

SITE DEVELOPMENT NOTES

- LOT DATA 794 LOTS
 VILLAGE A (R-1)
 165 LOTS (SINGLE FAMILY DETACHED COTTAGES)
 BUILDING LINE SETBACK 25'
 SIDE YARD SETBACK 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 52'
 MINIMUM LOT SIZE - 3,850 SQ.FT.
 AVERAGE LOT SIZE - 5,941 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 4,088 SQ.FT.
 - VILLAGE B (R-1)
 215 LOTS (SINGLE FAMILY)
 BUILDING LINE SETBACK 25'
 SIDE YARD SETBACK 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 52'
 MINIMUM LOT SIZE - 5,720 SQ.FT.
 AVERAGE LOT SIZE - 8,368 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 6,300 SQ.FT.
 - VILLAGE C (R-1)
 117 LOTS (SINGLE FAMILY)
 BUILDING LINE SETBACK - 25'
 SIDE YARD SETBACK - 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 52'
 MINIMUM LOT SIZE - 6,820 SQ.FT.
 AVERAGE LOT SIZE - 10,496 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 7,035 SQ.FT.
 - VILLAGE D (R-1)
 114 LOTS (SINGLE FAMILY)
 BUILDING LINE SETBACK - 25'
 SIDE YARD SETBACK - 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 72'
 MINIMUM LOT SIZE - 8,640 SQ.FT.
 AVERAGE LOT SIZE - 14,313 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 8,700 SQ.FT.
 - VILLAGE E (R-1)
 102 LOTS (SINGLE FAMILY)
 BUILDING LINE SETBACK - 25'
 SIDE YARD SETBACK - 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 85'
 MINIMUM LOT SIZE - 10,625 SQ.FT.
 AVERAGE LOT SIZE - 20,384 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 10,625 SQ.FT.
 - VILLAGE F (R-1)
 81 LOTS (SINGLE FAMILY)
 BUILDING LINE SETBACK - 25'
 SIDE YARD SETBACK - 6'
 REAR YARD SETBACK 15'
 MINIMUM LOT WIDTH - 100'
 MINIMUM LOT SIZE - 15,000 SQ.FT.
 AVERAGE LOT SIZE - 32,128 SQ.FT.
 (EXCLUDES R.O.W. & COMMON GROUND)
 SMALLEST LOT SIZE SHOWN - 15,000 SQ.FT.
- AMENITIES**
 SWIMMING POOL
 BATH HOUSE
 2 - SPORTS COURTS 60'x120' MIN.
 3 - PAVILIONS 30'x30' W/ BBQ GRILLS & TABLES
 3 - HORSESHOE PIT AREAS
 2 - TOT/LOT PLAYGROUNDS (AGES 2 - 5)
 1 - FOOTBRIDGE AND PEDESTRIAN TRAILS
 BIKE RACKS AT ALL PAVILION & SPORTS COURTS
- POOL / BATHHOUSE PARKING CALCULATIONS**
 1 PARKING SPACE / 10 UNITS
 794 LOTS = 80 PARKING SPACES REQUIRED
 = 83 PARKING SPACES PROVIDED
- THIS TRACT IS IN AND SERVED BY -
 DUCKETT CREEK SANITARY DISTRICT
 PUBLIC WATER SUPPLY DISTRICT NO. 2 OF ST. CHARLES COUNTY
 CUIVRE RIVER ELECTRIC COOPERATIVE
 CENTURY TELEPHONE
 ST. CHARLES GAS CO.
 WENTZVILLE FIRE PROTECTION DISTRICT & NEW MELLE FIRE PROTECTION DISTRICT
 WENTZVILLE SCHOOL DISTRICT
 O'FALLON POST OFFICE
 - STREETS SHALL BE BUILT PER CITY OF O'FALLON SPECIFICATIONS
 - ALL DRIVEWAYS SHALL ACCESS INTERIOR STREETS WITH THE EXCEPTION OF THE FOUR CUSTOM LOTS THAT ACCESS DIHR ROAD.
 - GRADING SHALL BE PER CITY OF O'FALLON STANDARDS
 - STREET TREES, LANDSCAPING, STREET LIGHTS AND SIDEWALKS SHALL BE PER CITY OF O'FALLON STANDARDS
 - UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE TOPOGRAPHIC SURVEY IS FROM FIRM DATUM
 - THIS PROJECT IS IN COMPLIANCE WITH ARTICLE 26 OF THE CITY OF O'FALLON ZONING CODE.
 - ALL SIDEWALKS AND TRAILS SHALL BE 4' WIDE MINIMUM.
 - THIS PLAT IS NOT FOR RECORD
 - A PORTION OF THIS SITE IS IN THE 100 YEAR FLOOD AS SHOWN ON FIRM MAP PANEL NUMBERS 2918300205E & 2918300202E, DATED MARCH 17, 2003 AND FIRM MAP PANEL NUMBERS 2918300405E & 29183004100E DATED AUGUST 2, 1996.
 - WETLAND EVALUATIONS HAVE BEEN DETERMINED AND SHALL BE FORWARDED TO THE CITY.
 - PROPOSED LIGHT STANDARDS SHALL BE 16' TALL.
 - THE PROPOSED UTILITIES AND SEWERS SHALL BE COVERED BY EASEMENTS GRANTED TO THE APPROPRIATE UTILITY COMPANIES AND MUNICIPALITIES.
 - COVENANTS & RESTRICTIONS WILL BE SIMILAR TO HOMEFIELD. (Book 2333, Page 79 Amended Book 2474, Page 1951)
 - THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE DEPT. OF NATURAL RESOURCES AND THE ARMY CORPS OF ENGINEERS PRIOR TO DEVELOPMENT.
 - ALL ENTRANCE MONUMENTS AND LOCATIONS MUST BE APPROVED SEPARATELY IN ACCORDANCE WITH THE CITY'S SIGN CODE.
 - THE DEVELOPER WILL PROVIDE THE APPROPRIATE APPROVALS FROM DNR AND COE FOR THIS DEVELOPMENT'S IMPACT ON THE EXISTING CREEK.
 - NO PORTION OF THE DWELLINGS, INCLUDING THE FOOTING AND ROOF OVERHANG, SHALL ENCRoACH INTO THE FIVE (5) FOOT SETBACK/EASEMENT IN ORDER TO MEET BUILDING AND FIRE DEPARTMENT REQUIREMENTS.
 - A SEPARATE SITE PLAN SUBMITTAL WILL BE PROVIDED FOR THE COMMON GROUND AMENITIES SUCH AS BUILDING ELEVATIONS, LANDSCAPING, ETC.
 - A 60' WIDE DRAINAGE EASEMENT IS TO BE CENTERED ALONG THE CENTERLINE OF THE EXISTING DRAINAGE DITCH AND WILL BE SHOWN ON THE RECORD PLAT. AREA WITHIN THIS EASEMENT IS TO REMAIN UNDISTURBED.
 - UNLESS NOTED OTHERWISE, ALL EXISTING STRUCTURES AND IMPROVEMENTS ARE TO BE REMOVED.
 - PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR MORE THAN 30% OF THE TOTAL UNITS, BUILDING PERMITS FOR THE RECREATIONAL AMENITIES SHALL BE PULLED. PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR 40% OF THE TOTAL UNITS, ALL RECREATIONAL AMENITIES SHALL BE OPEN FOR USE.
 - ADDITIONAL RIGHT OF WAY IS BEING DEDICATED TO PROVIDE THE EXISTING DIEHR ROAD WITH A R.O.W. WIDTH OF 80'.
 - ENTRANCE AND ALL IMPROVEMENTS WITHIN HIGHWAY N RIGHT-OF-WAY (INCLUDING ANY ADDITIONAL R.O.W. DEDICATION REQUIRED) WILL BE COORDINATED WITH AND APPROVED BY MODOT. A 10' WIDE UTILITY EASEMENT SHALL BE PROVIDED ALONG DEDICATED HIGHWAY N ROW.
 - AN INTERNAL STREET LOOP WILL BE PROVIDED WITH THE FIRST PHASE OF DEVELOPMENT FOR BUS TRAFFIC
 - PROPOSED PEDESTRIAN FOOTBRIDGE DETAIL WILL BE PROVIDED WITH COMMON GROUND & AMENITIES PLANS
 - THIS DEVELOPMENT WILL PROVIDE A STORM WATER SYSTEM THAT INSURES THAT THE RATE OF FLOW OF STORM WATER RUNOFF DISCHARGE FROM THE SITE AFTER DEVELOPMENT DOES NOT EXCEED THE RATE OF FLOW OF STORM WATER RUNOFF DISCHARGED FROM THE SITE FOR THE DESIGNATED STORM EVENT BEFORE DEVELOPMENT.
 - FENCING ALONG THE REAR OF LOTS ADJACENT TO THE COLLECTOR AND ARTERIAL RIGHTS-OF-WAY SHALL BE WHITE-VINYL FENCE REGULATED BY THE CC&R'S OF THE SUBDIVISION
 - STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." ARE TO HAVE STREET TREES PLANTED AT A SPACING OF 30' FROM CENTER TO CENTER. ALL LOTS BACKING STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." ARE TO BE LIMITED TO ONE FENCE STYLE DESIGNATED BY THE HOMEOWNERS ASSOCIATION.
 - AS PART OF THE SALES CONTRACTS FOR LOTS WITH FLOODWAY AND UNDISTURBED DRAINAGE EASEMENTS ON THEM, THE PURCHASER MUST SIGN AN ACKNOWLEDGEMENT STATING THAT MAINTENANCE OF THAT UNDISTURBED AREA, DRAINAGE WAY AND/OR CREEK WILL BE THE HOME OWNER'S RESPONSIBILITY (LOTS 749, 760, 761, 779, 780, 781, & 782).
 - A 10' WIDE NO-GRADE ZONE SHALL BE MAINTAINED BETWEEN VILLAGE A AND ADJACENT LOTS TO THE WEST. ANY EXISTING TREES DESTROYED IN THIS BUFFER SHALL BE REPLACED WITH A THREE (3) INCH CALIPER DECIDUOUS TREE.
 - ALL AMENITIES SHALL BE HANDICAPPED ACCESSIBLE WITH PROPER NUMBER OF PARKING SPACES PROVIDED.
 - THE BIKE PATH ALONG HIGHWAY N SHALL BE CONSTRUCTED IN CONJUNCTION WITH THE SUBDIVISION CONSTRUCTION.
 - STREETS "WYNDGATE RIDGE DRIVE" AND "PAUL RENAUD BLVD." SHALL BE DESIGNED TO MEET OR EXCEED CITY OF O'FALLON COLLECTOR ROAD STANDARDS AND SPECIFICATIONS. THE DESIGN SPEED FOR STREET "PAUL RENAUD BLVD." SHALL BE 35 M.P.H. AND THE POSTED SPEED SHALL BE 30 M.P.H.

TREE PRESERVATION
 Existing trees = 256.6 Acres
 Trees Saved = 141.2 Acres = 55% of trees saved
 Per ordinance, no trees need to be replaced.

STREET TREES
 1 tree shall be provided for every lot street frontage (corner lots shall require additional trees for each street adjoining it.)

794 lots = 794 trees
 Corner lots fronting two streets = 118 additional trees
 Corner lots fronting three streets = 7 additional trees
 Collector Road trees (30' spacing) = 375 additional trees
 Total trees required = 1294 trees

REVEGETATION SCHEDULE

Seeding Rates:
Permanent:
 Tall Fescue - 30 lbs./ac.
 Smooth Brome - 20 lbs./ac.
 Combined: Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac.

Temporary:
 Wheat or Rye - 150 lbs./ac. (3.5 lbs. per square foot)
 Oats - 120 lbs./ac. (2.75 lbs. per square foot)

Seeding Periods:
 Fescue or Brome - March 1 to June 1
 August 1 to October 1

Wheat or Rye - March 15 to November 1
 Oats - March 15 to September 15

Mulch rates: 100 lbs. per 1,000 sq. ft. (4,356 lbs. per acre)

Fertilizer rates: Nitrogen 30 lbs./ac.
 Phosphate 30 lbs./ac.
 Potassium 30 lbs./ac.
 Lime 600 lbs./ac. ENM*

*ENM = effective neutralizing material as per State evolution of quarried rock.

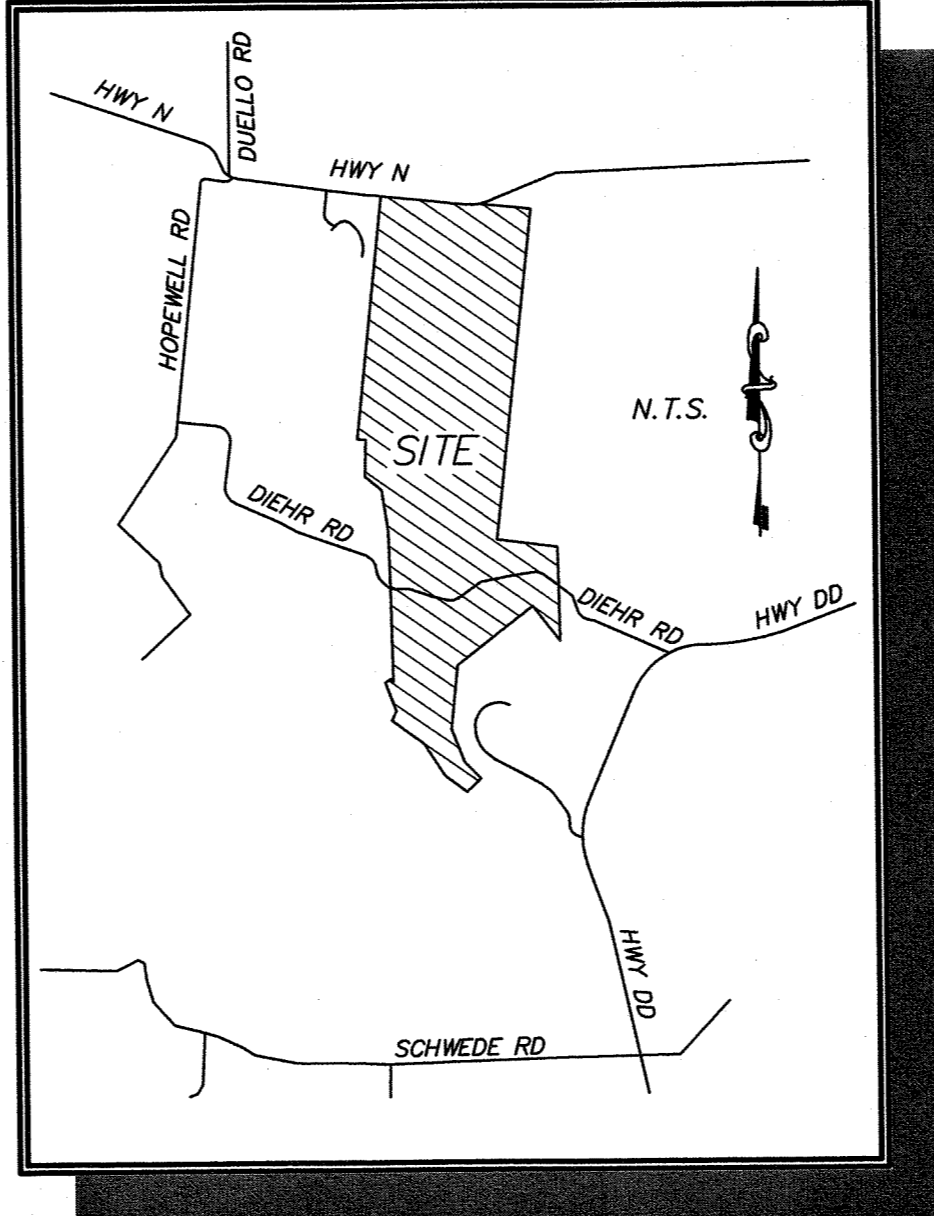
- ALL 26' WIDE STREETS SHALL HAVE THE MINIMUM CENTERLINE RADIUS OF 150'.
- THE EXISTING LAKE SHALL REACH A MINIMUM DEPTH OF TEN (10) FEET AT THE TIME IT IS TURNED OVER TO THE HOMEOWNERS ASSOCIATION AT THE END OF CONSTRUCTION.
- HANDICAPPED ACCESSIBLE PARKING SPACES HAVE BEEN PROVIDED IN ACCORDANCE WITH ADA GUIDELINES.
- HANDICAPPED ACCESSIBLE PARKING SPACES REQUIRED PER CITY OF O'FALLON ZONING CODE ARTICLE XII, SECTION 400.475, 8a:
- A. POOL/BATHHOUSE: 84 PARKING SPACES TOTAL
 4 H.C. PARKING SPACES REQUIRED
 4 H.C. PARKING SPACES PROVIDED
- B. LAKESIDE AMENITIES: 16 PARKING SPACES TOTAL
 1 H.C. PARKING SPACE REQUIRED
 1 H.C. PARKING SPACE PROVIDED
- DRIVEWAY LOCATIONS SHALL NOT INTERFERE WITH THE SIDEWALK HANDICAP RAMPS
- ANY PROPOSED PAVILIONS OR PLAYGROUND AREAS WILL NEED A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT
- FOR SEDIMENT AND SILTATION CONTROL MEASURES, SEE PREVIOUSLY APPROVED ROUGH GRADING PLANS
- ALL SIGN POST AND BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBOLINE RUSTBOND PENETRATING SEALER S3 AND CARBOLINE 13HB PAINT (OR EQUIVALENT AS APPROVED BY THE CITY AND MODOT).
- DEVELOPER TO PROVIDE CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
- ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED BY SEPARATELY THROUGH THE PLANNING DIVISION.
- NO BUILDING PERMITS WILL BE ISSUED FOR LOTS WITHIN THE EXISTING 100-YEAR FLOODPLAIN UNTIL THE CITY RECEIVES THE LOMR FORM FEMA.
- ALL UTILITIES SHALL BE UNDERGROUND
- A SOILS ENGINEER SHALL DETERMINE THE METHOD OF VEGETATION OF AREAS DISTURBED BY CONSTRUCTION OF THE IMPROVEMENTS ON THESE PLANS IN THE DRAINAGE EASEMENT.
- ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
- DRIVEWAY LOCATIONS SHALL NOT INTERFERE WITH THE SIDEWALK HANDICAP RAMPS.
- SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.
- CITY APPROVAL OF THE CONSTRUCTION SITE PLANS DOES NOT MEAN THAT SINGLE FAMILY AND TWO FAMILY DWELLING UNITS CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODE.
- THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT SHALL BE REMOVED IMMEDIATELY. ANY DEPOSITING OF SILTS OR MUD IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT.
- ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILL OPERATIONS. ENSURE THE MOISTURE CONTENT OF THE SOIL IN FILL AREAS IS CORRESPOND TO THE COMPACTIVE EFFORT AS DEFINED BY THE STANDARD OR MODIFIED PROCTOR TEST. OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED USING THE SAME TEST THAT WAS USED FOR COMPACTON. SOIL COMPACTON CURVES SHALL BE SUBMITTED TO THE CITY OF O'FALLON PRIOR TO THE PLACEMENT OF FILL. PROOF ROLLING MAY BE REQUIRED TO VERIFY SOIL STABILITY AT THE DISCRETION OF THE CITY OF O'FALLON.
- ENTIRE SITE IS STILL UNDER INVESTIGATION BY THE DEVELOPER'S SOILS CONSULTANT FOR SINKHOLES THAT MAY BE ON THE PROPERTY. THE RESULTING REMEDIATION OF DISCOVERED SINKHOLES WILL BE ADDRESSED BY THE SOILS CONSULTANT ON A SEPARATE SET OF PLANS. THE FINAL RESULTS OF THE SITE INVESTIGATION AND REMEDIATION WILL BE PLACED IN THE CITY'S FILES FOR THIS DEVELOPMENT.
- COPIES OF THE DOCUMENTATION TO THE CORPS OF ENGINEERS FOR THE PRESERVED WETLANDS AREA AS SHOWN ON THE PLANS WILL BE SUPPLIED TO THE CITY WHEN PREPARED.
- ALL MONUMENTS AND FENCES ARE BY SEPARATE PERMIT.

WYNDGATE IMPROVEMENT PLANS (794 LOTS)

VILLAGE F-1 REVISED "AS-BUILTS"

TRACTS OF LAND BEING PART OF FRACTIONAL SECTIONS 16 & 17, AND U.S. SURVEYS 61 & 417, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI

LOCATION MAP



These REVISED "AS-BUILT" STORM SEWER plans from FE F-422 to AI F-421, now MH F-421, are based on actual field observations conducted during JULY 2018, and the results are shown hereon.

By: *Stanley M. Mundwiler*
 STANLEY M. MUNDWILLER, P.L.S., #2005019226
 STATE OF MISSOURI
 PICKETT, RAY & SILVER'S CORPORATE REGISTRATION NO. LS-54-D
 8/13/18

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LEGEND

	Sanitary Sewer (Proposed)		Sanitary Structure	R.C.P.	Reinforced Concrete Pipe
	Sanitary Sewer (Existing)		Storm Structure	C.M.P.	Corrugated Metal Pipe
	Storm Sewer (Proposed)		Test Hole	C.I.P.	Cast Iron Pipe
	Storm Sewer (Existing)		Power Pole	P.V.C.	Polyvinyl Chloride
	Water Line & Size		Light Standard	V.C.P.	Vitrified Clay Pipe
	Existing water line		Double Water Meter Setting		
	Tea & Valve		Single Water Meter Setting	C.O.	Clean Out
	Hydrant		Curb Inlet	V.T.	Vent Trap
	Cap		Skewed Curb Inlet	T.B.R.	To Be Removed
	Lot or Building Number		Double Curb Inlet	T.B.R.&R	To Be Removed & Relocated
	Existing Fence Line		G.I.	T.B.P.	To Be Protected
	Existing Tree Line		A.I.	T.B.A.	To Be Abandoned
	Street Sign		D.A.I.	B.C.	Base Of Curb
	Existing Contour		C.C.	T.C.	Top Of Curb
	Proposed Contour		F.E.S.	T.W.	Top Of Wall
	Rip-Rap		E.P.	B.W.	Base Of Wall
	End of Lateral		E.D.	(TYP)	Typical
	Asphalt Pavement		M.H.	U.N.O.	Unless Noted Otherwise
	Concrete Pavement		C.P.	U.I.P.	Use In Place
	Proposed Swale		S.A.S.	Yield Sign	Yield Sign

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WYNDGATE COVER SHEET
 Prepared For:
SUMMIT POINTE, L.C.
 239 FOX HILL ROAD
 ST. CHARLES, MO. 63301
 (636) 940-9300

SEE SHEET 2 FOR FURTHER REVISIONS.

REVISED PER CITY	REVISED PER PMSD #2	REVISED PER PMSD #2	REVISED PER CITY OF O'FALLON	REVISED PER CITY OF O'FALLON	REVISED PER CITY & CLIENT	REVISED PER CITY	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	
1	10/25/04	1	12/09/04	1	02/08/05	1	04/08/05
2	12/09/04	2	12/20/04	2	02/08/05	2	04/08/05
3	01/20/05	3	01/20/05	3	02/08/05	3	04/08/05
4	01/20/05	4	01/20/05	4	02/08/05	4	04/08/05
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8	02/08/05	8	02/08/05	8	02/08/05	8	04/08/05
9	02/08/05	9	02/08/05	9	02/08/05	9	04/08/05
10	04/08/05	10	04/08/05	10	04/08/05	10	04/08/05

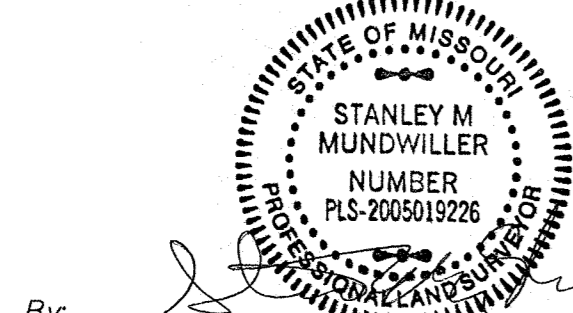
ENGINEERS AUTHENTICATION
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticatd.
 PICKETT, RAY & SILVER, INC

DRAWN: J.E.E. DATE: 6-29-04
 CHECKED: D.W.D. DATE: 6-29-04
 PROJECT # 01267_SUPO.02R
 TASK # 2 FIELD BOOK

WYNDGATE - PHASE 1 COVER SHEET
 SHEET 1 OF 174
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P & Z NO. 3203

These REVISED "AS-BUILT" STORM SEWER plans from FE F-422 to AI F-421, now MH F-421, are based on actual field observations conducted during JULY 2018, and the results are shown hereon.

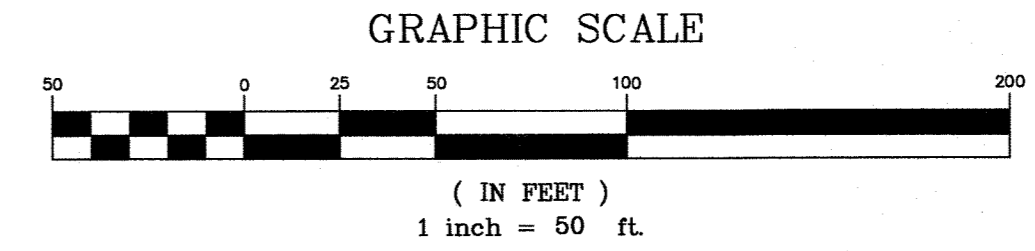


By: STANLEY M. MUNDWILER, P.L.S., #2005019226
STATE OF MISSOURI

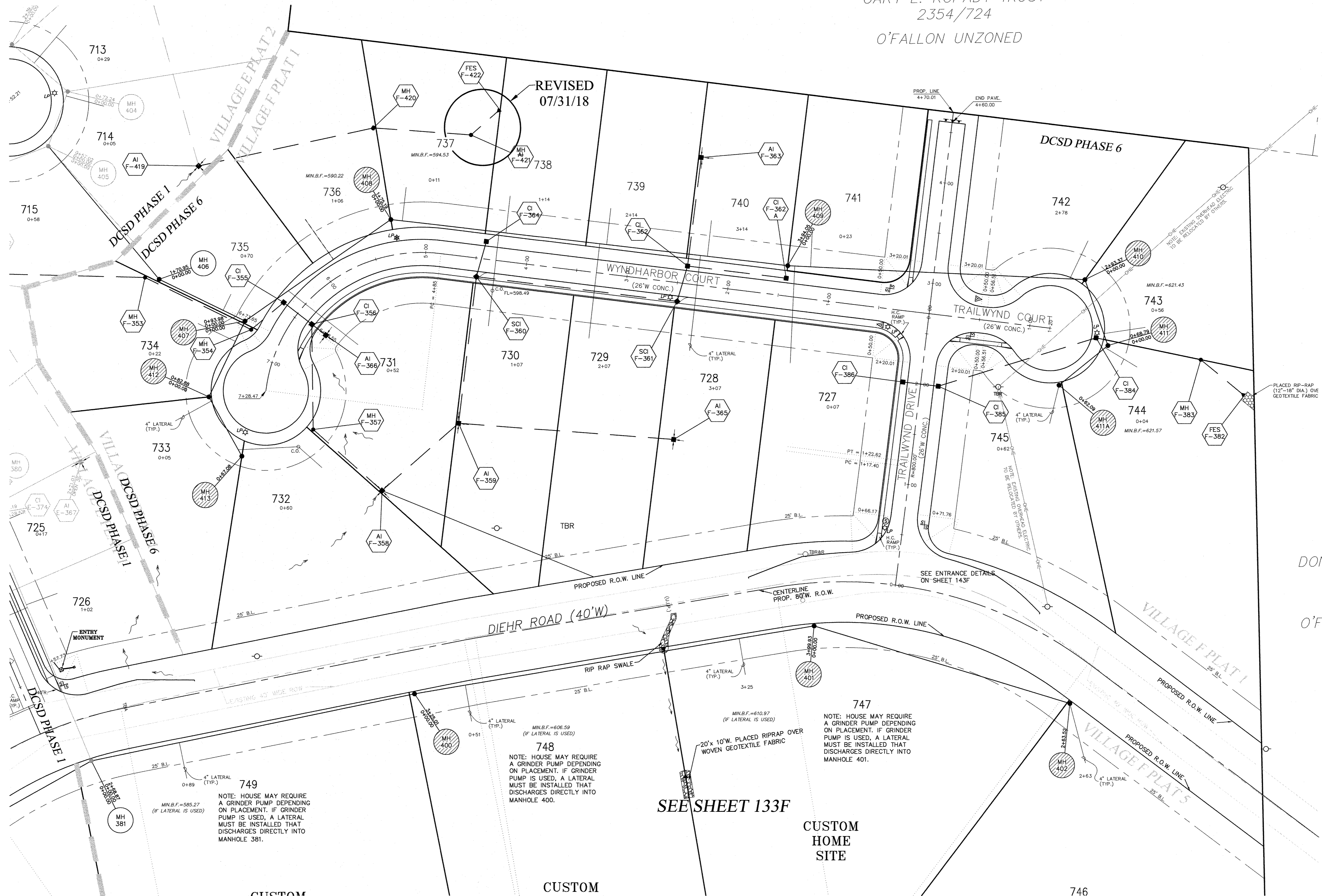
PICKETT, RAY & SILVER'S CORPORATE
REGISTRATION NO. LS-54-D

8/13/18

N/F
JOANN M. GRIFFITH TRUST
GARY E. KOPADT TRUST
2354/724
O'FALLON UNZONED



"AS-BUILTS"
VILLAGE F-1
REVISED 07/31/18



N/F
DONALD & MARIANNE
MOLLISON
1872/771
O'FALLON UNZONED

SEE SHEET 133F

CUSTOM HOME SITE

NOTE: HOUSE MAY REQUIRE A GRINDER PUMP DEPENDING ON PLACEMENT. IF GRINDER PUMP IS USED, A LATERAL MUST BE INSTALLED THAT DISCHARGES DIRECTLY INTO MANHOLE 381.

NOTE: HOUSE MAY REQUIRE A GRINDER PUMP DEPENDING ON PLACEMENT. IF GRINDER PUMP IS USED, A LATERAL MUST BE INSTALLED THAT DISCHARGES DIRECTLY INTO MANHOLE 400.

NOTE: HOUSE MAY REQUIRE A GRINDER PUMP DEPENDING ON PLACEMENT. IF GRINDER PUMP IS USED, A LATERAL MUST BE INSTALLED THAT DISCHARGES DIRECTLY INTO MANHOLE 401.

UTILITY NOTE:
UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY'S AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS
333 Mid Rivers Mall Drive
St. Peters, MO 63276
Phone (636) 397-1211
Fax (636) 397-1104

WYNDGATE VILLAGE F SITE PLAN
Prepared For:
SUMMIT POINTE, L.C.
239 FOX HILL ROAD
O'FALLON, MO 63301
(636) 946-8977

NO.	DATE	REVISED PER CITY
1	10/25/04	REVISED PER CITY
2	12/20/04	REVISED PER DCS
3	02/16/05	REVISED PER CITY OF O'FALLON
4	04/08/05	REVISED PER CITY & CLIENT
5	04/13/05	REVISED PER CITY
6	04/29/05	REVISED PER CLIENT
7	10/26/05	SURPLUS A-JOINTS ELIMINATED
8	02/03/06	"AS-BUILTS" VILLAGE F-1
9	02/03/06	"AS-BUILTS" VILLAGE F-1
10	02/03/06	"AS-BUILTS" VILLAGE F-1
11	02/03/06	"AS-BUILTS" VILLAGE F-1
12	02/03/06	"AS-BUILTS" VILLAGE F-1
13	02/03/06	"AS-BUILTS" VILLAGE F-1
14	02/03/06	"AS-BUILTS" VILLAGE F-1
15	02/03/06	"AS-BUILTS" VILLAGE F-1
16	02/03/06	"AS-BUILTS" VILLAGE F-1
17	02/03/06	"AS-BUILTS" VILLAGE F-1
18	02/03/06	"AS-BUILTS" VILLAGE F-1
19	02/03/06	"AS-BUILTS" VILLAGE F-1
20	02/03/06	"AS-BUILTS" VILLAGE F-1

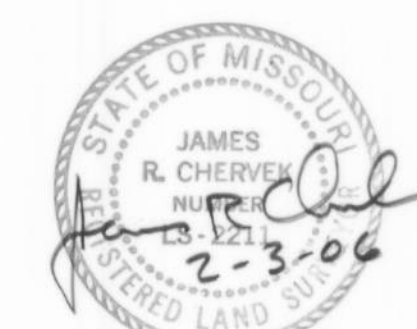
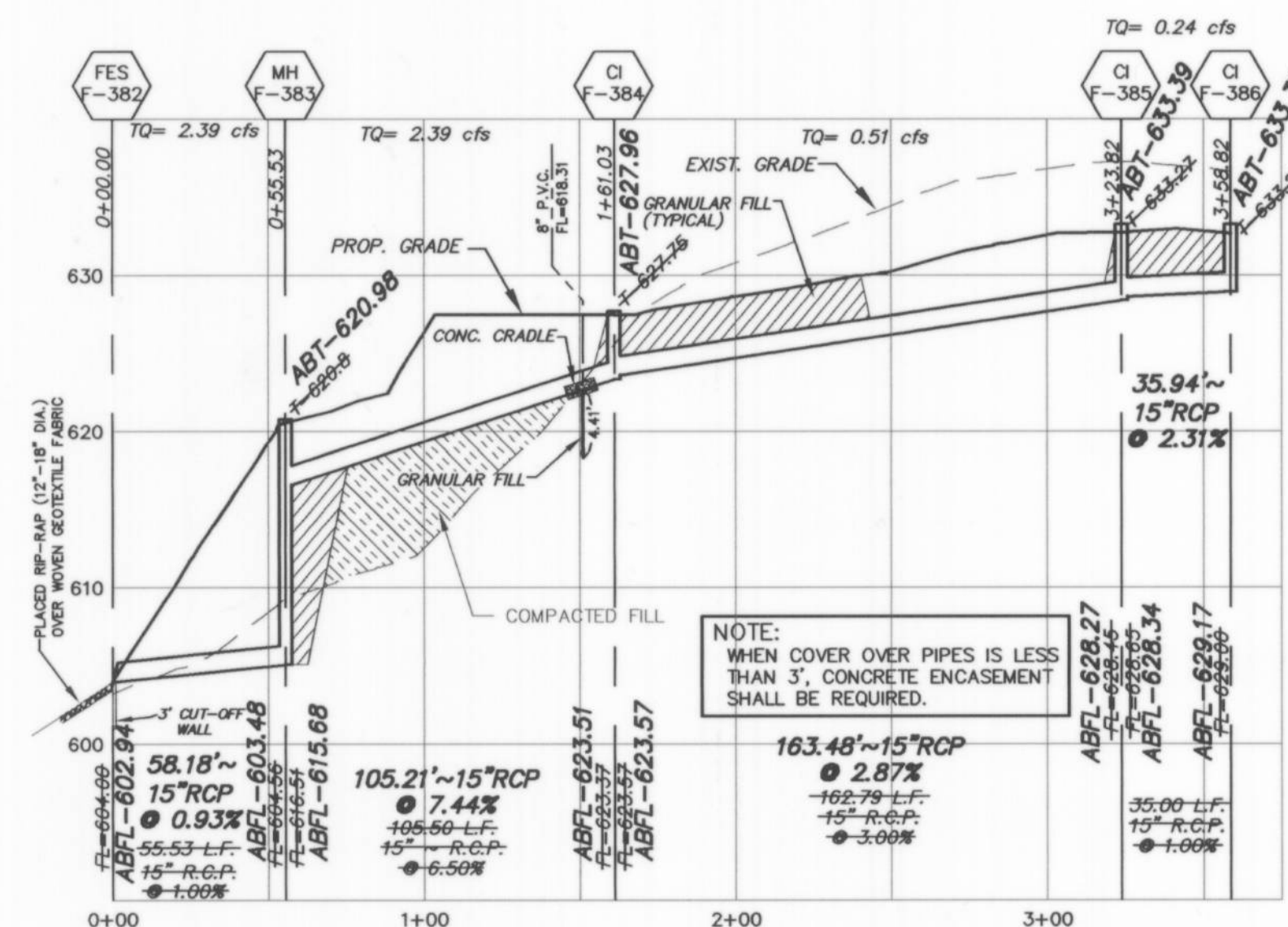
ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.
PICKETT, RAY & SILVER, INC

DRAWN JEE	DATE 6-29-04
CHECKED DWD	DATE 6-29-04
PROJECT # 01267-SUP0.02R	TASK # 2
FIELD BOOK	

ALL SANITARY LATERAL STREET CROSSINGS, IF TRENCHED, SHALL BE BACKFILLED WITH GRANULAR MATERIAL (AGGREGATE).

IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERDIG, THE UPPER SHALL BE PLACED ON A SHELF AND THE LOWER SHALL BE BEDDED IN COMPACTED GRANULAR FILL TO THE FLOW LINE OF THE UPPER.

STORM SEWERS WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE CRADLED IN CONCRETE (OR ENCASED H.D.P.E.) THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE GRADE.



HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'

Wyndgate Village F Plat One As BUILTS

"VILLAGE F-1 AS-BUILTS"

12/20/05

WYNDGATE
VILLAGE F
STORM SEWER PROFILES

Prepared For:
SUMMIT POINTE, L.C.

239 FOX HILL ROAD
ST. CHARLES, MO 63301
(636) 949-9500

REVISIONS	NO.	DATE	REVISED PER CITY
	1	10/25/04	REVISED PER CITY
	2	12/09/04	REVISED PER PWSID No. 2
	3	12/20/04	REVISED PER PWSID
	4	01/20/05	REVISED PER CITY OF O'FALLON
	6	02/18/05	REVISED PER CITY OF O'FALLON
	7	12/20/05	VILLAGE F-2 AS-BUILTS

ENGINEERS AUTHENTICATION
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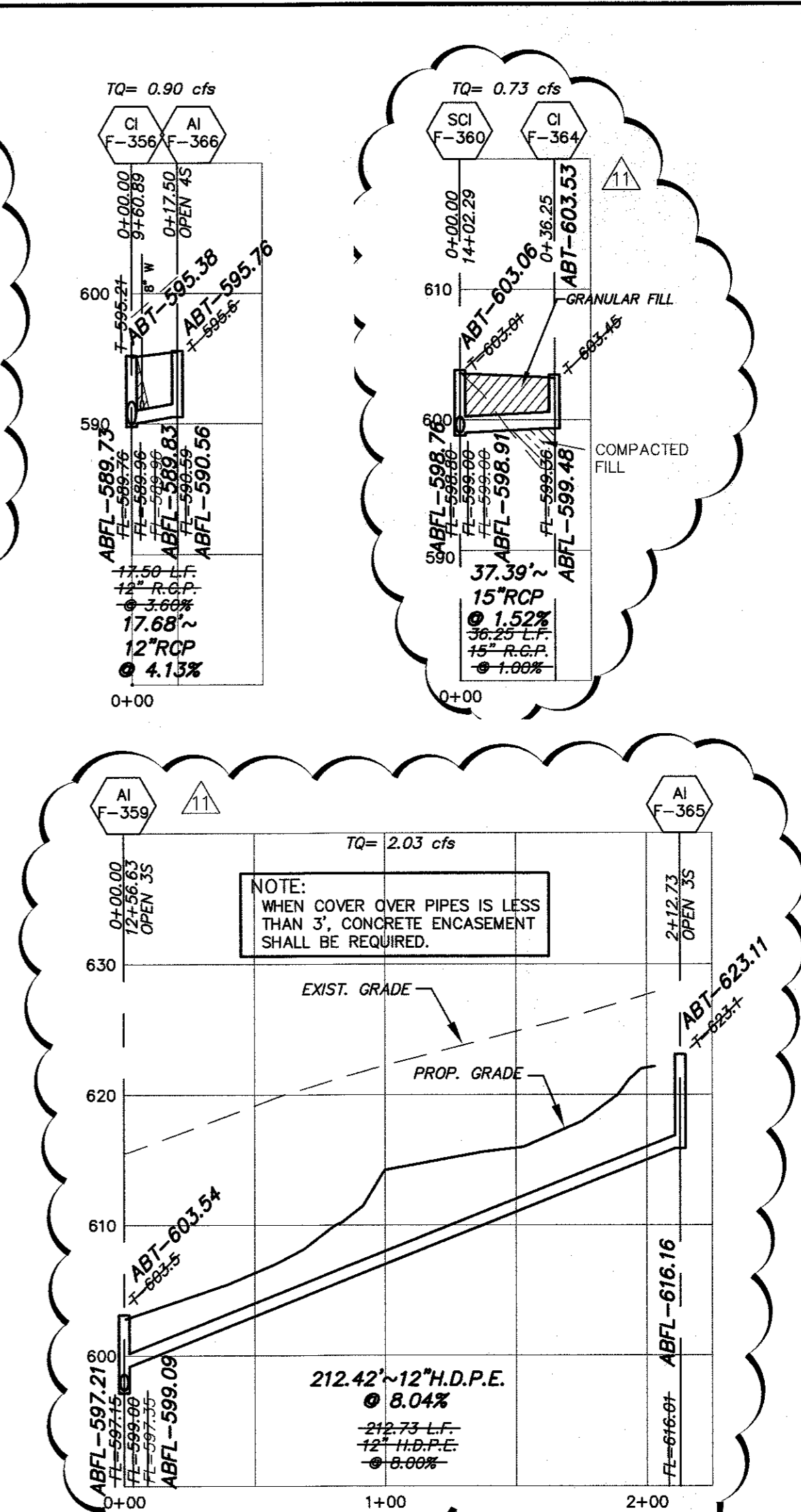
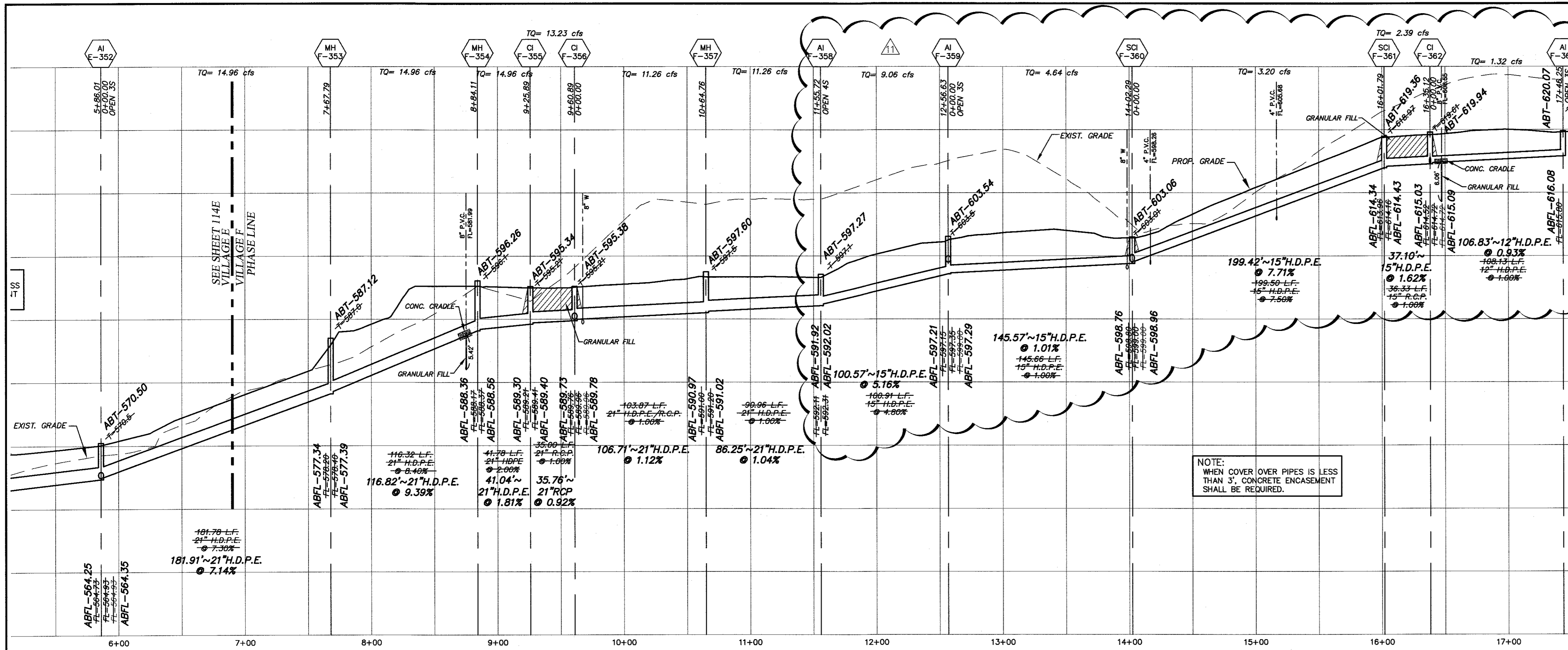
PICKETT, RAY & SILVER, INC

DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT #	01267-SUP0.02R	FIELD BOOK	

WYNDGATE VILLAGE F STORM SEWER PROFILES
SHEET 150F OF 174
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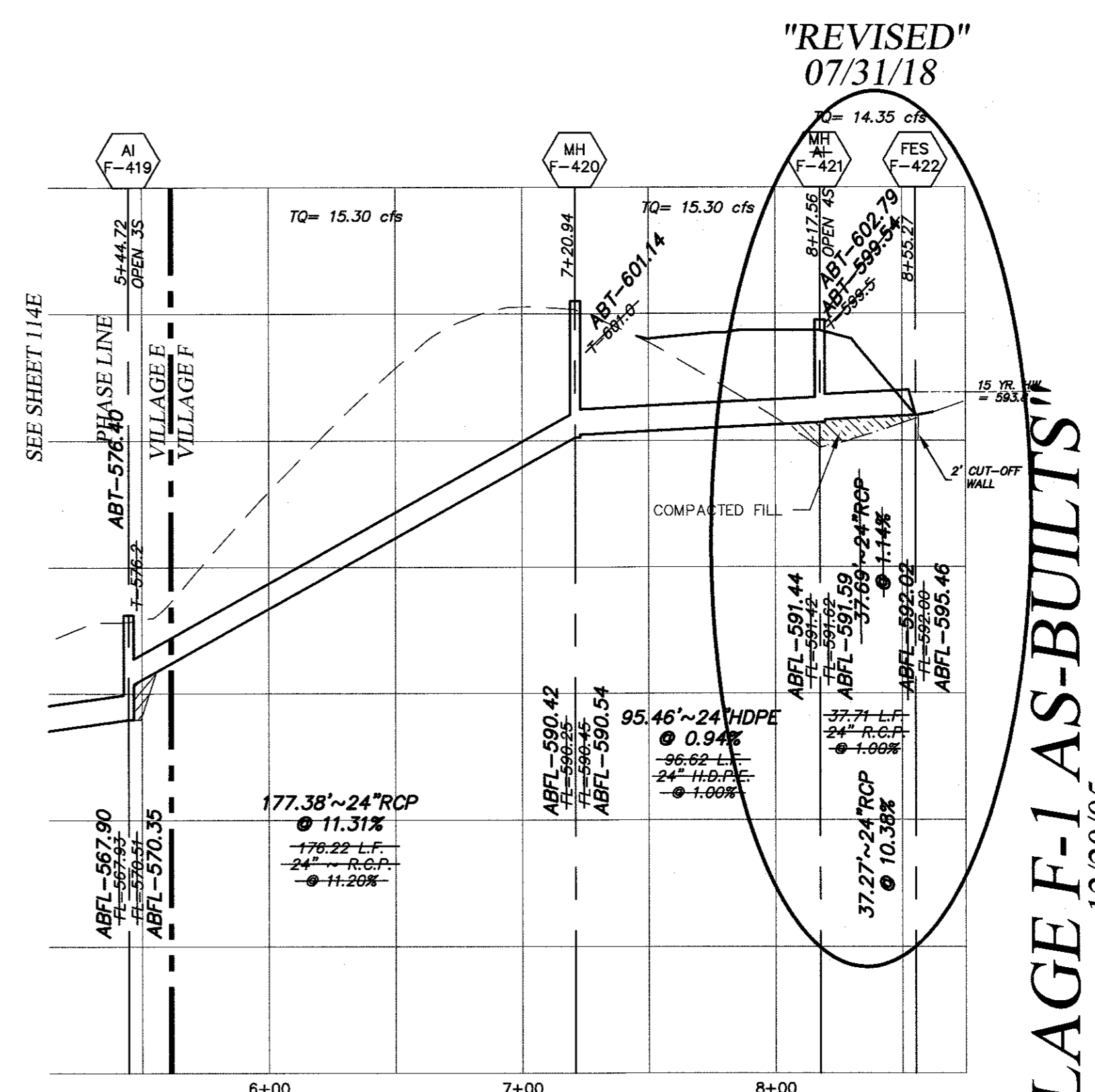
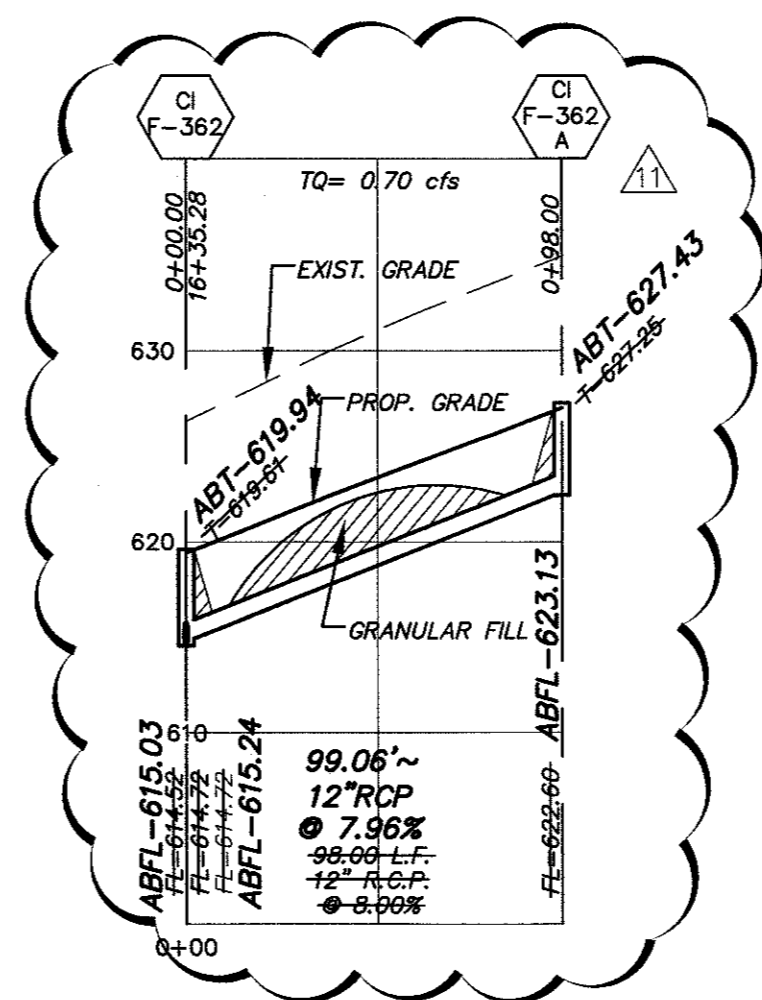
PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

333 Mid Rivers Mall Drive
St. Peters, MO 63276
Phone: (636) 997-1211
Fax: (636) 997-1104



NOTE:
WHEN COVER OVER PIPES IS LESS
THAN 3', CONCRETE ENCASEMENT
SHALL BE REQUIRED.

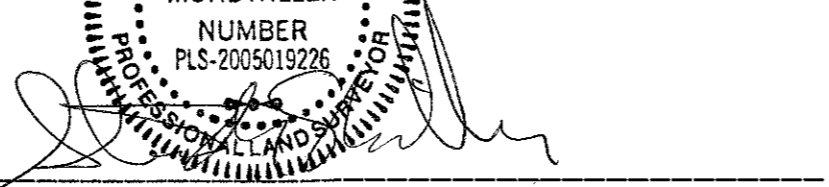
NOTE:
WHEN COVER OVER PIPES IS LESS
THAN 3', CONCRETE ENCASEMENT
SHALL BE REQUIRED.



"REVISED"
07/31/18

"VILLAGE F-1 AS-BUILTS"
12/20/05

These REVISED "AS-BUILT" STORM SEWER plans from FE F-422 to AI F-421, now MH F-421, are based on actual field observations conducted during JULY 2018, and the results are shown hereon.

By: 
 STANLEY M. MUNDWILLER, P.L.S., #2005019226
 STATE OF MISSOURI
 PICKETT, RAY & SILVER'S CORPORATE
 REGISTRATION NO. LS-54-D

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STORM SEWERS WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE GRADED IN CONCRETE (OR ENCASED H.D.P.E.) THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE CRADLE.

HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'

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WYNDGATE
 VILLAGE F
 STORM SEWER PROFILES
 Prepared For:
SUMMIT POINTE, L.C.
 239 FOX HILL ROAD
 ST. CHARLES, MO 63301
 (636) 940-9500

REVISIONS	NO.	DATE	REVISION PER CITY
	1	10/25/04	REVISED PER CITY No.2
	2	12/09/04	REVISED PER DCSD
	3	12/20/04	REVISED PER DCSD
	4	01/20/05	REVISED PER CITY OF OTTAWON
	5	02/19/05	REVISED PER CITY OF OTTAWON
	6	02/28/05	REVISED PER CLIENT
	7	12/20/05	VILLAGE F-1 AND F-2 AS-BUILTS
	8	07/31/18	VILLAGE F-1 REVISED AS-BUILTS

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DRAWN	JEE	DATE	6-29-04
CHECKED	DWD	DATE	6-29-04
PROJECT #	01267-SUP0.02R	TASK #	2
	FIELD		BOOK

WYNDGATE
 VILLAGE F
 STORM SEWER PROFILES
 SHEET 151F OF 174
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