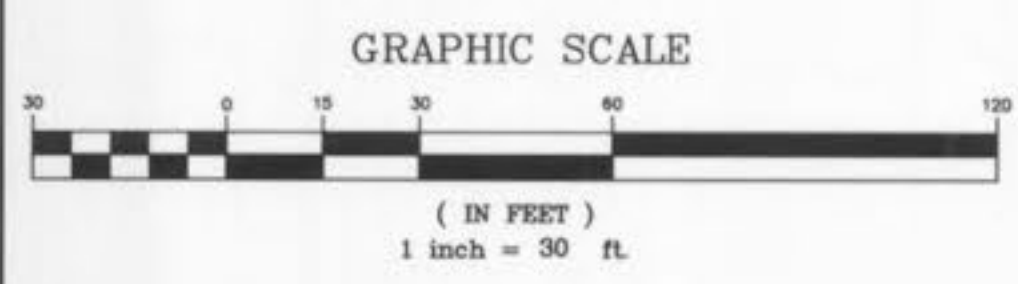
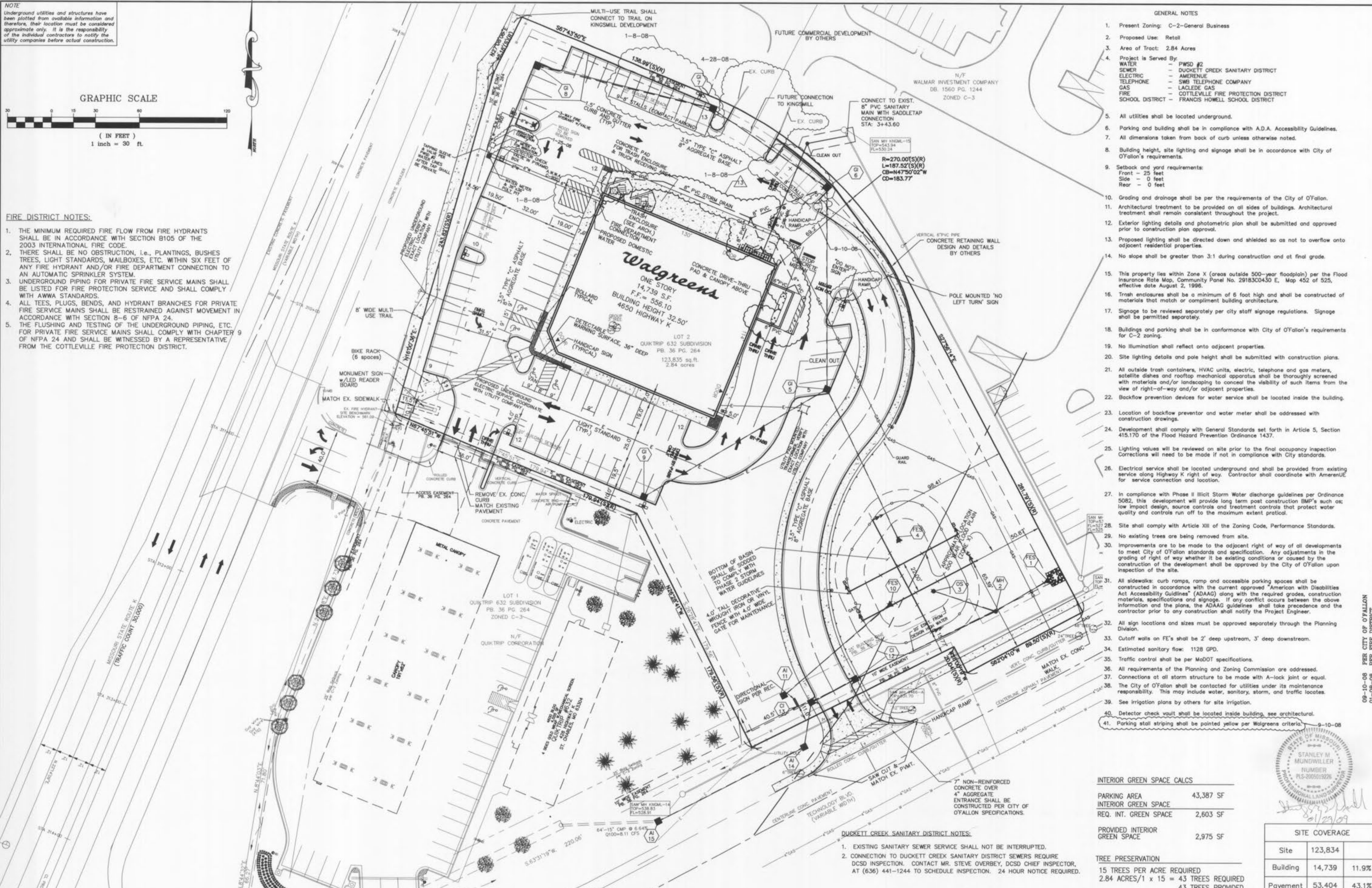


NOTE
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction.



- FIRE DISTRICT NOTES:**
1. THE MINIMUM REQUIRED FIRE FLOW FROM FIRE HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION B105 OF THE 2003 INTERNATIONAL FIRE CODE.
 2. THERE SHALL BE NO OBSTRUCTION, I.E., PLANTINGS, BUSHES, TREES, LIGHT STANDARDS, MAILBOXES, ETC. WITHIN SIX FEET OF ANY FIRE HYDRANT AND/OR FIRE DEPARTMENT CONNECTION TO AN AUTOMATIC SPRINKLER SYSTEM.
 3. UNDERGROUND PIPING FOR PRIVATE FIRE SERVICE MAINS SHALL BE LISTED FOR FIRE PROTECTION SERVICE AND SHALL COMPLY WITH AWWA STANDARDS.
 4. ALL TEES, PLUGS, BENDS, AND HYDRANT BRANCHES FOR PRIVATE FIRE SERVICE MAINS SHALL BE RESTRAINED AGAINST MOVEMENT IN ACCORDANCE WITH SECTION 8-6 OF NFPA 24.
 5. THE FLUSHING AND TESTING OF THE UNDERGROUND PIPING, ETC. FOR PRIVATE FIRE SERVICE MAINS SHALL COMPLY WITH CHAPTER 9 OF NFPA 24 AND SHALL BE WITNESSED BY A REPRESENTATIVE FROM THE COTTEVILLE FIRE PROTECTION DISTRICT.



- GENERAL NOTES**
1. Present Zoning: C-2-General Business
 2. Proposed Use: Retail
 3. Area of Tract: 2.84 Acres
 4. Project is Served By:
WATER - PWS# 2
SEWER - DUCKETT CREEK SANITARY DISTRICT
ELECTRIC - AMERENUE
TELEPHONE - SWB TELEPHONE COMPANY
GAS - LACLEDE GAS
FIRE - COTTEVILLE FIRE PROTECTION DISTRICT
SCHOOL DISTRICT - FRANCIS HOWELL SCHOOL DISTRICT
 5. All utilities shall be located underground.
 6. Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
 7. All dimensions taken from back of curb unless otherwise noted.
 8. Building height, site lighting and signage shall be in accordance with City of O'Fallon's requirements.
 9. Setback and yard requirements:
Front - 25 feet
Side - 0 feet
Rear - 0 feet
 10. Grading and drainage shall be per the requirements of the City of O'Fallon.
 11. Architectural treatment to be provided on all sides of buildings. Architectural treatment shall remain consistent throughout the project.
 12. Exterior lighting details and photometric plan shall be submitted and approved prior to construction plan approval.
 13. Proposed lighting shall be directed down and shielded so as not to overflow onto adjacent residential properties.
 14. No slope shall be greater than 3:1 during construction and at final grade.
 15. This property lies within Zone X (area outside 500-year floodplain) per the Flood Insurance Rate Map, Community Panel No. 29183C0430 E, Map 452 of 525, effective date August 2, 1996.
 16. Trash enclosures shall be a minimum of 6 foot high and shall be constructed of materials that match or complement building architecture.
 17. Signage to be reviewed separately per city staff signage regulations. Signage shall be permitted separately.
 18. Buildings and parking shall be in conformance with City of O'Fallon's requirements for C-2 zoning.
 19. No illumination shall reflect onto adjacent properties.
 20. Site lighting details and pole height shall be submitted with construction plans.
 21. All outside trash containers, HVAC units, electric, telephone and gas meters, satellite dishes and rooftop mechanical apparatus shall be thoroughly screened with materials and/or landscaping to conceal the visibility of such items from the view of right-of-way and/or adjacent properties.
 22. Backflow prevention devices for water service shall be located inside the building.
 23. Location of backflow preventor and water meter shall be addressed with construction drawings.
 24. Development shall comply with General Standards set forth in Article 5, Section 415.170 of the Flood Hazard Prevention Ordinance 1437.
 25. Lighting values will be reviewed on site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
 26. Electrical service shall be located underground and shall be provided from existing service along Highway K right of way. Contractor shall coordinate with AmerenUE for service connection and location.
 27. In compliance with Phase II Illicit Storm Water discharge guidelines per Ordinance 5082, this development will provide long term post construction BMP's such as; low impact design, source controls and treatment controls that protect water quality and controls run off to the maximum extent practical.
 28. Site shall comply with Article XIII of the Zoning Code, Performance Standards.
 29. No existing trees are being removed from site.
 30. Improvements are to be made to the adjacent right of way of all developments to meet City of O'Fallon standards and specification. Any adjustments in the grading of right of way whether it be existing conditions or caused by the construction of the development shall be approved by the City of O'Fallon upon inspection of the site.
 31. All sidewalks: curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
 32. All sign locations and sizes must be approved separately through the Planning Division.
 33. Cutoff walls on FE's shall be 2' deep upstream, 3' deep downstream.
 34. Estimated sanitary flow: 1128 GPD.
 35. Traffic control shall be per MoDOT specifications.
 36. All requirements of the Planning and Zoning Commission are addressed.
 37. Connections at all storm structure to be made with A-lock joint or equal.
 38. The City of O'Fallon shall be contacted for utilities under its maintenance responsibility. This may include water, sanitary, storm, and traffic locates.
 39. See irrigation plans by others for site irrigation.
 40. Detector check vault shall be located inside building, see architectural.
 41. Parking stall striping shall be painted yellow per Walgreens criteria. 9-10-08

- BUCKETT CREEK SANITARY DISTRICT NOTES:**
1. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
 2. CONNECTION TO DUCKETT CREEK SANITARY DISTRICT SEWERS REQUIRE DCSD INSPECTION. CONTACT MR. STEVE OVERBEY, DCSD CHIEF INSPECTOR, AT (636) 441-1244 TO SCHEDULE INSPECTION. 24 HOUR NOTICE REQUIRED.

INTERIOR GREEN SPACE CALCS

PARKING AREA	43,387 SF
INTERIOR GREEN SPACE	
REQ. INT. GREEN SPACE	2,603 SF
PROVIDED INTERIOR GREEN SPACE	2,975 SF

SITE COVERAGE

Site	123,834	
Building	14,739	11.9%
Pavement	53,404	43.1%
Landscaped area	55,691	45.0%

TREE PRESERVATION
15 TREES PER ACRE REQUIRED
2.84 ACRES/1 x 15 = 43 TREES REQUIRED
43 TREES PROVIDED

PARKING CALCULATIONS
RETAIL
5.5 spaces per 1,000 sq. ft. of floor area
14,739 / 1,000 = 14.739 * 5.5 = 81.0645
Parking required: 82 spaces
Parking provided: 82 spaces

REQUIRED BICYCLE PARKING
BICYCLE PARKING 6 BP
(1 BP / 15 PS)



Provide a marking on the storm sewer inlets. The City will allow the following markers and adhesive procedures only as shown in the table below. 'Peel and stick' adhesive pods will not be allowed.

MANUFACTURER	SIZE	ADHESIVE	STYLE	MESSAGE (PART#)	WEBSITE
ACP International	3"-7/8"	Epoxy	Crystal Cap	No dumping drains to waterways (SB-V-CC)	www.acpinternatio nal.com
BAS Manufacturing, Inc.	4"	Epoxy	Standard Style	No dumping drains to stream (8SD3)	www.basmanufactu ring.com

AS BUILT PLANS
DECEMBER 2008

PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS
333 Mid Rivers Mall Drive
St. Peters, MO 63376
Phone (636) 397-1211
Fax (636) 397-1104

Walgreens
STORE #11422
IMPROVEMENT PLANS
HWY K & TECHNOLOGY OF FALLON, MISSOURI
1401 SOUTH BRENTWOOD, SUITE 100
ST. LOUIS, MO 63144
(314) 966-9988
Prepared For:
PACE PROPERTIES, INC.

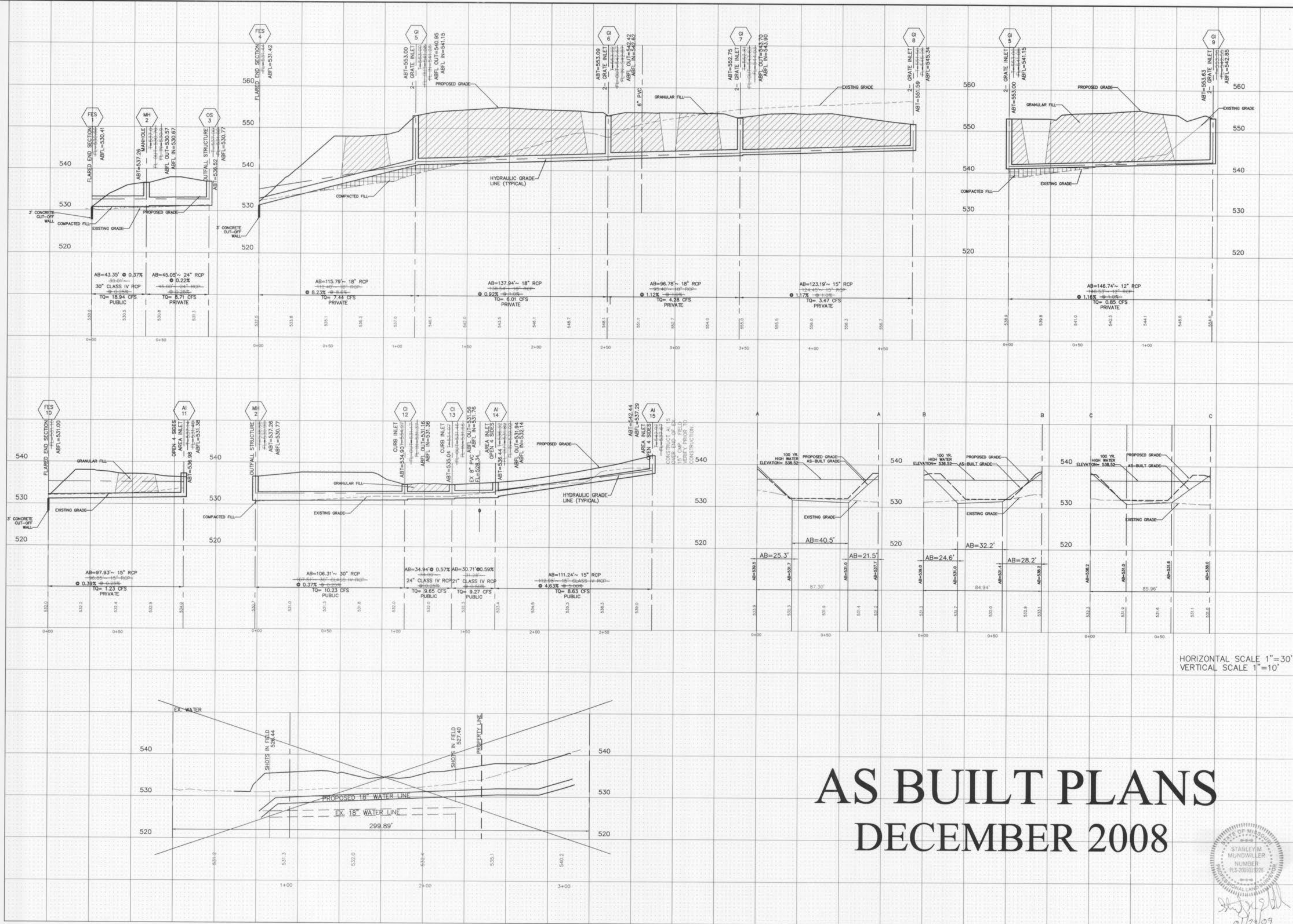
PER CITY OF O'FALLON

09-10-08	PER CITY OF O'FALLON	
01-08-08	PER FIRE DISTRICT	
12-14-07	GRADING AT EXISTING WATER MAIN	
03-09-07	PER CITY OF O'FALLON COMMENTS	
05-03-07	PER DUCKETT CREEK SEWER & PWS#2	
05-21-07	PER DEVELOPER	
05-29-07	PER FIRE DISTRICT	
04-22-07	PER FIRE DISTRICT	
07-28-07	PER FIRE #2	
08-17-07	PER FIRE #2 COMMENTS	
08-04-07	PER WALGREENS COMMENTS	
09-10-07	PER DUCKETT CREEK SANITARY DISTRICT	
09-20-07	PER ADDRESS	
10-18-07	PER COTTEVILLE FIRE DISTRICT	
12-13-07	ADDED DETAILED ROOF DRAIN INFO	

ENGINEERS AUTHENTICATION
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PICKETT, RAY & SILVER, INC.

DRAWN B.L.P. **DATE** 01-31-07
CHECKED D.L.S. **DATE** 01-31-07
PROJECT # 01045.PAPR.DOC
TASK # 2 **FIELD BOOK** 2001A
WALGREENS-O'FALLON IMPROVEMENT PLANS SITE PLAN
SHEET 2 OF 10
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HORIZONTAL SCALE 1"=30'
VERTICAL SCALE 1"=10'



PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

333 Mid Rivers Mall Drive
St. Peters, MO 63376
Phone (636) 397-1211
Fax (636) 397-1104

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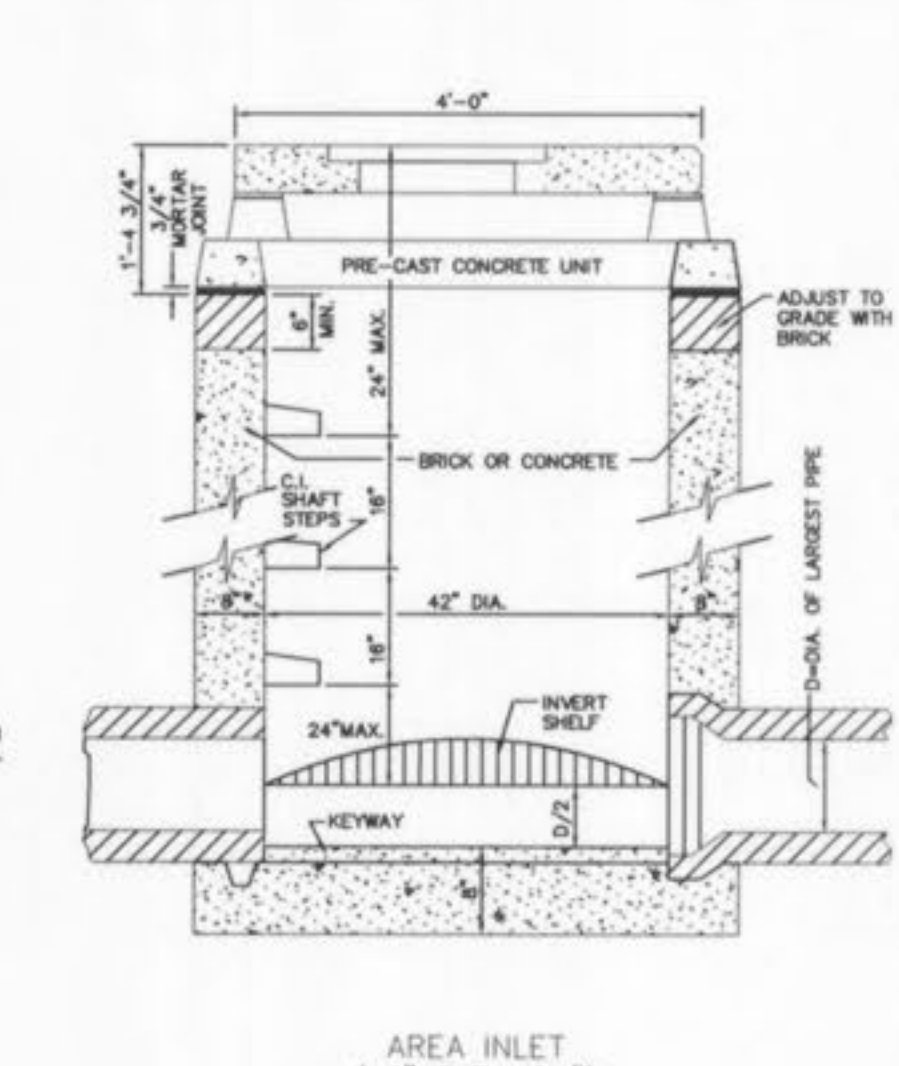
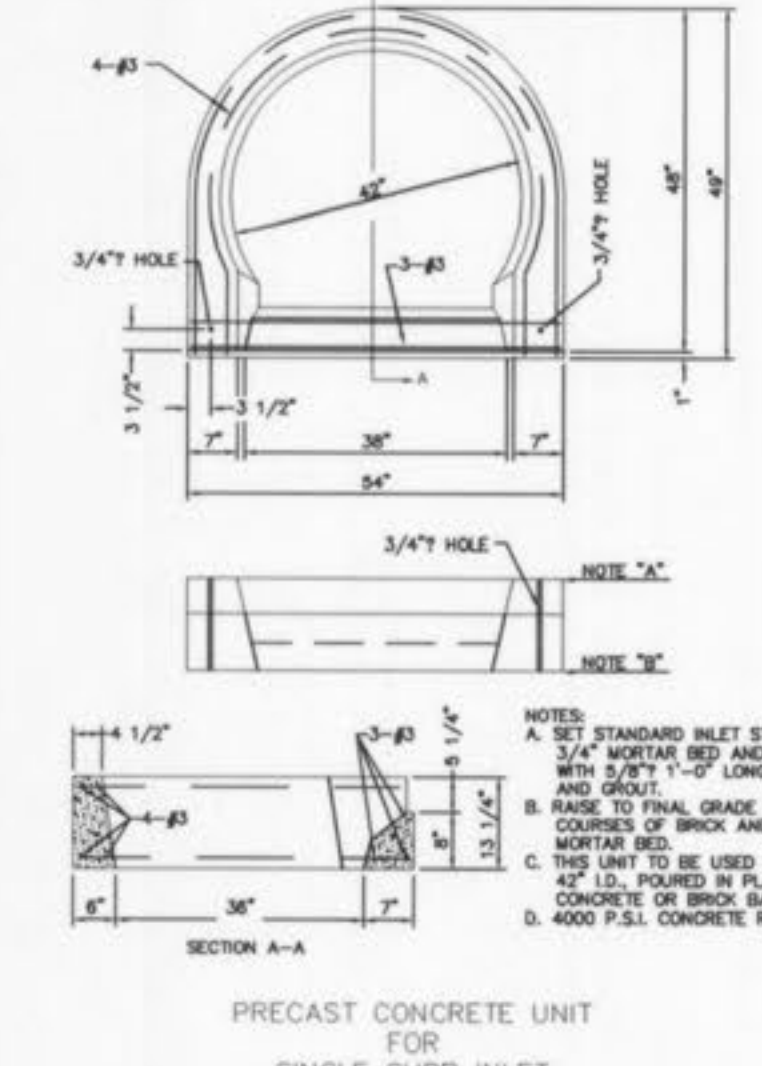
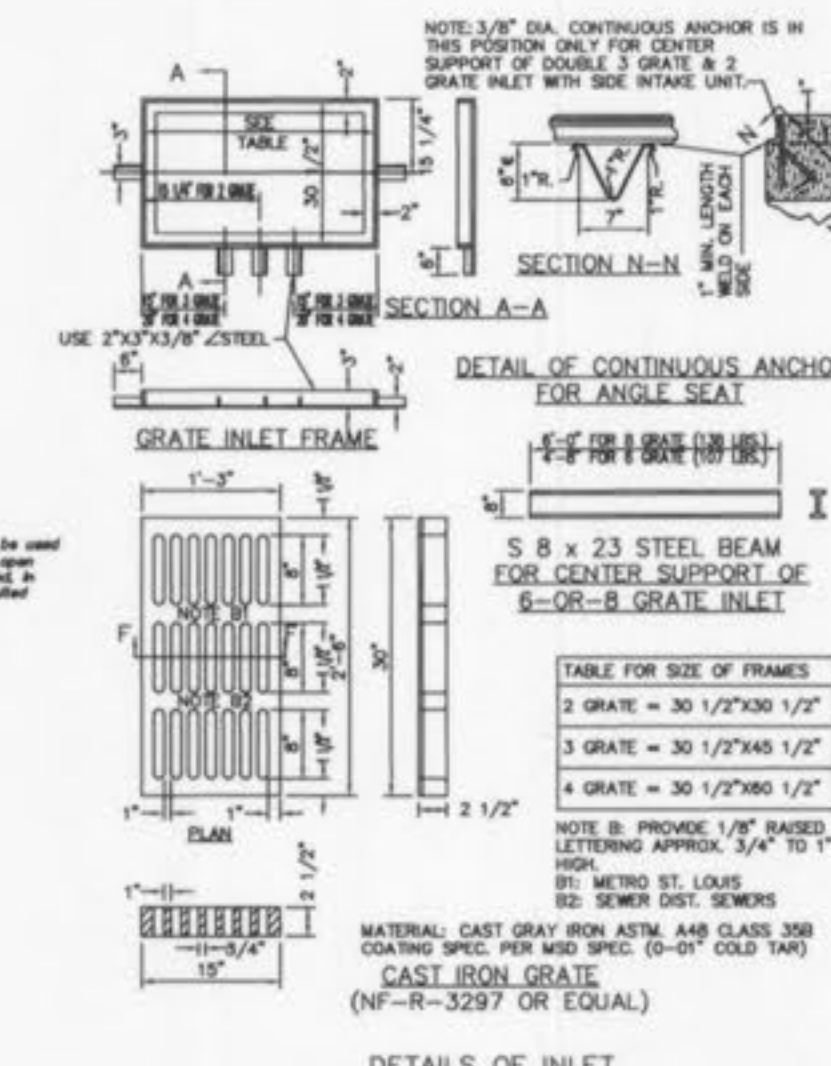
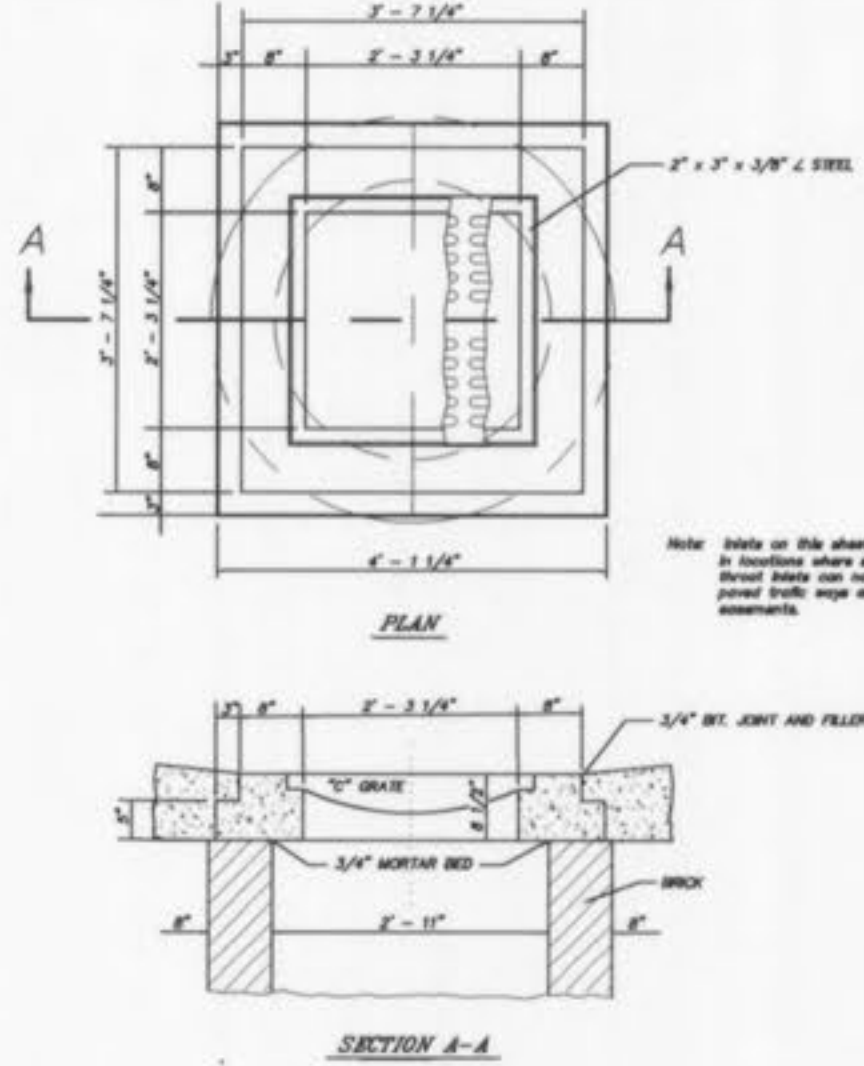
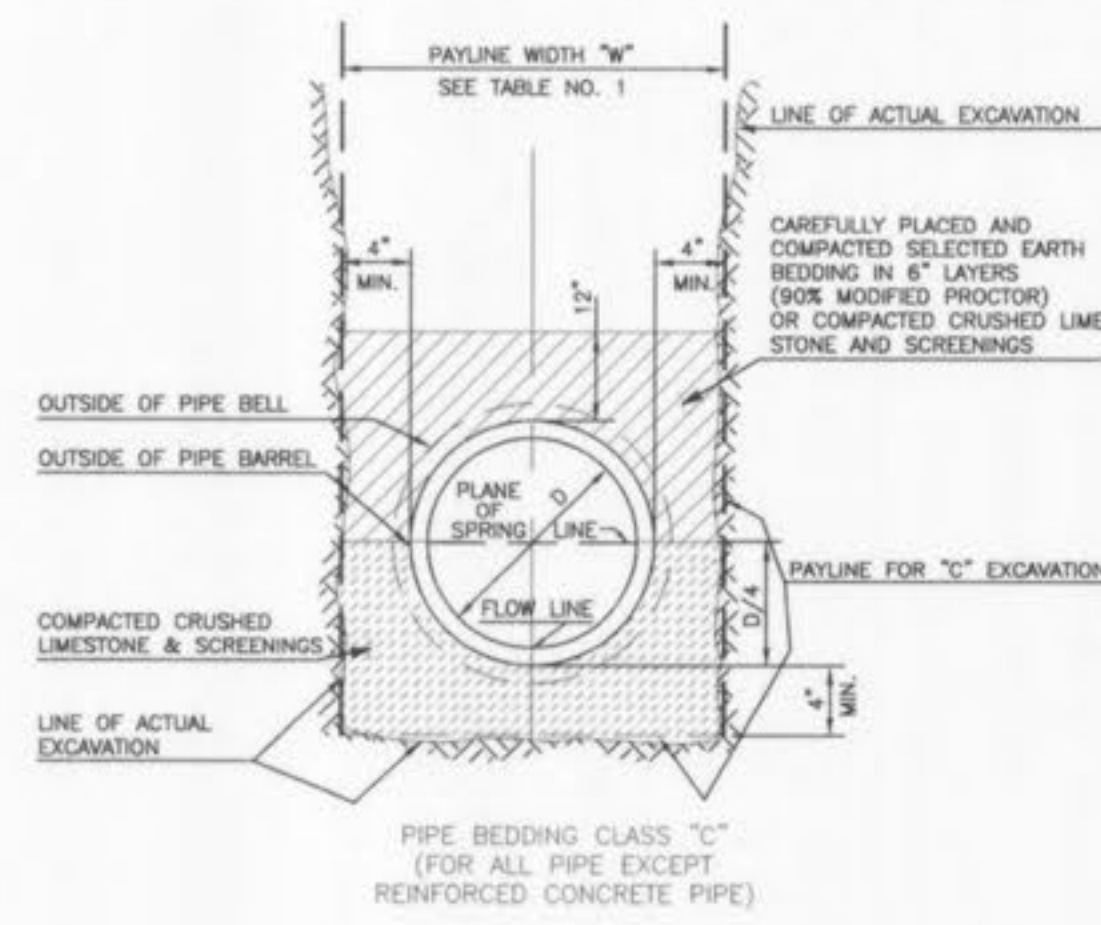
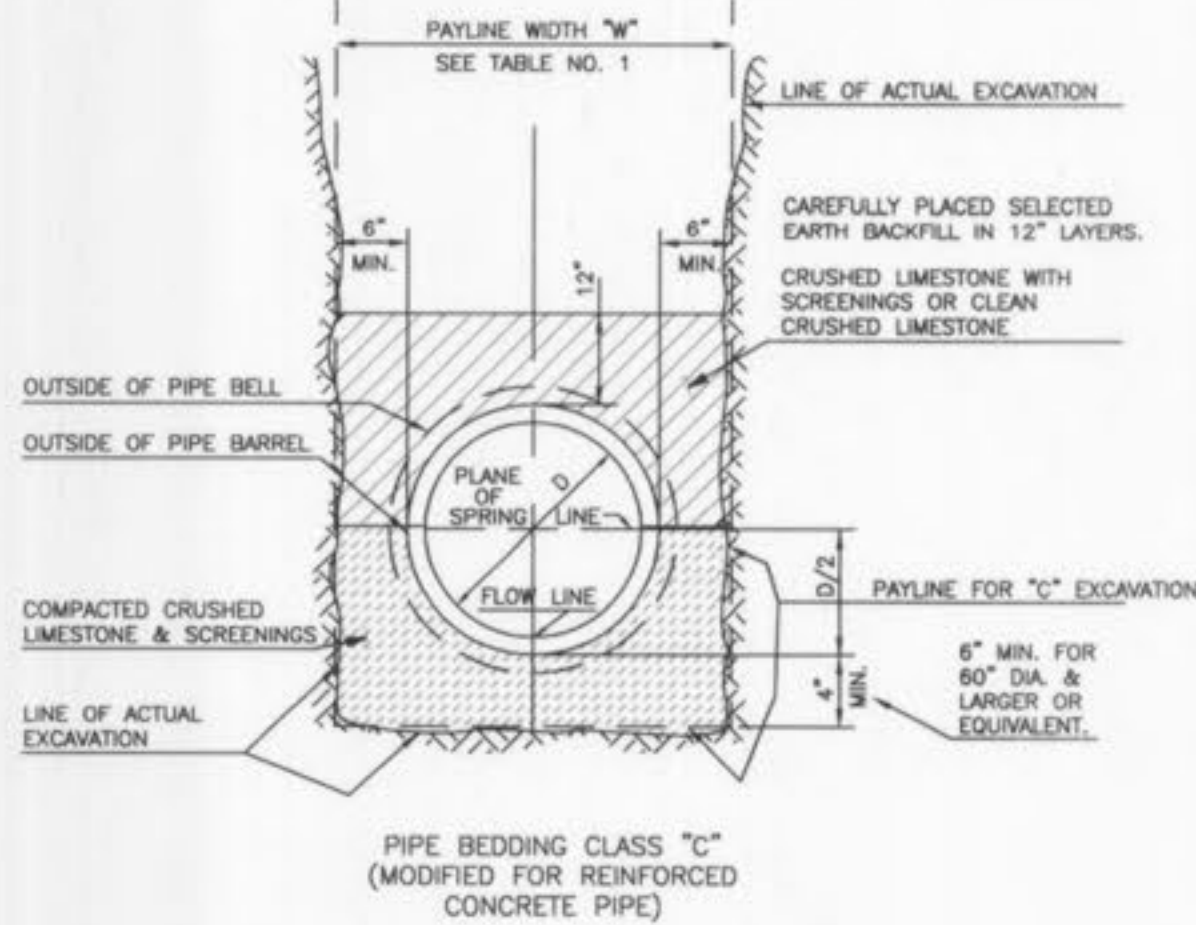
Prepared For:
PACE PROPERTIES, INC.

NO.	DATE	REVISIONS
1	03-06-07	PER WALGREEN'S COMMENTS
2	03-09-07	PER CITY OF O'FALLON COMMENTS
3	05-03-07	PER DUCKETT CREEK SEWER & PWD#2
4	05-21-07	PER DEVELOPER
5	06-17-07	PER PWD #2 COMMENTS
6	06-14-07	PER WALGREEN'S COMMENTS
7	06-20-07	PER AEBIS

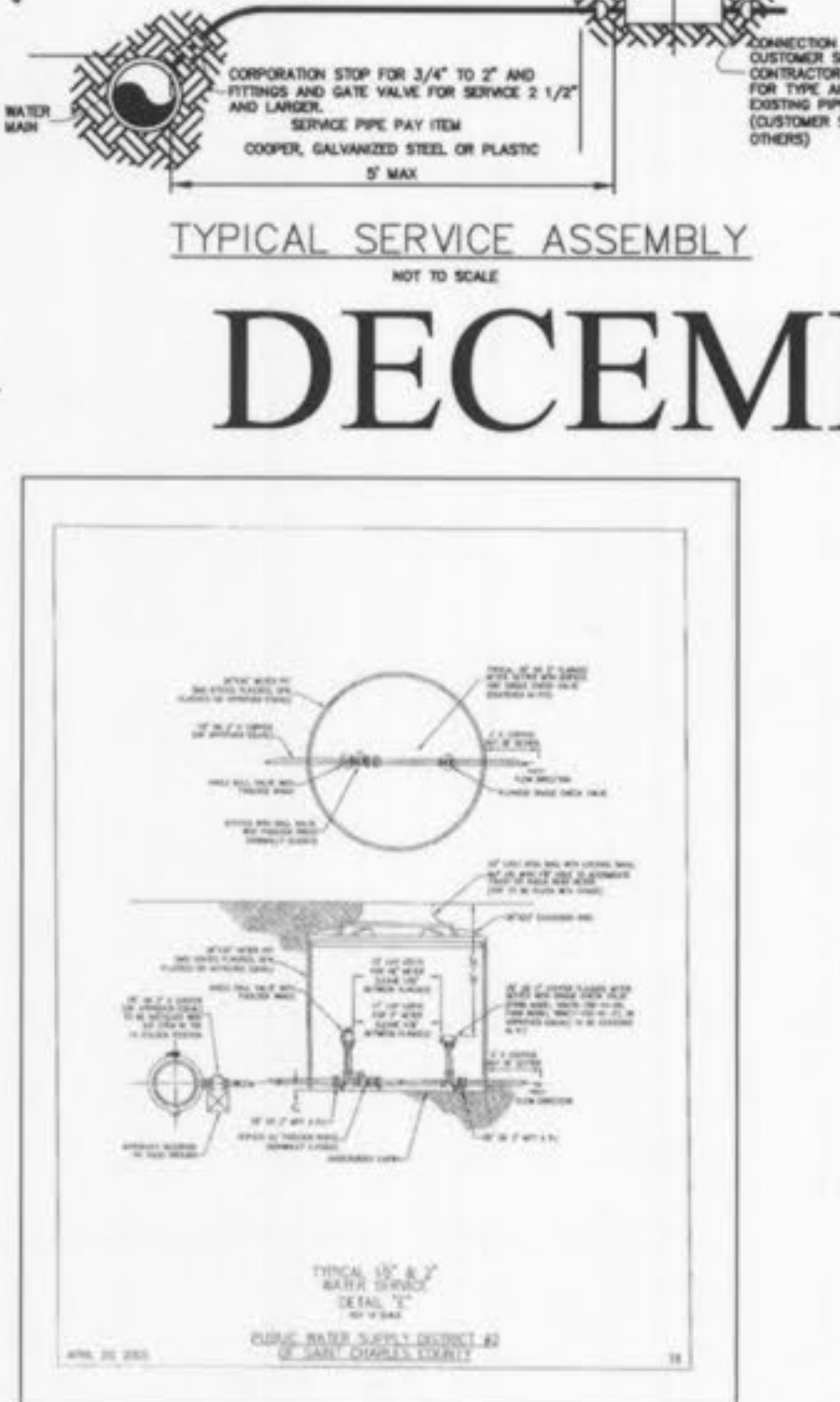
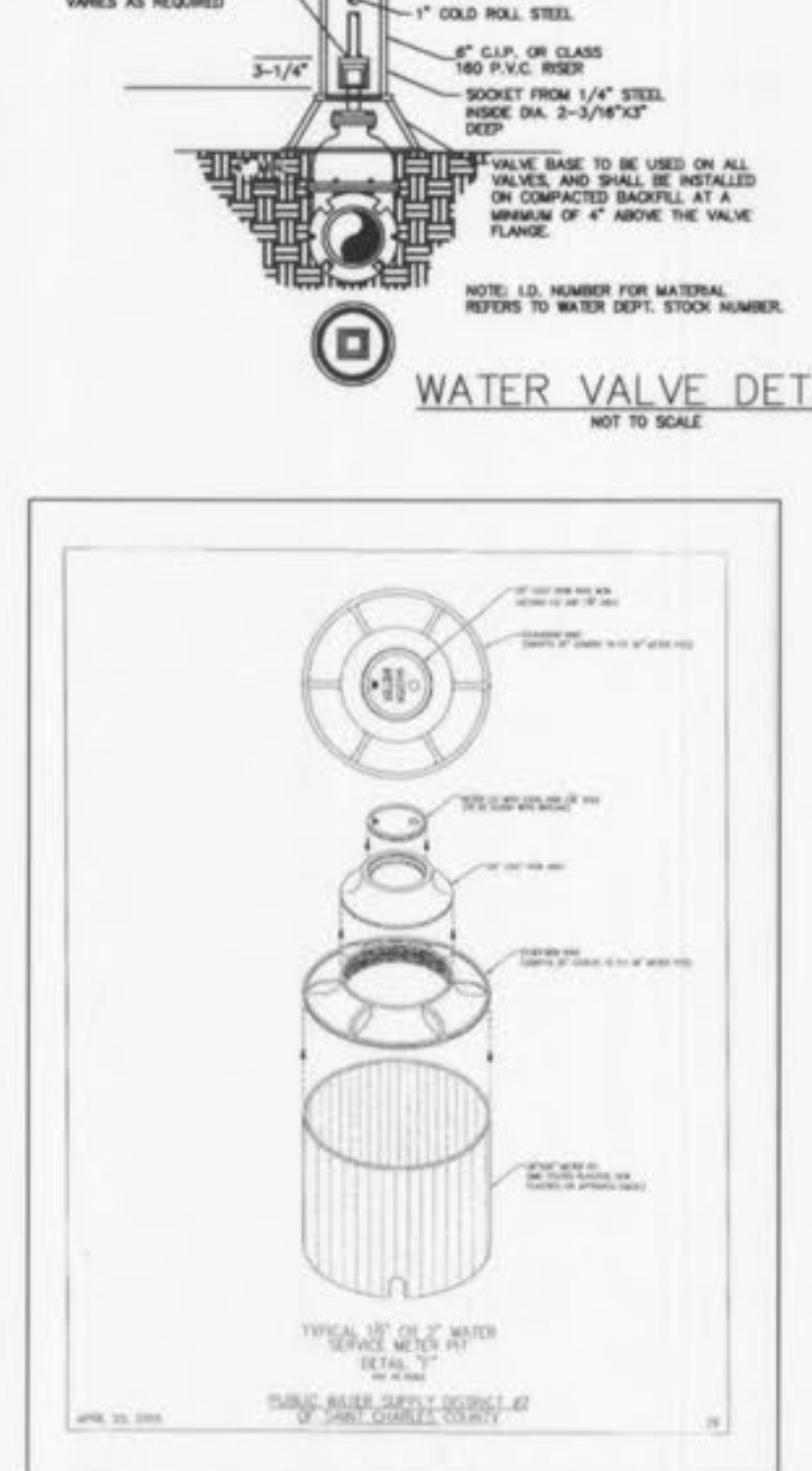
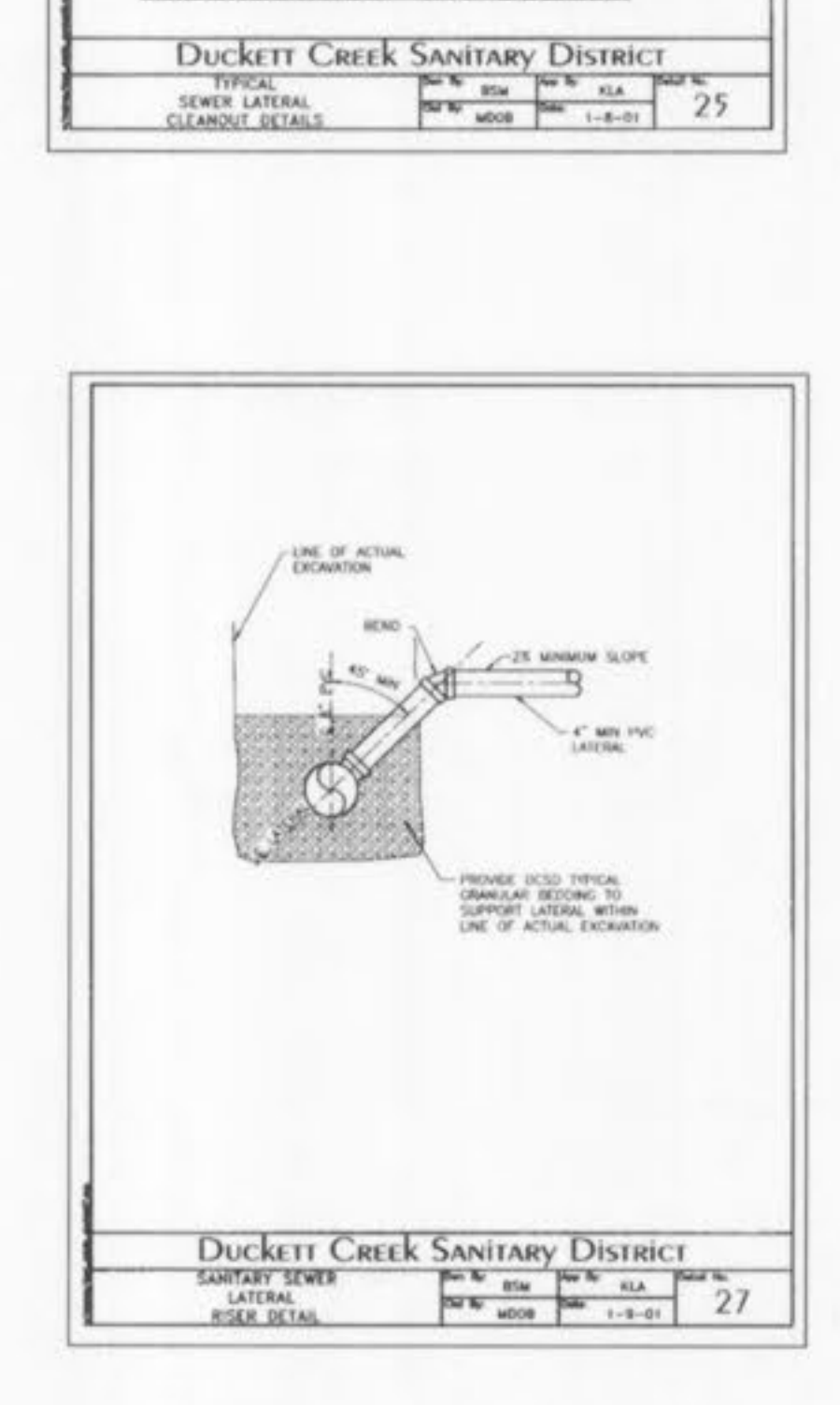
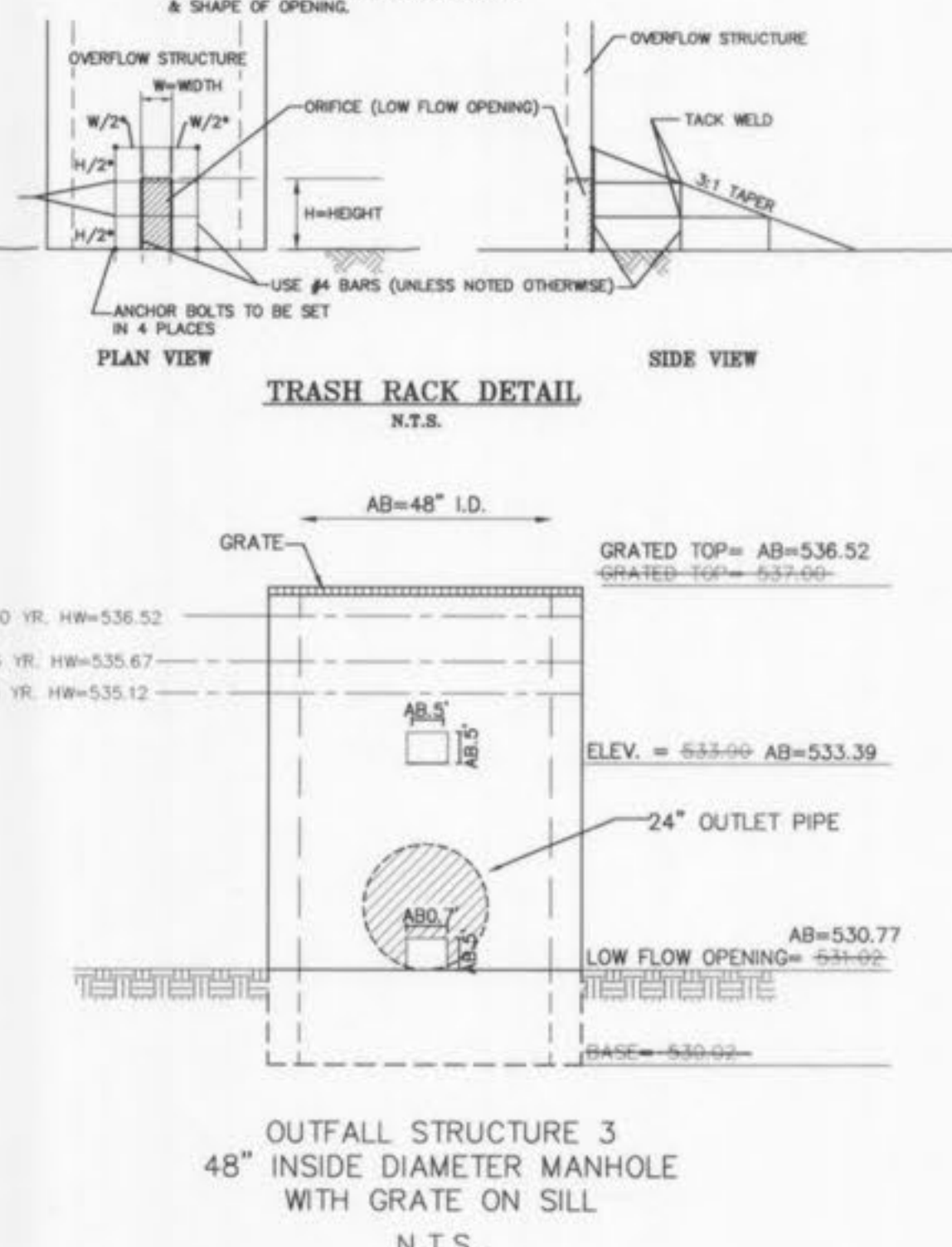
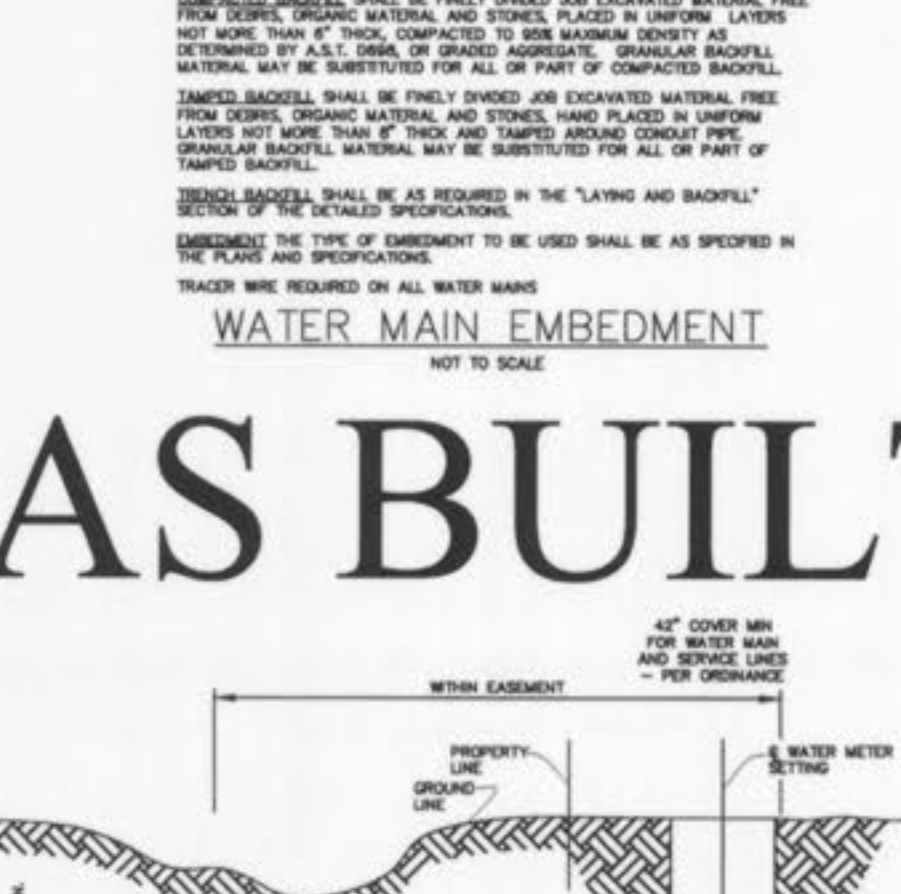
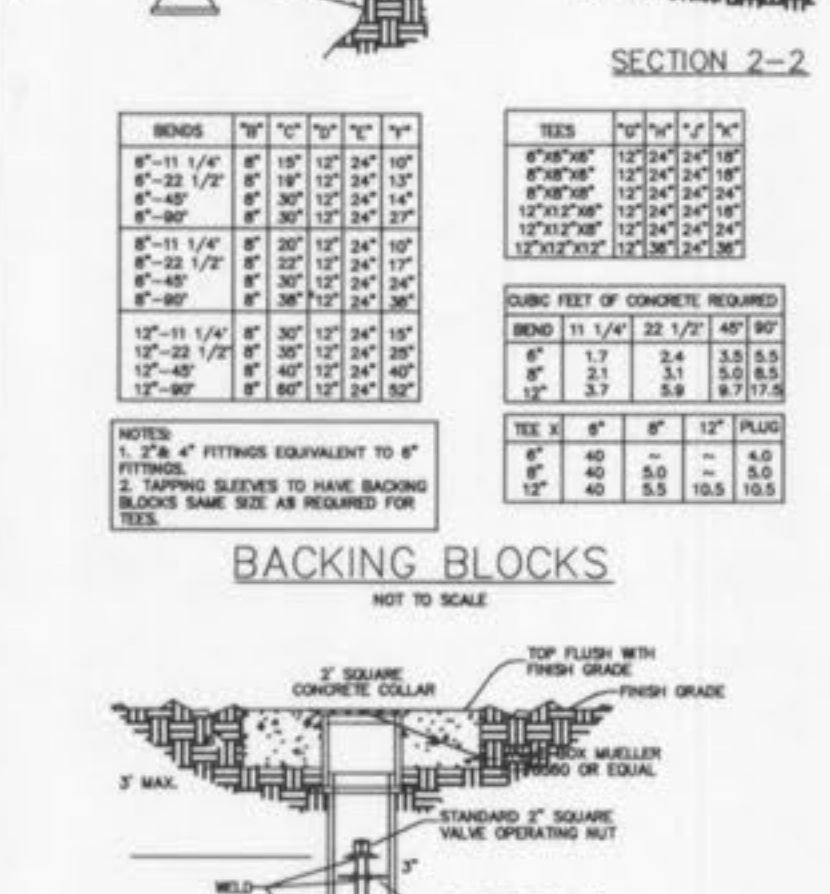
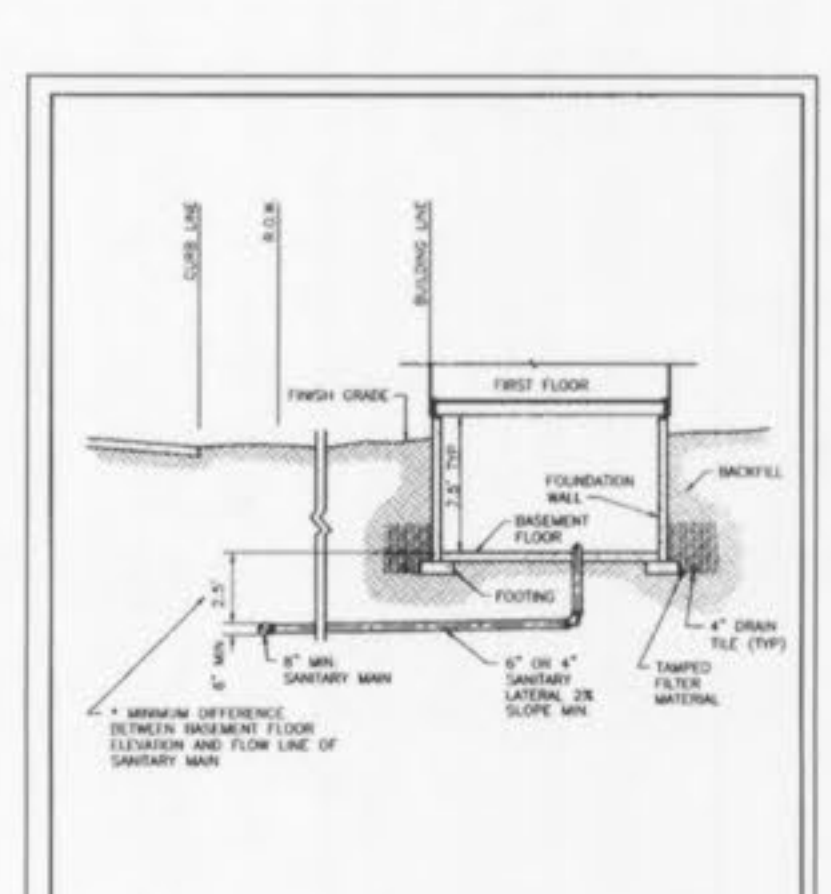
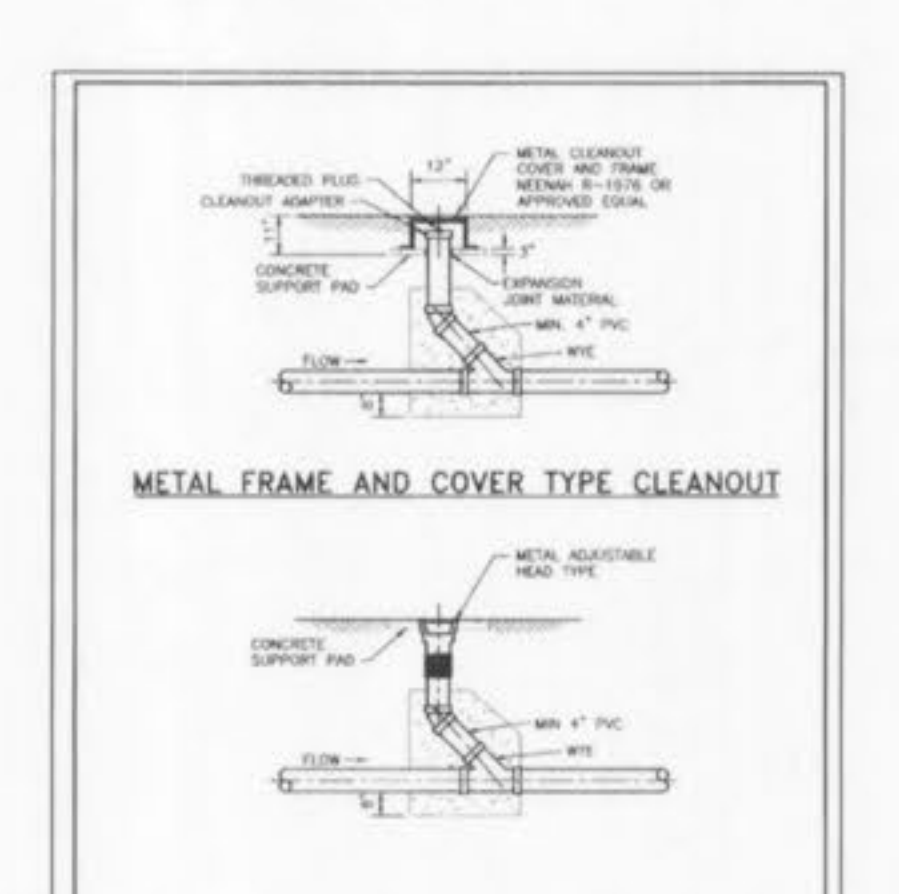
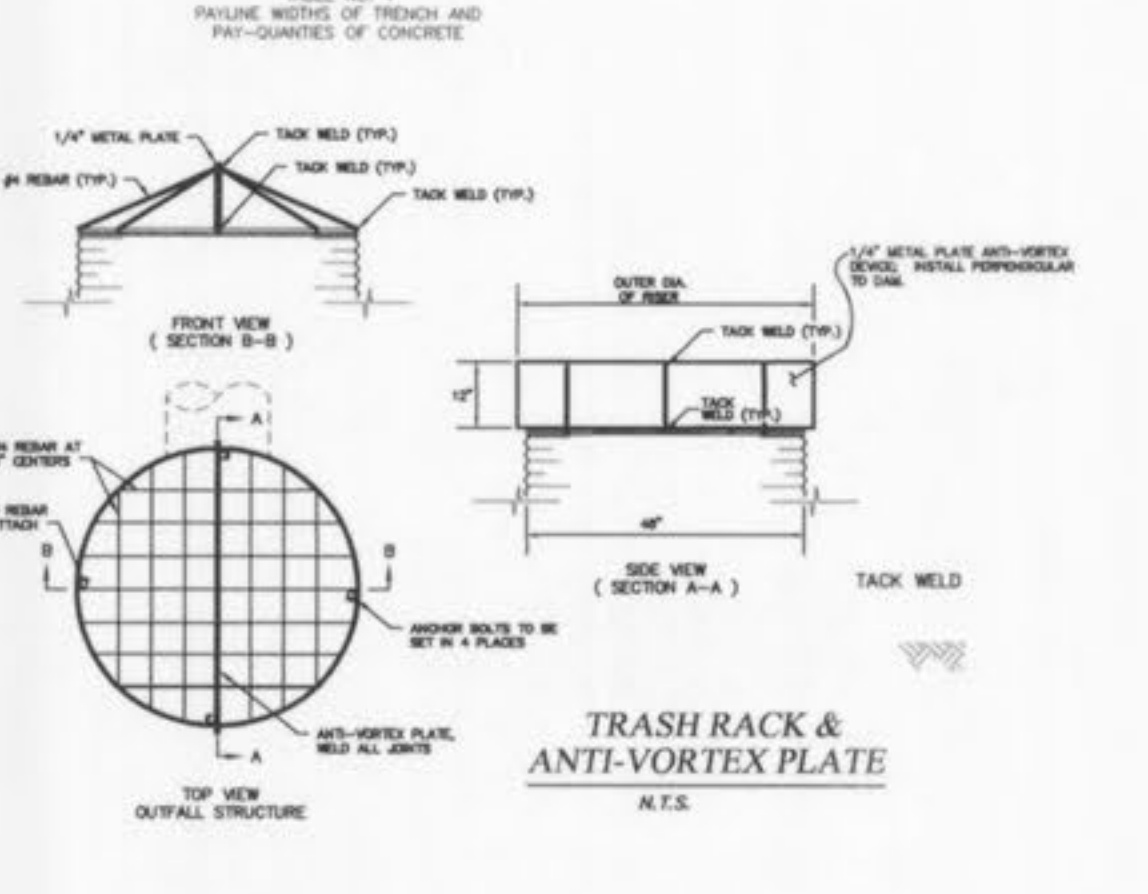
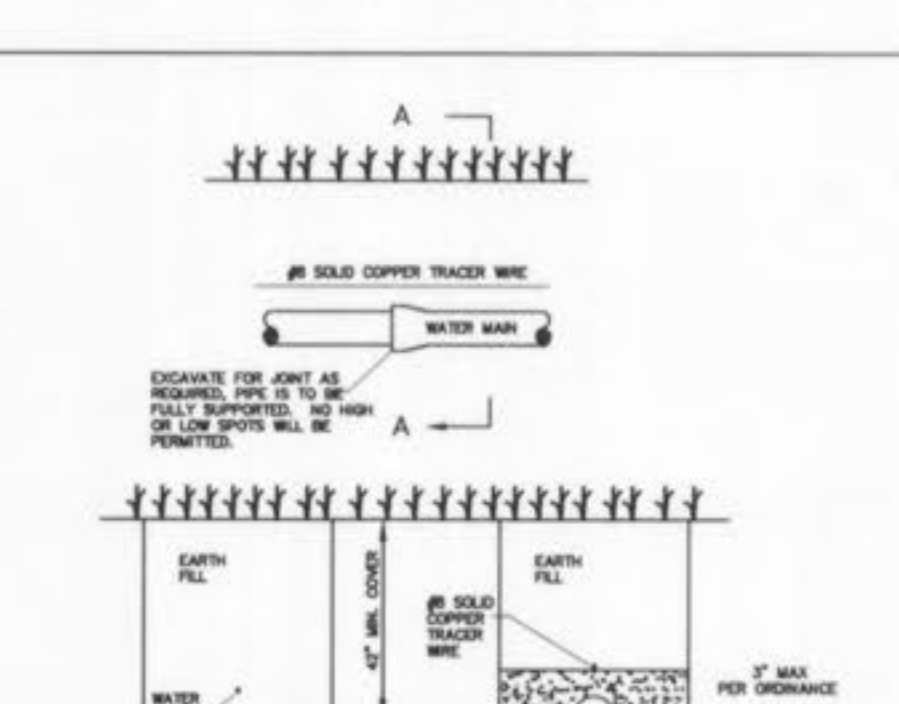
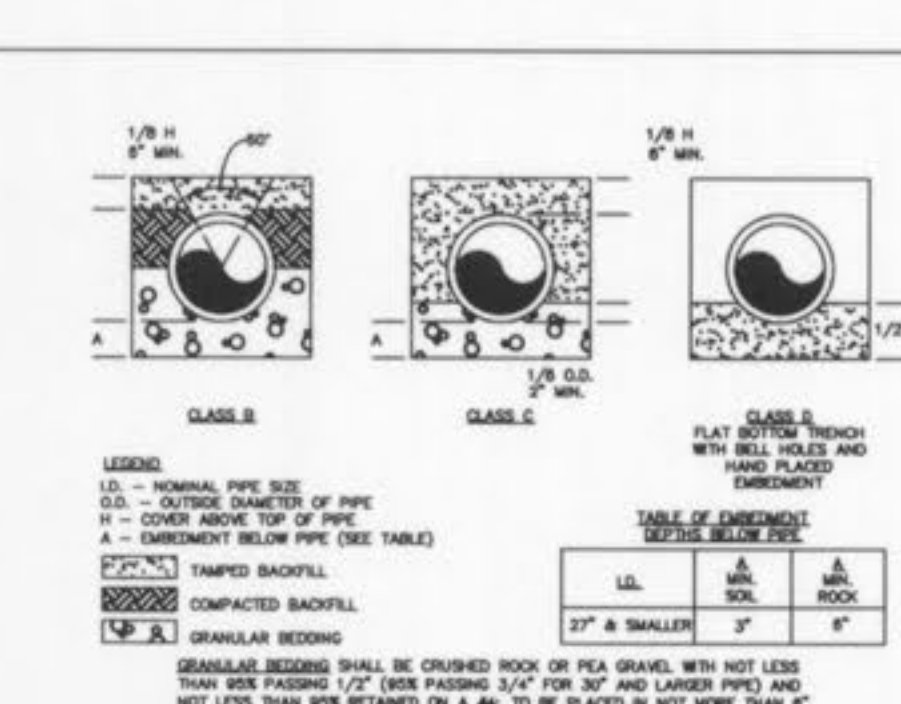
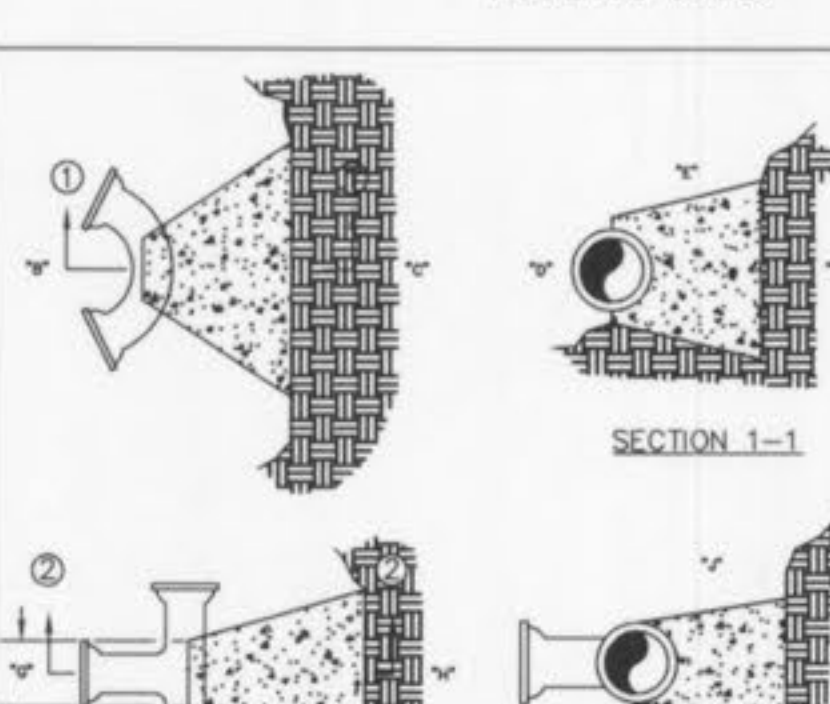
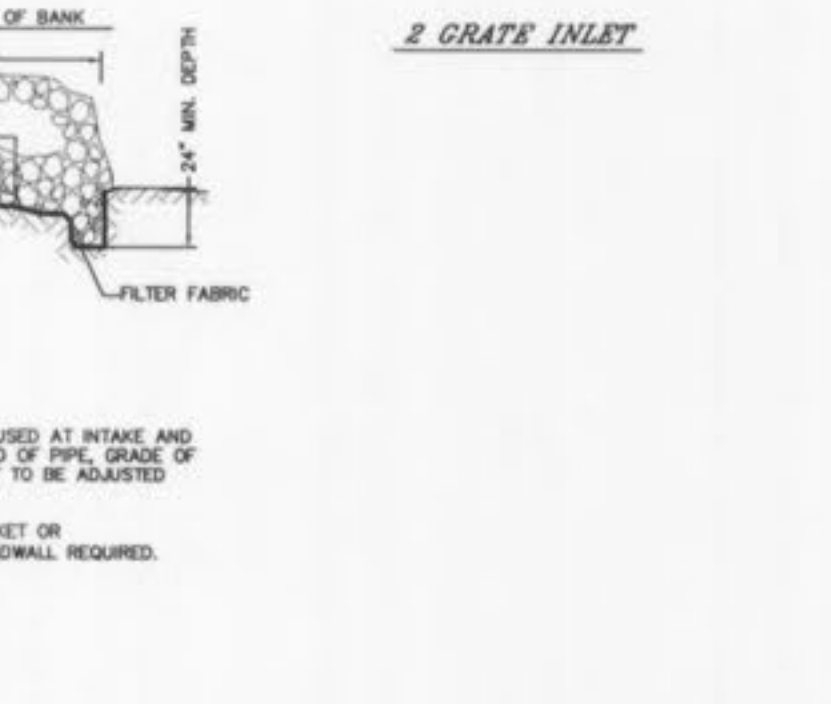
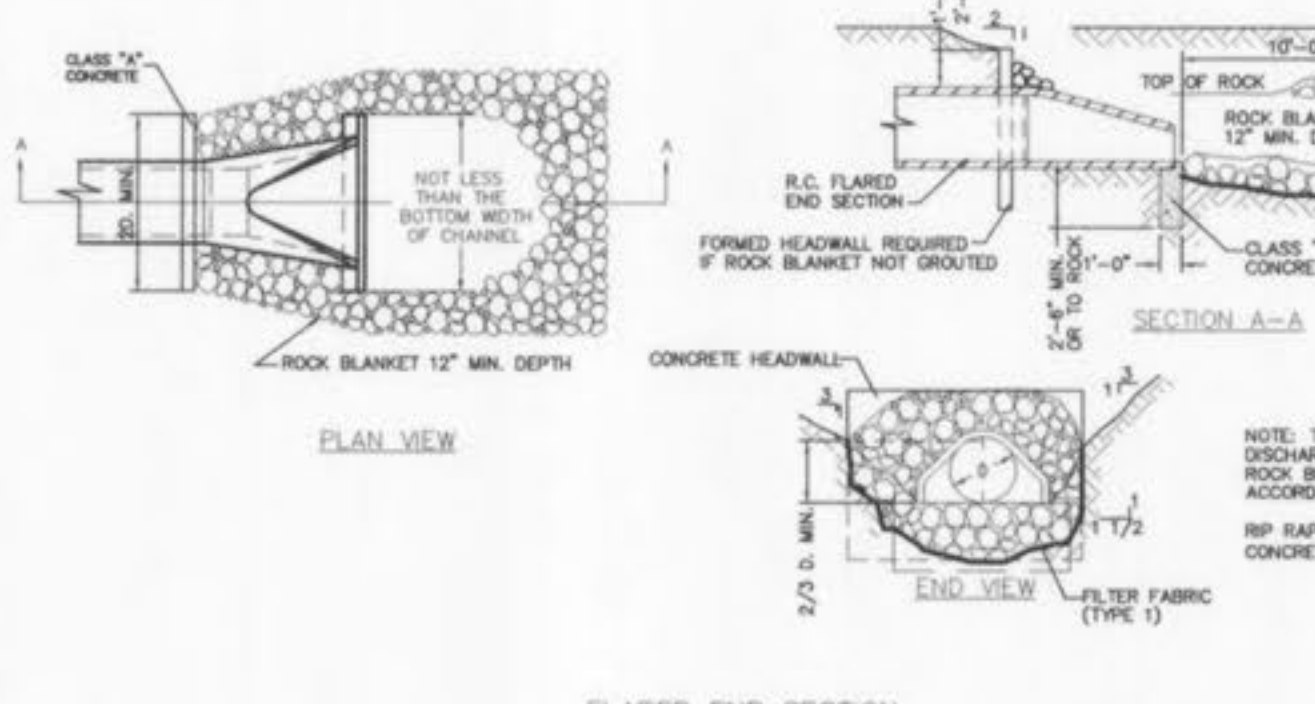
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PICKETT, RAY & SILVER, INC

DRAWN	B.L.P.	DATE	01-31-07
CHECKED	D.L.S.	DATE	01-31-07
PROJECT # 01045.PAPR.00C			
TASK #	2	FIELD BOOK	2001A



ROUND PIPE	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
4	2.33	2.50		
6	2.33	2.50		
8	2.33	2.50		
10	2.33	2.50		
12	2.33	2.50		
15	2.33	2.50		
18	2.33	2.50		
21	2.33	2.50		
24	2.33	2.50		
27	2.33	2.50		
30	2.33	2.50		
36	2.33	2.50		
42	2.33	2.50		
48	2.33	2.50		
54	2.33	2.50		
60	2.33	2.50		
66	2.33	2.50		
72	2.33	2.50		
78	2.33	2.50		
84	2.33	2.50		
90	2.33	2.50		
96	2.33	2.50		
102	2.33	2.50		
108	2.33	2.50		
114	2.33	2.50		
120	2.33	2.50		
126	2.33	2.50		
132	2.33	2.50		
138	2.33	2.50		
144	2.33	2.50		



AS BUILT PLANS

DECEMBER 2008

PICKETT RAY & SILVER
 CIVIL ENGINEERS
 PLANNERS
 LAND SURVEYORS
 333 Mid Rivers Mall Drive
 St. Peters, MO 65576
 Phone (636) 397-2111
 Fax (636) 397-1104

Walgreens
 IMPROVEMENT PLANS
 OF FALLON, MISSOURI
 1401 SOUTH BRENTWOOD, SUITE 100
 ST. LOUIS, MO 63144
 (314) 968-7668
 Prepared For:
PACE PROPERTIES, INC.

NO.	DATE	REVISIONS
1	03-05-07	PER WALGREEN'S COMMENTS
2	03-09-07	CITY OF FALLON COMMENTS
3	05-03-07	PER DUCKET CREEK SEWER & PWD #2
4	05-21-07	PER DEVELOPER
5	06-29-07	PER FIRE DISTRICT
6	06-22-07	PER FIRE PWD #2
7	07-26-07	PER PWD #2 COMMENTS
8	08-17-07	PER WALGREEN'S COMMENTS
9	09-04-07	PER WALGREEN'S COMMENTS

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 CHECKED: D.L.S. DATE: 01-31-07
 PROJECT # 01045.PAPR.OCC
 TASK # 2 FIELD BOOK 2001A

WALGREENS-O'FALLON IMPROVEMENT PLANS STORM SEWER & WATER MAIN DETAILS
 SHEET 10 OF 10
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