERD No.2
	2	12/09/04	REVISED PER PERD No.2	REVISED PER PERD No.2
	3	12/20/04	REVISED PER CITY	REVISED PER CITY
	4	01/20/05	REVISED PER CITY	REVISED PER CITY
	6	02/19/05	REVISED PER CITY	REVISED PER CITY
	9	04/09/05	REVISED PER CITY	REVISED PER CITY
	10	04/13/05	REVISED PER CITY	REVISED PER CITY
	15	07/09/05	REVISED PER CITY	REVISED PER CITY
	16	02/03/06	AS-BUILTS VILLAGE B-1	AS-BUILTS VILLAGE B-1
	7	6/21/06	"AS-BUILTS" REVISED	"AS-BUILTS" REVISED

**ENGINEERS AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT	# 01267-SUPO.02R		
TASK #	2	FIELD BOOK	

WYNDGATE  
VILLAGE B  
STORM SEWER PROFILES  
SHEET 46B OF 174  
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HORIZONTAL SCALE: 1"=50'  
VERTICAL SCALE: 1"=10'

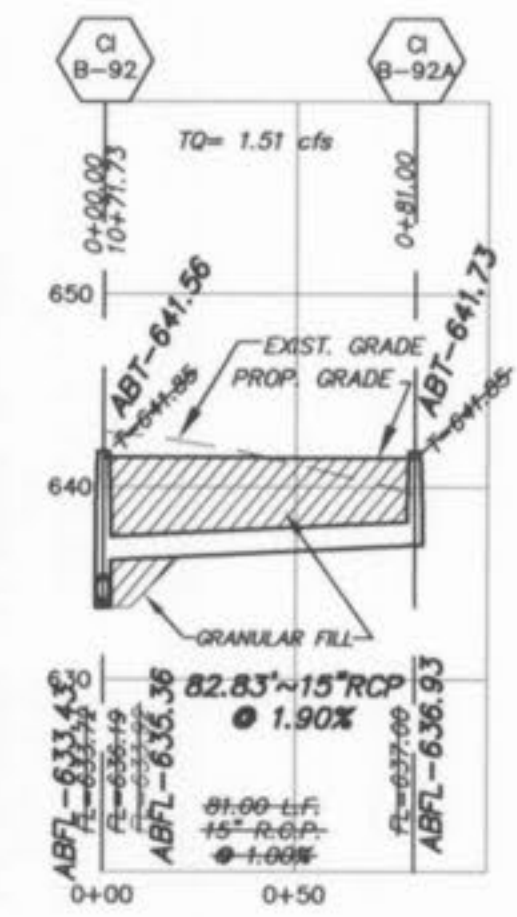
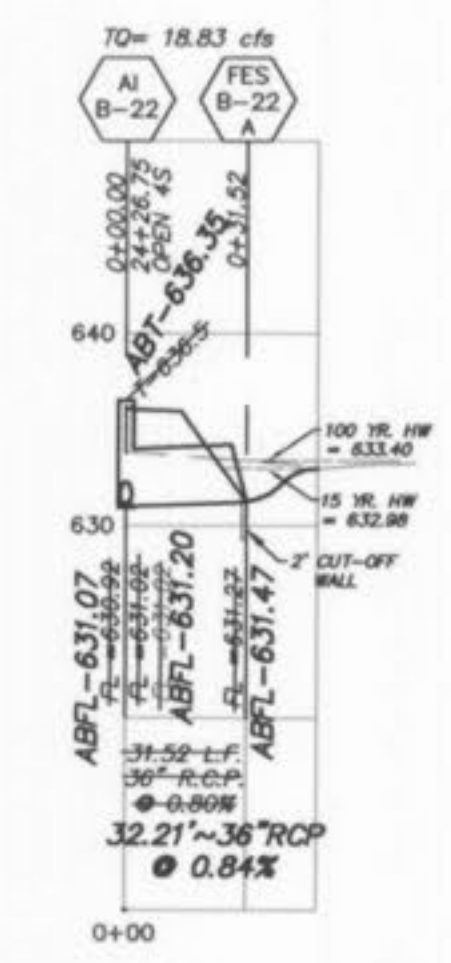
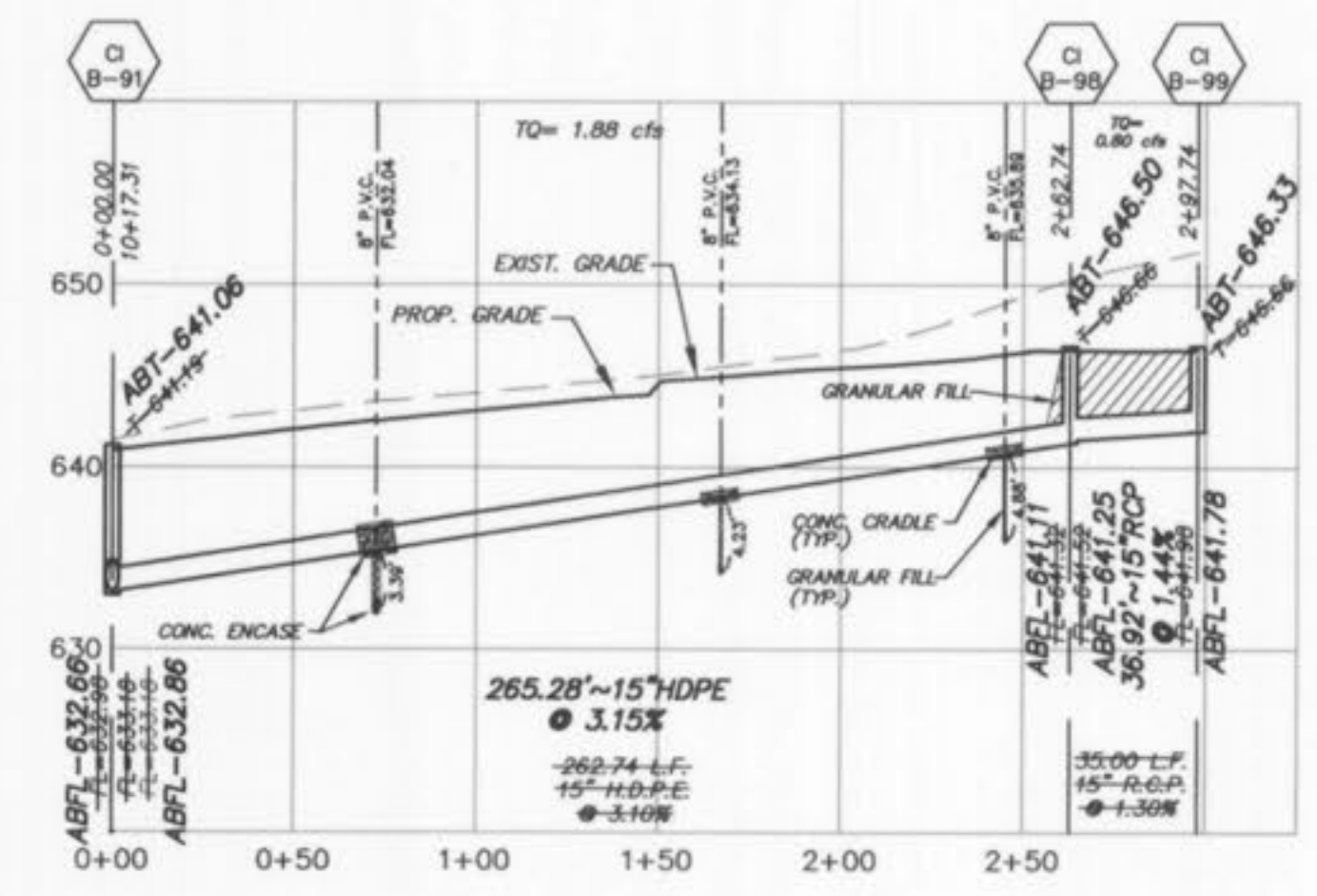
Wyndgate, Village B Plat One, As-Builts

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ALL SANITARY LATERAL STREET CROSSINGS, IF TRENCHED, SHALL BE BACKFILLED WITH GRANULAR MATERIAL (AGGREGATE).

IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERDIG, THE UPPER SHALL BE PLACED ON A SHELF AND THE LOWER SHALL BE BEDDED IN COMPACTED GRANULAR FILL TO THE FLOW LINE OF THE UPPER.

STORM SEWERS WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE CRADLED IN CONCRETE (OR ENCASED H.D.P.E.) THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE CRADLE.



**"AS-BUILTS"**  
 VILLAGE B-1  
 02/03/06

UPP STR	LOW STR	L	DIA	UPPER FL LN	LOWER FL LN	PS	UPPER ST EL	DEPTH HY SR	UPPER HY EL	LOWER HY EL	HYDR GRADE	FR HEAD	VEL	VEL HEAD	JUNC LOSS	TURN LOSS	CURVE LOSS	STR GRADE	INL CAP	DR AREA	P1	Q	TQ	PIPE CAP	REMARKS
AI 18	AI 17	183	54	627.71	627.89	0.60	636.51	3.44	633.07	632.33	.00290	0.36	6.71	0.70	0.44	0.00	0.00	45	11.00	0.60	2.85	1.71	196.71	152.72	
AI 17	AI 16	314	54	626.98	624.88	0.67	638.99	6.66	632.33	631.36	.00360	0.96	6.82	0.72	0.00	0.01	0.00	35	8.25	0.62	2.85	1.77	188.48	168.72	
AI 16	CI 15	129	54	624.83	623.69	0.89	639.88	7.72	631.36	630.37	.00330	0.82	7.08	0.78	0.57	0.00	0.00	45	11.00	1.01	2.85	2.88	152.59	185.22	
CI 15	CI 14	36	54	623.62	623.35	0.76	641.84	15.67	630.37	630.24	.00340	0.82	7.22	0.81	0.00	0.01	0.00	LDW	3.00	0.76	2.85	2.17	134.76	171.50	
CI 14	MH 13	27	54	623.30	623.04	0.22	640.78	18.46	630.24	629.76	.00350	0.80	7.36	0.84	0.00	0.38	0.00	LDW	3.00	0.78	2.85	2.22	136.98	162.82	
MH 13	AI 12	139	54	623.14	622.28	0.62	642.34	12.58	629.76	628.88	.00300	0.49	7.36	0.84	0.00	0.39	0.00	35	8.25	0.85	2.85	2.00	136.98	154.96	
AI 12	AI 11	194	54	622.20	620.72	0.76	637.78	8.96	628.88	627.74	.00370	0.71	7.49	0.87	0.00	0.43	0.00	35	8.25	0.76	2.85	2.17	119.15	171.91	
AI 11	AI 10	208	54	620.59	619.34	0.60	634.22	6.48	627.74	626.74	.00410	0.85	7.89	0.97	0.15	0.00	0.00	35	8.25	1.25	2.85	3.56	125.45	152.45	
AI 10	CI 09	181	54	619.19	618.57	0.62	629.74	3.00	626.74	625.69	.00430	0.43	8.10	1.02	0.00	0.62	0.00	45	11.00	1.17	2.85	3.33	126.78	154.23	
CI 09	CI 08	45	54	618.50	618.20	0.67	631.51	3.82	625.69	624.32	.00610	0.27	9.45	1.43	1.10	0.00	0.00	LDW	3.00	0.36	2.85	1.03	153.52	160.56	

\*LOWER HYDRAULIC ELEVATION IS FROM APPROVED HYDRAULIC CALCULATIONS

UPP STR	LOW STR	L	DIA	UPPER FL LN	LOWER FL LN	PS	UPPER ST EL	DEPTH HY SR	UPPER HY EL	LOWER HY EL	HYDR GRADE	FR HEAD	VEL	VEL HEAD	JUNC LOSS	TURN LOSS	CURVE LOSS	STR GRADE	INL CAP	DR AREA	P1	Q	TQ	PIPE CAP	REMARKS
DCI 58	CI 47	55	12	628.64	627.87	0.88	623.29	3.63	629.64	629.05	.00700	0.38	3.81	0.23	0.23	0.00	0.00	2X	6.60	1.05	2.85	2.99	2.99	6.84	

\*LOWER HYDRAULIC ELEVATION IS FROM APPROVED HYDRAULIC CALCULATIONS

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HORIZONTAL SCALE: 1" = 50'  
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DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT #	01267-SUP0.02R		
TASK #	2	FIELD BOOK	

WYNDGATE VILLAGE B STORM SEWER PROFILES SHEET 47B OF 174