

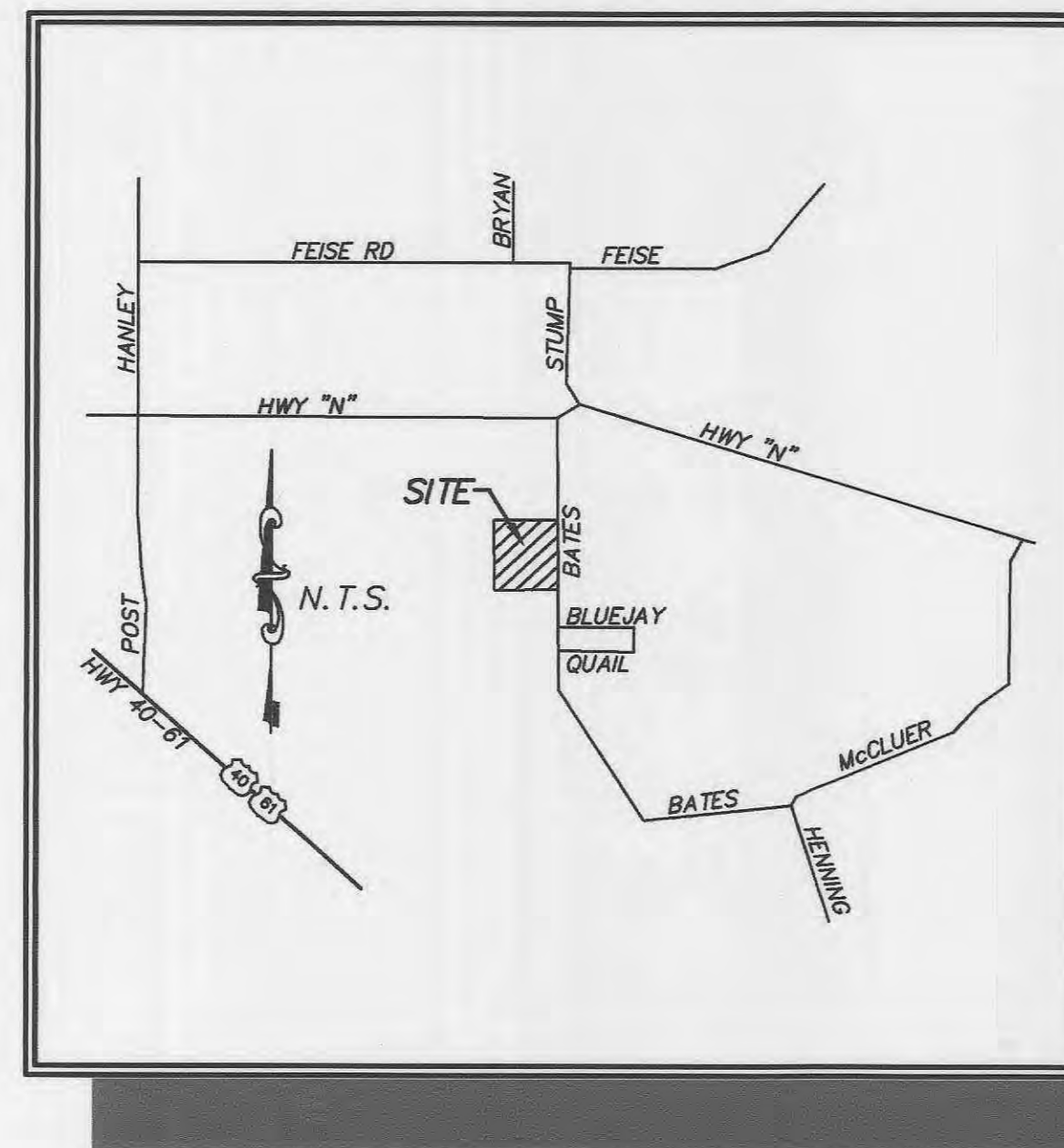
WELLINGTON PARK

A TRACT OF LAND BEING PART OF U.S. SURVEY 1669,
TOWNSHIP 46 NORTH, RANGES 2 AND 3 EAST,
ST. CHARLES COUNTY, MISSOURI

IMPROVEMENT PLANS

"AS-BUILTS"

LOCATION MAP



DRAWING INDEX


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GENERAL NOTES

- Gas, water and other underground utilities shall not conflict with the depth or horizontal locations of existing and proposed sanitary and storm sewers, including house laterals.
- Underground utilities have been plotted from available information and, therefore, their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to grading or construction of improvements.
- All filled places under buildings, proposed sanitary and storm sewer lines, and/or paved areas including trench backfills shall be compacted to at least 90% of maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557) unless otherwise specified by the local governing authority specifications. All tests will be verified by a Soils Engineer.
- All filled places in paved State, County or City roads (highways) shall be compacted to at least 90% of the maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557), unless otherwise specified by local governing authority specifications. All tests will be verified by a Soils Engineer.
- Earth subgrade for paved areas must be compacted to 90% of maximum dry density as determined by the "Modified A.A.S.H.T.O. T-180 Compaction Test" (ASTM D-1557), and must be inspected and approved by a representative of the City, before paving can commence.
- All grading on City of O'Fallon and City of Dardenne Prairie right-of-way shall be seeded and mulched and all disturbed right-of-way markers shall be reset at the completion of grading.
- No area shall be cleared without permission of the developer.
- All grades shall be within 0.2 feet more or less of those shown on the grading plan.
- No slope shall be greater than 3:1 and shall be either sodded or seeded and mulched.
- The developer shall contract with a soil consultant firm registered in the State of Missouri during the grading operation to monitor cut and fills and to verify proper compaction has been achieved. A report shall be prepared by the soil consultant and provided to the City for verification of the grading operation.
- Owner/Developer assumes full responsibility as to the performance of the grading operation and assurance that all properties and roads will be adequately protected.
- The total yardage for this project is based on a 15.0%+ shrinkage factor.
- The shrinkage factor is subject to change, due to soil conditions, (types and moisture content), weather conditions, and the percent compaction actually achieved at the time year grading is performed. As a result, adjustments in final grade may be required. If adjustments need to be made, the contractor shall contact the project engineer, prior to completion of the grading.
- If straw bales or siltation fence are destroyed by heavy rains, vandalism, etc., they are to be replaced promptly by Contractor.
 - 20' front yard
 - 6' side yard
 - 20' rear yard
- All fills under and within 15 feet of the building areas that are deeper than 8 feet shall be compacted to at least 92 percent of the maximum dry density as determined by a modified proctor test. Fills less than 8 feet in building areas should be compacted to at least 90 percent of the maximum dry density as determined by a modified proctor test.
- Where natural vegetation is removed during grading, vegetation shall be re-established at min. 75% density to prevent erosion. Permanent type grasses shall be established as soon as possible or during the next seeding period after grading has been completed.
- When grading operations are completed or suspended for more than 30 days, permanent grass must be established at min. 75% density to provide erosion control from the site. Between permanent grass seeding periods, temporary cover shall be provided according to the designated officials recommendation.
- All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.
- Trees, organic debris, rubble, foundations and other deleterious material shall be removed from the site and disposed in compliance with all applicable laws and regulations. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district.
- The developer and his contractor shall be responsible for installing the siltation control as approved by the City of O'Fallon prior to the commencement of grading operations.
- Development is not located within the 100 Year Flood Plain Limits as shown on F.E.M.A. Map No. 29183C0240E. Dated Aug. 2, 1996
- Silt fence shall be maintained and sediment removed after each rain exceeding 1/2 inch.
- This tract is served by:
WATER - P.W.S.D.#2
ELECTRIC - AMEREN UE
TELEPHONE - CENTURY TEL
SEWERS - DUCKETT CREEK SANITARY DISTRICT
GAS - LACLEDE GAS
FIRE PROTECTION - WENTZVILLE FIRE PROTECTION DISTRICT
SCHOOL DISTRICT - FORT ZUMWALT SCHOOL DISTRICT
POST OFFICE - O'FALLON POST OFFICE
- It is the responsibility of the developer and the developer's grading contractor to read and be familiar with the Geotechnical Report prepared by the Soils Engineer.
- Developer must supply City inspectors with soils reports prior to or during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the "Rough Grading / Sediment & Erosion Control Plans"). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silts or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- Erosion control shall NOT be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams and adjacent roadways, properties, and ditches.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- No graded area is to remain bare for over 6 months without being seeded and mulched.
- Bates road is a county road, approvals must be obtained prior to construction.
- Setback requirements for this 34 lot, 10 acre site:
 - 20' front yard
 - 6' side yard
 - 20' rear yard
- St. Charles County Highway Department shall be notified 24 hours prior to the start of construction. Contact Vance Gribble, Chief Inspector, at (636) 949-7305. Also contact the Dardenne Prairie City Engineer at (636) 240-2444
- A Special Use Permit shall be obtained from St. Charles County Highway Department before any work is performed within Bates Road right-of-way. Contact Donna C. Roy, Highway Project Engineer, at (636) 949-7305.

TO DUCKETT CREEK SANITARY DISTRICT

These "As-Built" Sanitary & Storm Sewer plans, are based on actual field measurements conducted during February, 2004 and the results are shown hereon.

By:  6-23-04
JAMES R. CHERVEK P.L.S., #2211
STATE OF MISSOURI
PICKETT, RAY & SILVER'S CORPORATE
REGISTRATION NO. LS-54-D



LEGEND

	Sanitary Sewer (Proposed)		Sanitary Structure	R.C.P.	Reinforced Concrete Pipe
	Sanitary Sewer (Existing)		Storm Structure	C.M.P.	Corrugated Metal Pipe
	Storm Sewer (Proposed)		Test Hole	C.I.P.	Cast Iron Pipe
	Storm Sewer (Existing)		Power Pole	P.V.C.	Polyvinyl Chloride
	Water Line & Size		Light Standard	V.C.P.	Vitrified Clay Pipe
	Existing water line		Double Water Meter Setting		
	Tee & Valve		Single Water Meter Setting	C.O.	Clean Out
	Hydrant		Curb Inlet	V.T.	Vent Trap
	Cap		Skewed Curb Inlet	T.B.R.	To Be Removed
	Lot or Building Number		Double Curb Inlet	T.B.R.&R	To Be Removed & Relocated
	Existing Fence Line		Grate Inlet	T.B.P.	To Be Protected
	Existing Tree Line		Area Inlet	T.B.A.	To Be Abandoned
	Street Sign		Double Area Inlet	B.C.	Base Of Curb
	Existing Contour		Concrete Collar	T.C.	Top Of Curb
	Proposed Contour		Flared End Section	T.W.	Top Of Wall
	Rip-Rap		End Pipe	B.W.	Base Of Wall
	End of Lateral		Energy Dissipater	(TYP)	Typical
	Asphalt Pavement		Manhole	U.N.O.	Unless Noted Otherwise
	Concrete Pavement		Concrete Pipe	U.I.P.	Use in Place

PROJECT BENCH MARK

BENCH MARKS

BM: USGS Station ORE, "Standard Tablet" stamped "ORF, 1931" in a square concrete post in a small mound 107'± NW of the NW corner of shed addition to old barn; 25'± SW of small pond; north of residence, address 1301 Feise Road, O'Fallon, MO.

ELEVATION = 667.596

TBM A: "M" in Mueller on fire hydrant east side of Bates Road 133'± north of southeast corner of this site.

ELEVATION = 614.50

PICKETT RAY & SILVER

333 Mid Rivers Mall Drive
St. Peters, MO 63376
Phone (636) 397-1211
Fax (636) 397-1104

CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

WELLINGTON PARK
COVER SHEET

Prepared For:

THE JONES COMPANY
Building: Florence Street 1927
Chesterfield, MO 63005
A GENTEX COMPANY

16640 Chesterfield Curve Blvd.
Chesterfield, MO 63005
(314) 235-7387

REVISIONS	NO.	DATE	DESCRIPTION
	1	03-04-04	"AS-BUILTS"

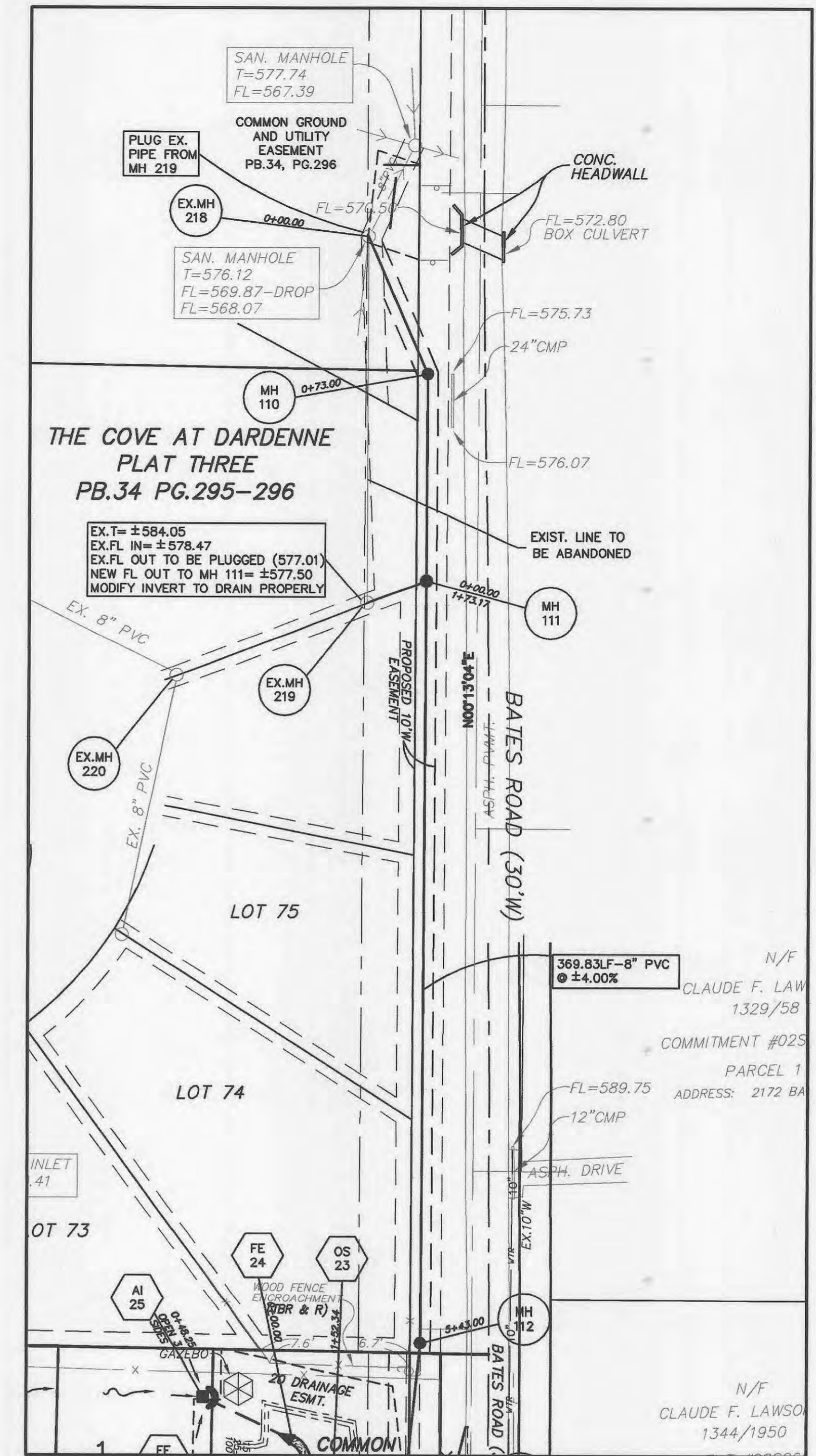
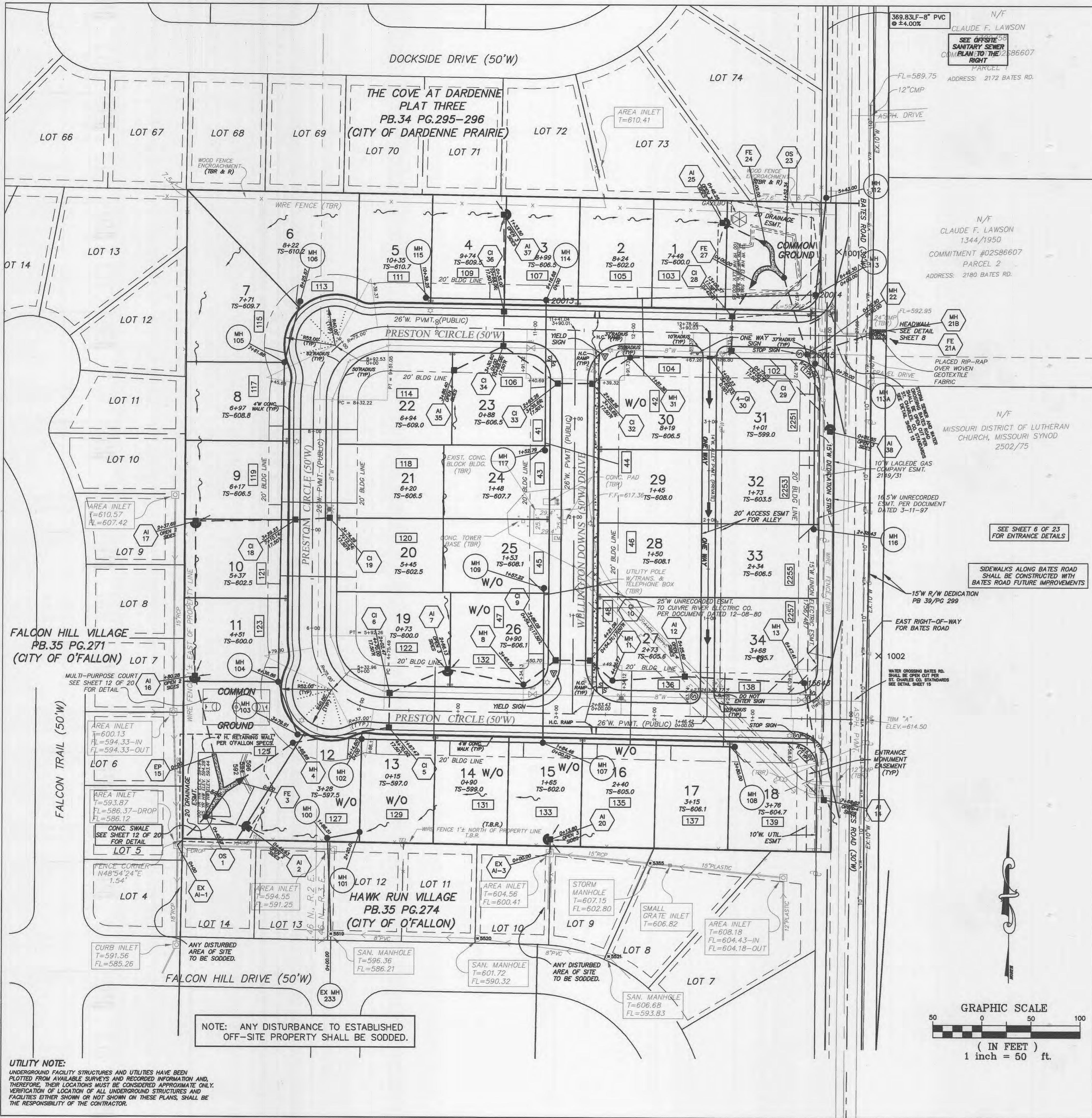
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PROJECT #	02077.JCCH.00R	FIELD	1997B
TASK #	6	BOOK	821

WELLINGTON PARK
COVER SHEET

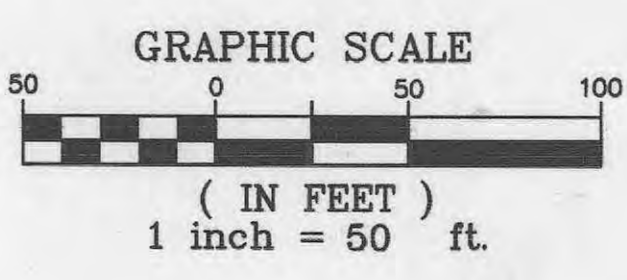
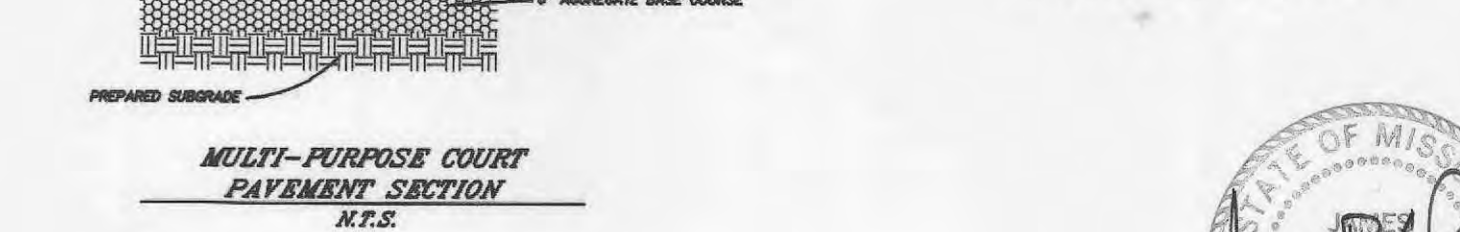
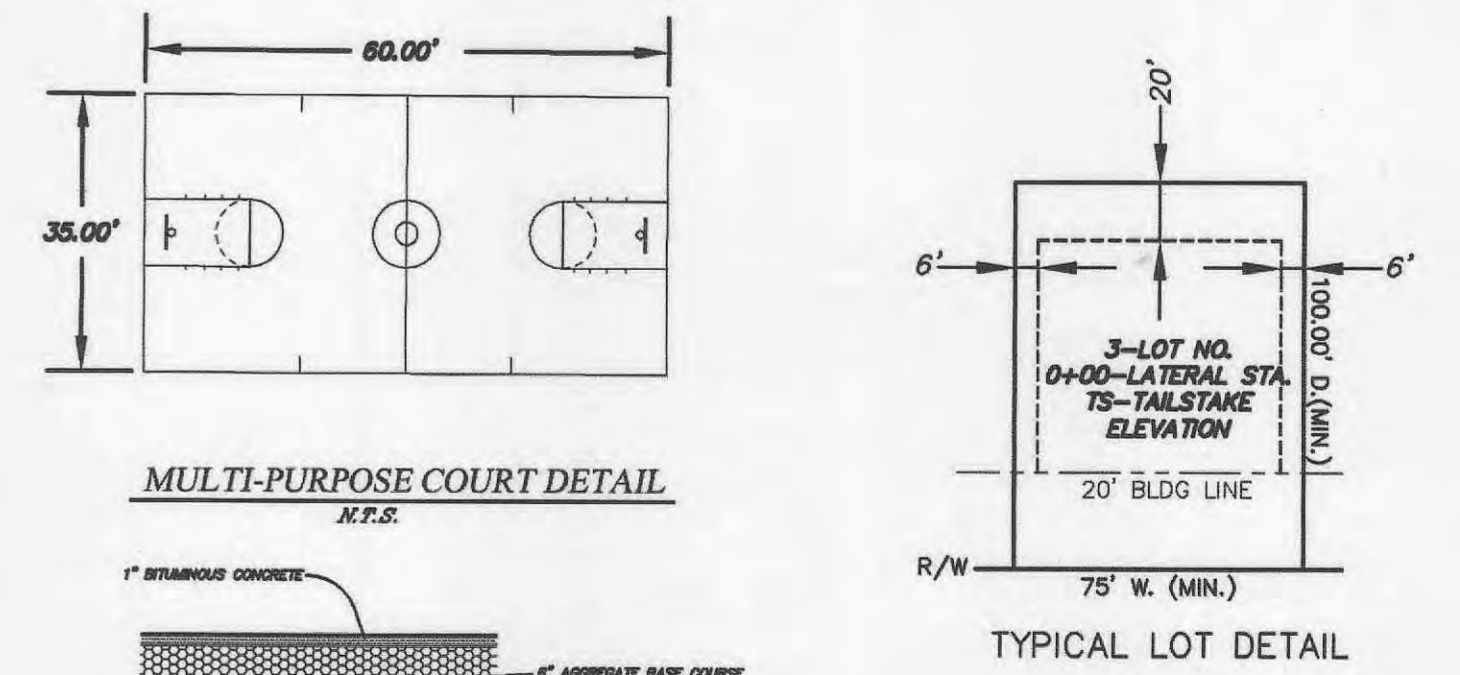
SHEET 1 OF 23

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Wellington Park 1/2003/6/04 ARK As Built



OFFSITE SANITARY SEWER



NOTE: ANY DISTURBANCE TO ESTABLISHED OFF-SITE PROPERTY SHALL BE SODDED.

UTILITY NOTE:
UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

"AS-BUILTS"

WELLINGTON PARK
SITE PLAN

Prepared For:
THE JONES COMPANY

PICKETT RAY & SILVER

CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

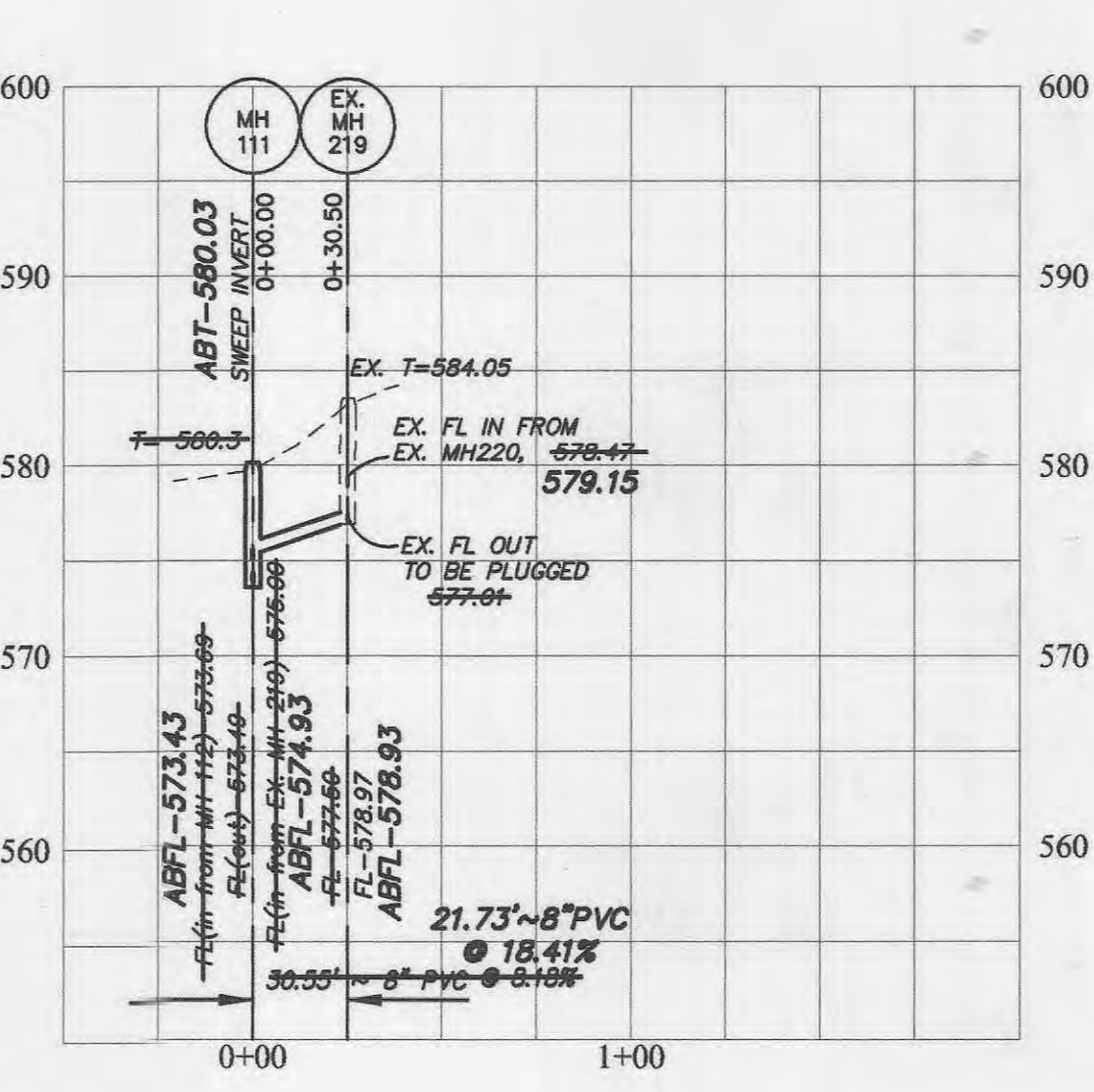
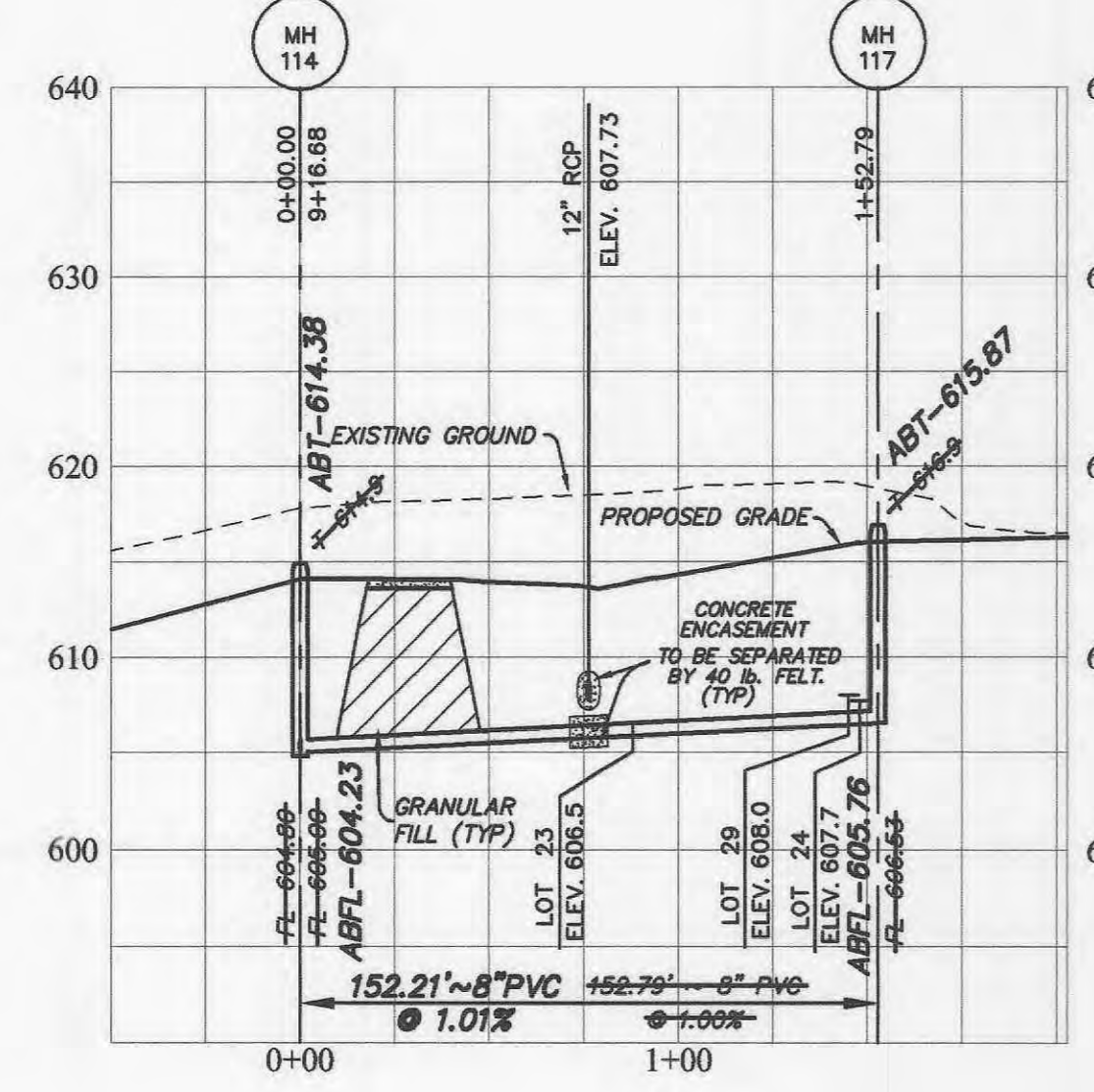
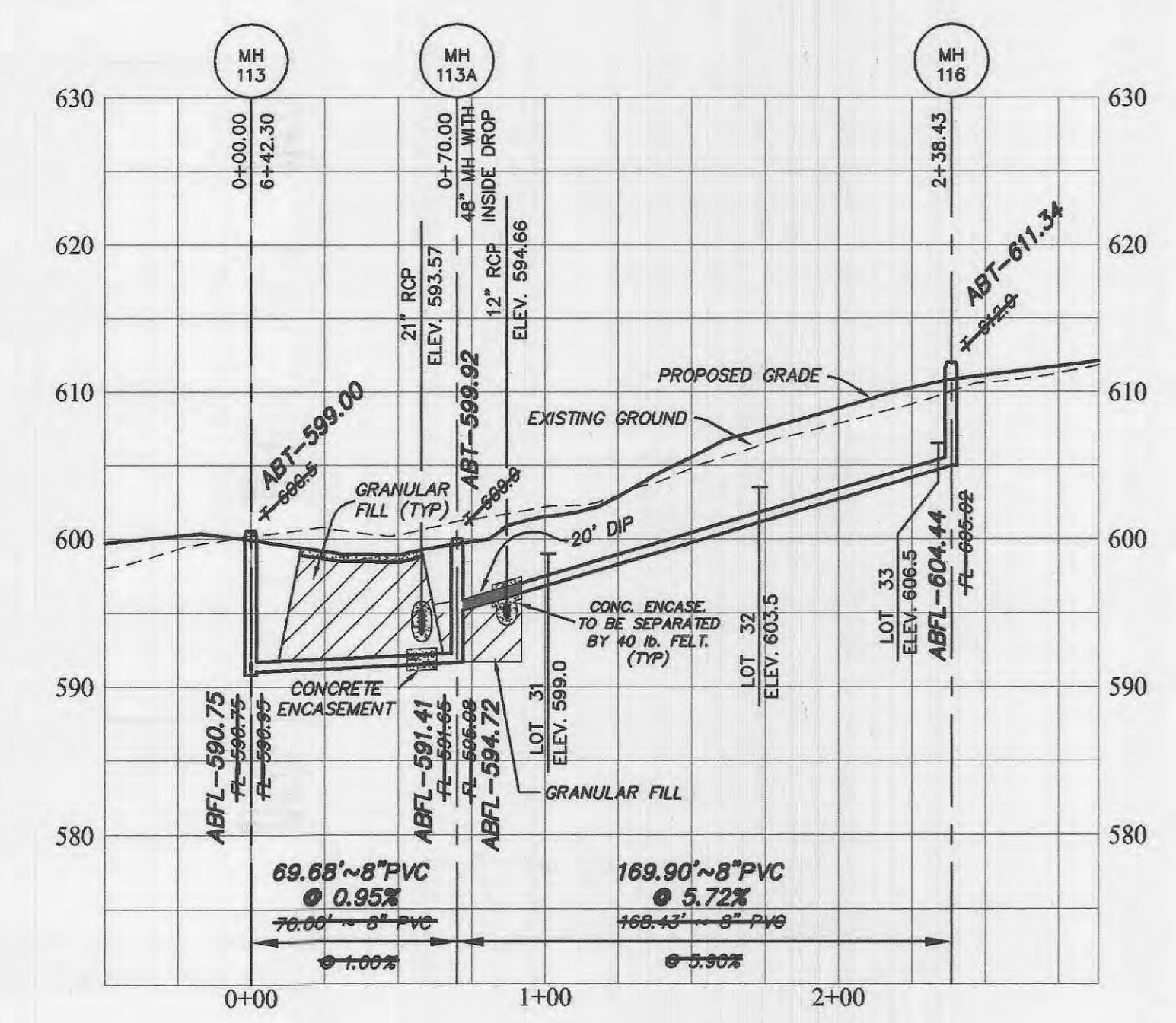
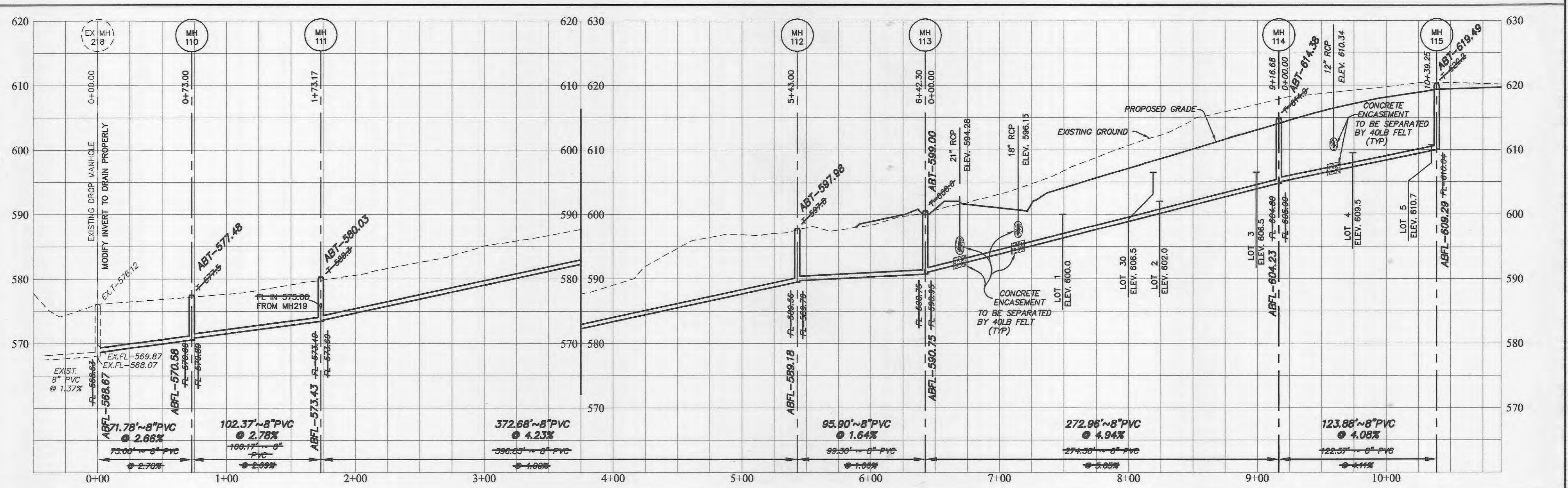
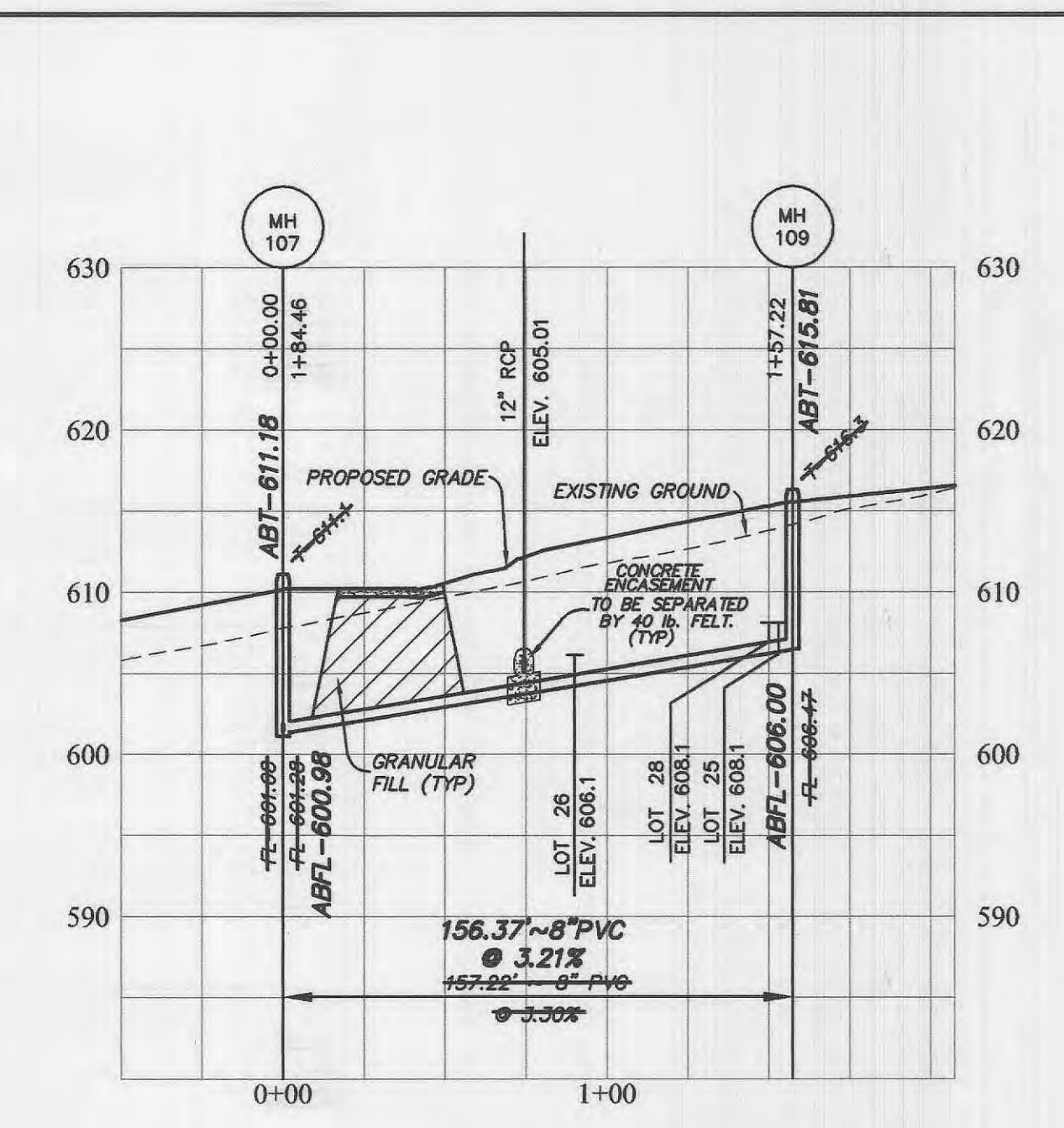
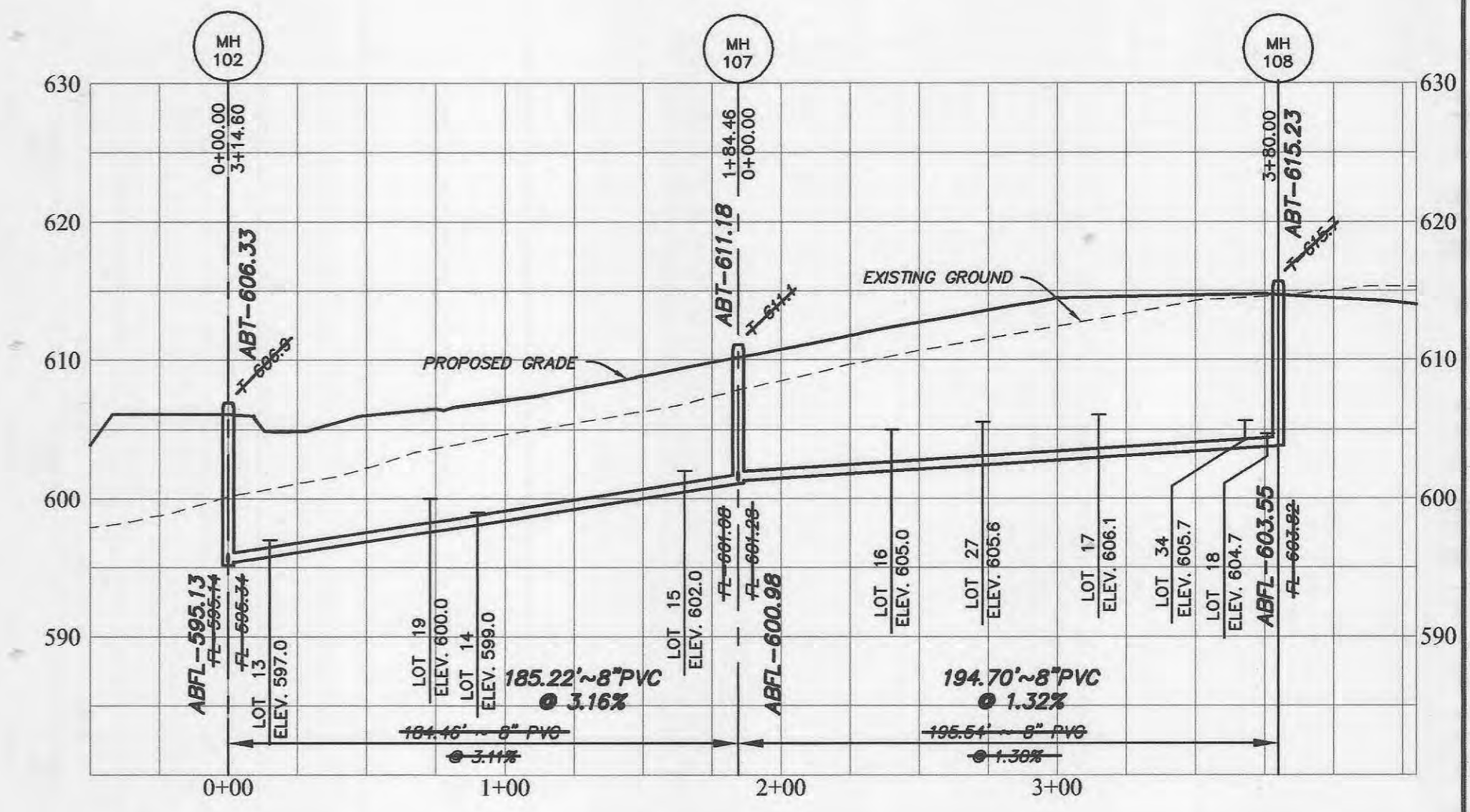
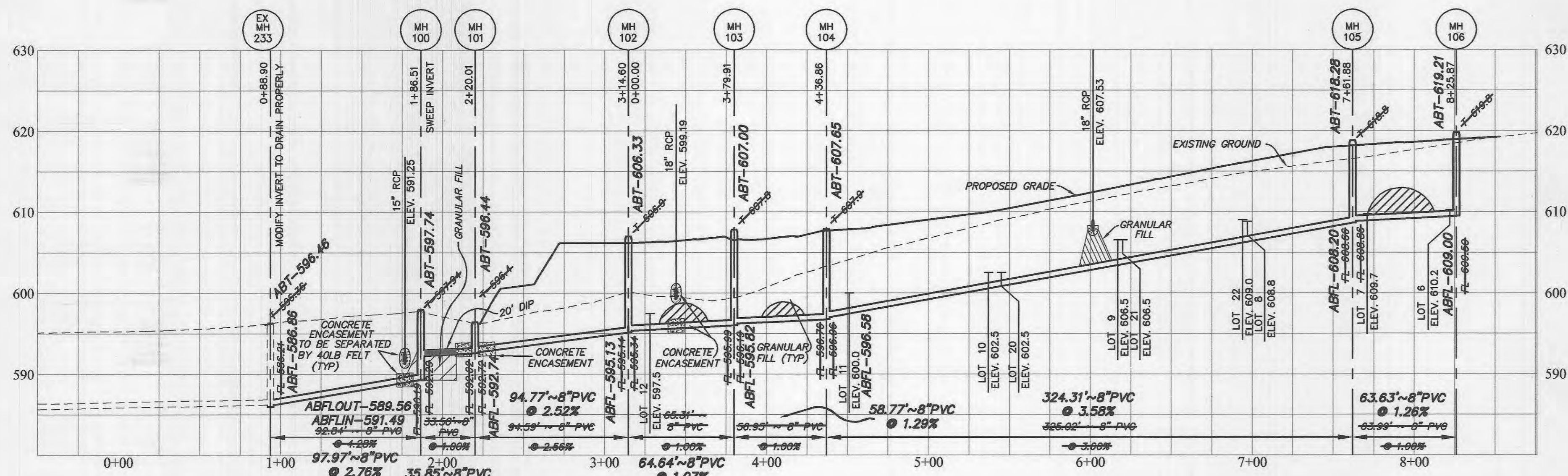
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Phone (636) 397-1211
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TASK #	6	BOOK	821
WELLINGTON PARK SITE PLAN			
SHEET 3 OF 23			
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Wellington Park App'd 6/04 ABK
Asbuilt



IF THE STORM AND SANITARY SEWERS ARE PARALLEL AND IN THE SAME TRENCH OR OVERDIG, THE UPPER PIPE SHALL BE PLACED ON A SHELF AND THE LOWER PIPE SHALL BE BEDDED IN COMPACTED GRANULAR FILL TO THE FLOW LINE OF THE UPPER PIPE.

ALL SANITARY LATERAL STREET CROSSINGS, IF TRENCHED, SHALL BE BACKFILLED WITH GRANULAR MATERIAL (AGGREGATE).

STORM SEWER PIPES WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE CRADLED IN CONCRETE THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE CRADLE.



HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 10'

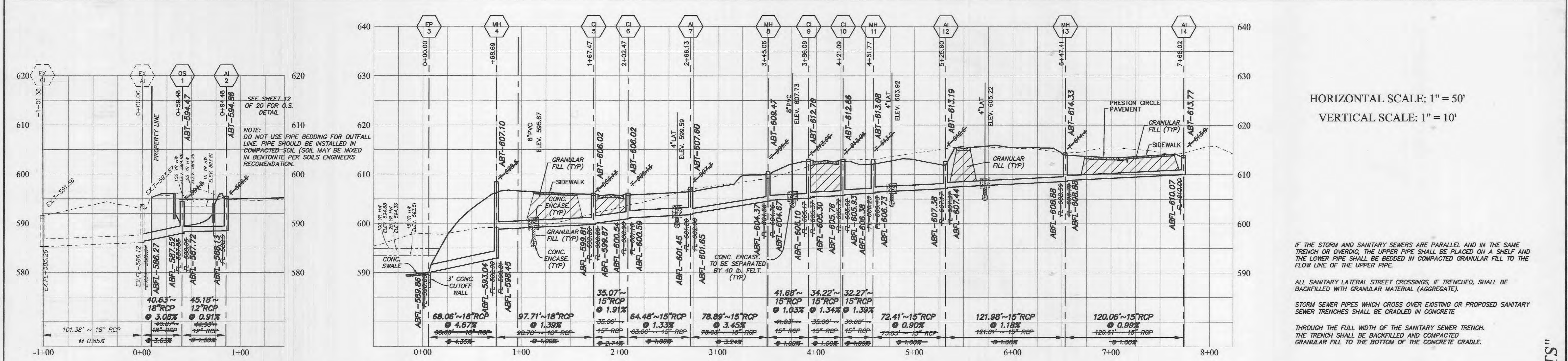
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CIVIL ENGINEERS
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LAND SURVEYORS
333 Mid Rivers Mill Drive
St. Peters, MD 21786
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Fax (838) 397-1104

WELLINGTON PARK
SANITARY SEWER PROFILES
THE JONES COMPANY
16640 Chestersfield Grove Blvd.
Chestersfield, MD 21035
(301) 235-7587

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SANITARY SEWER PROFILES			
SHEET 7 OF 23			
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"AS-BUILTS"



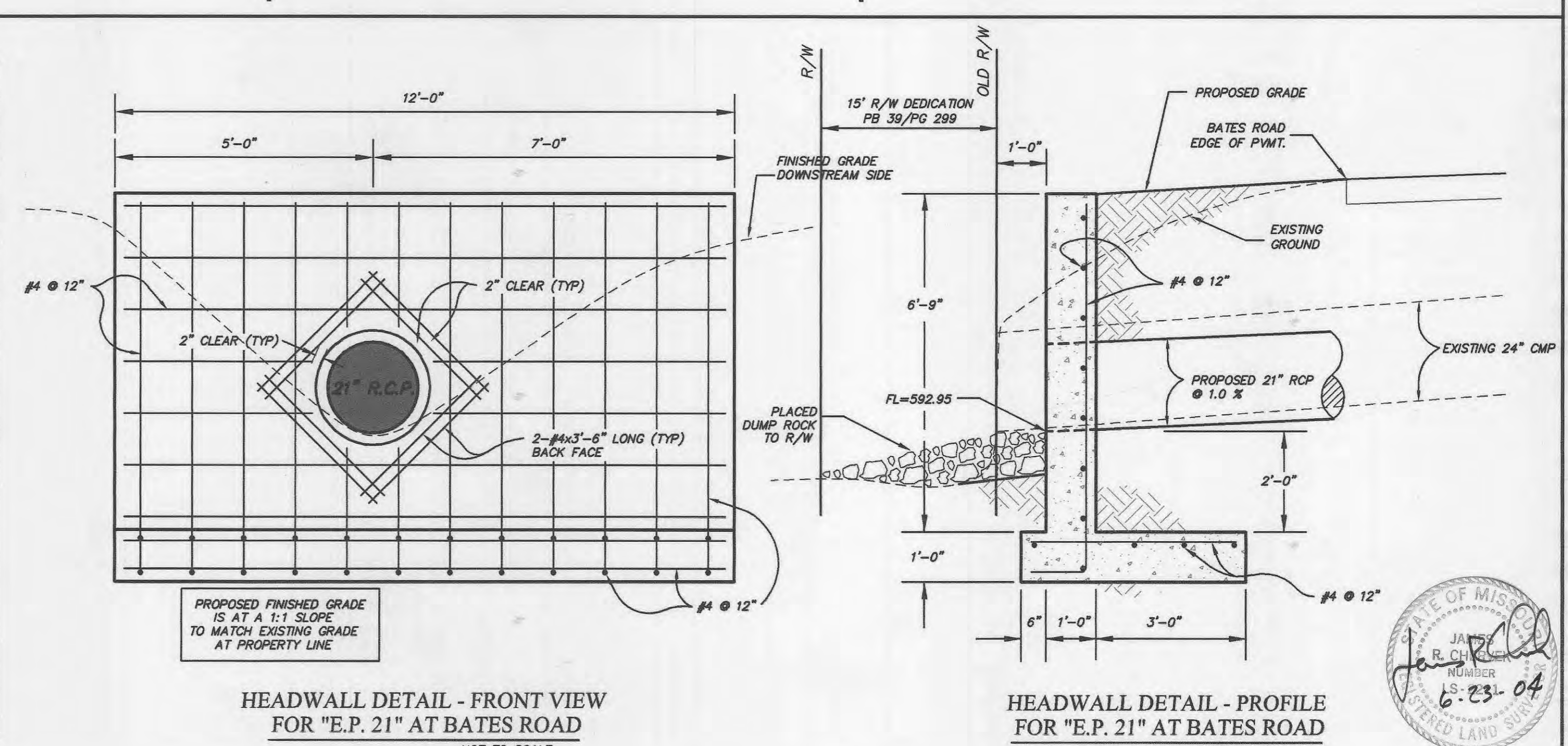
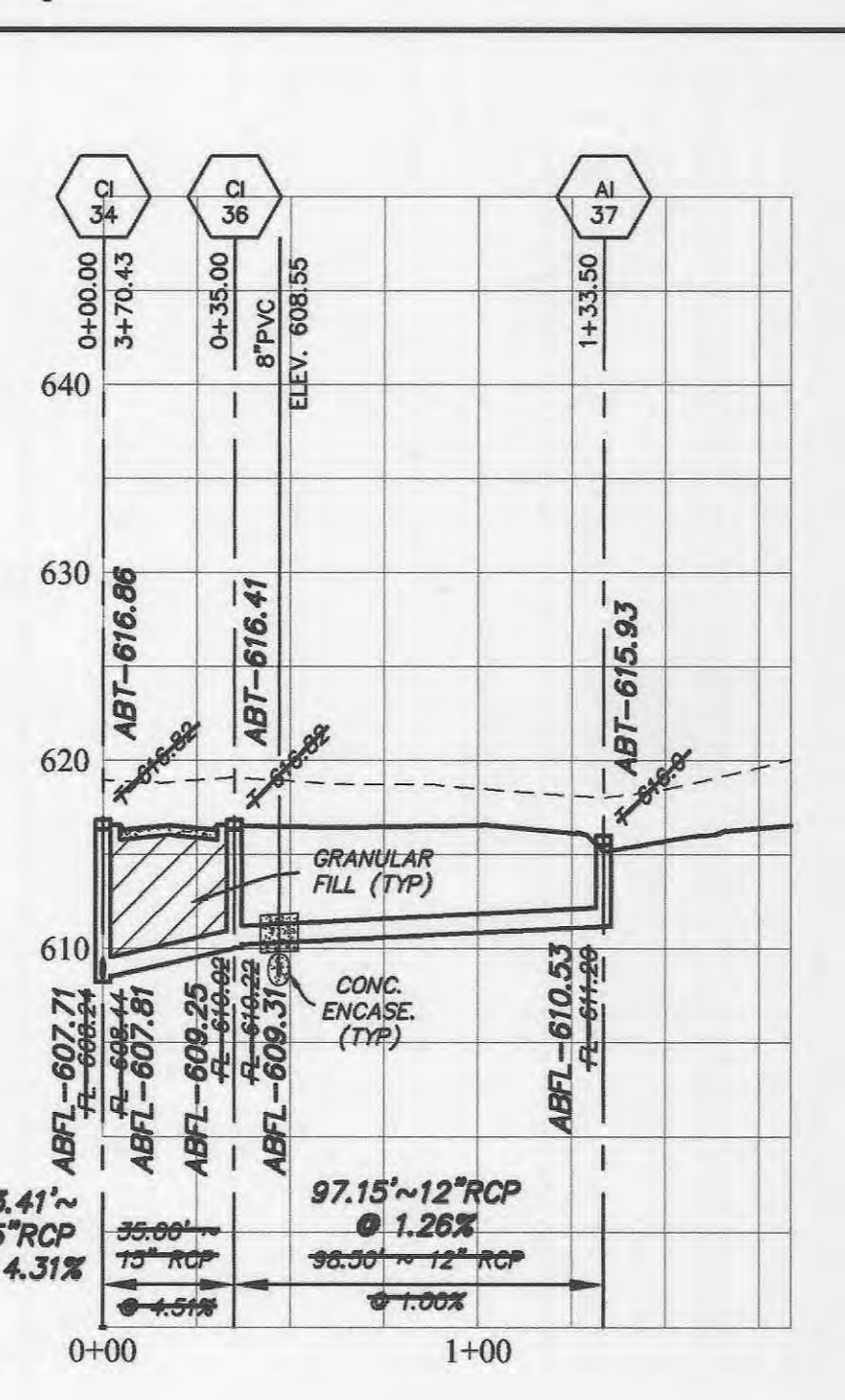
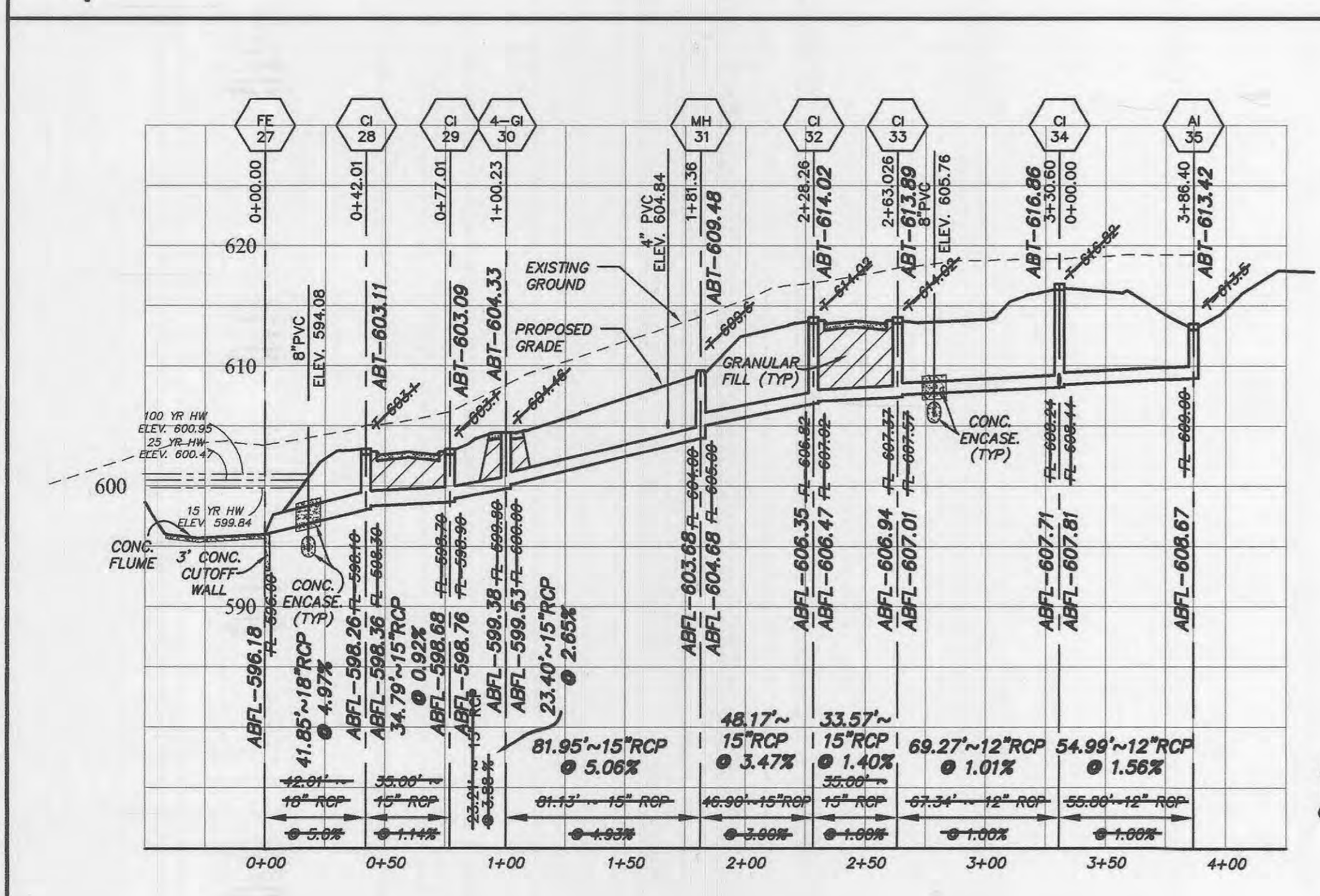
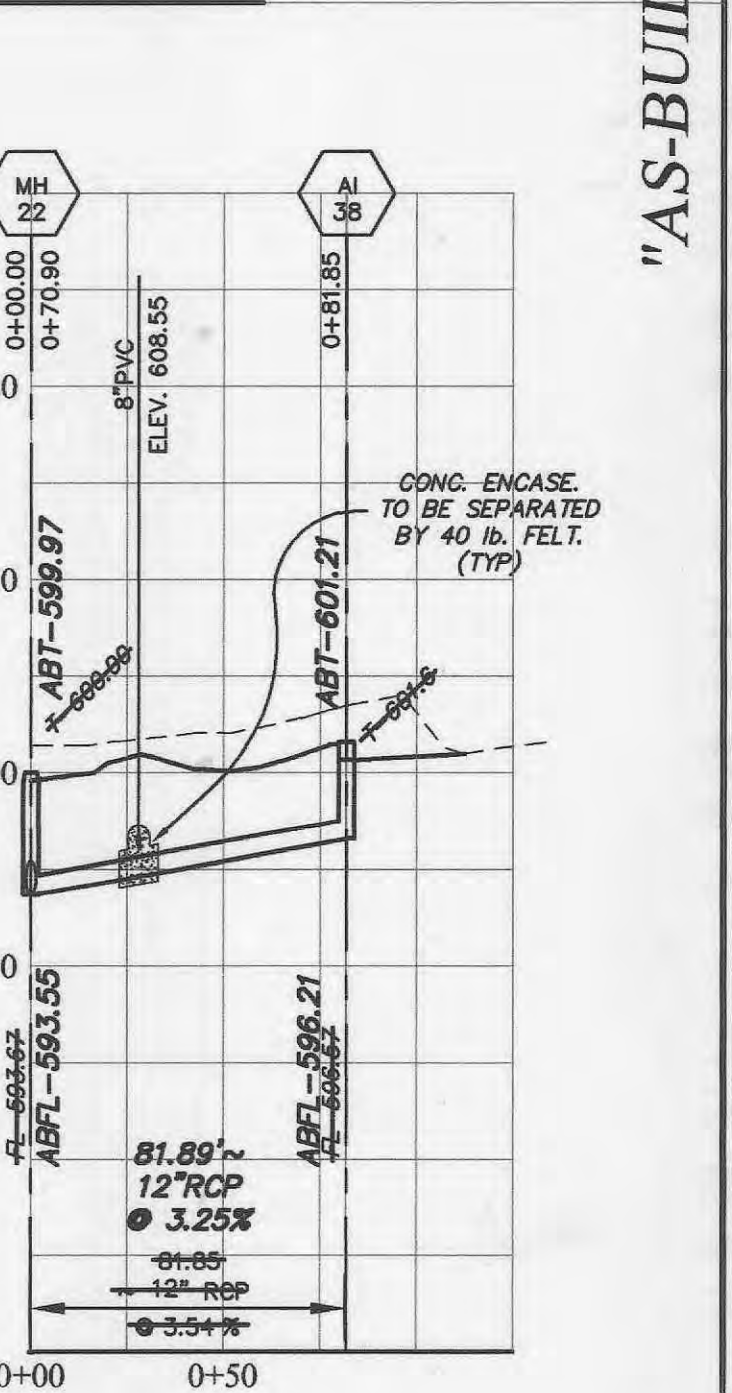
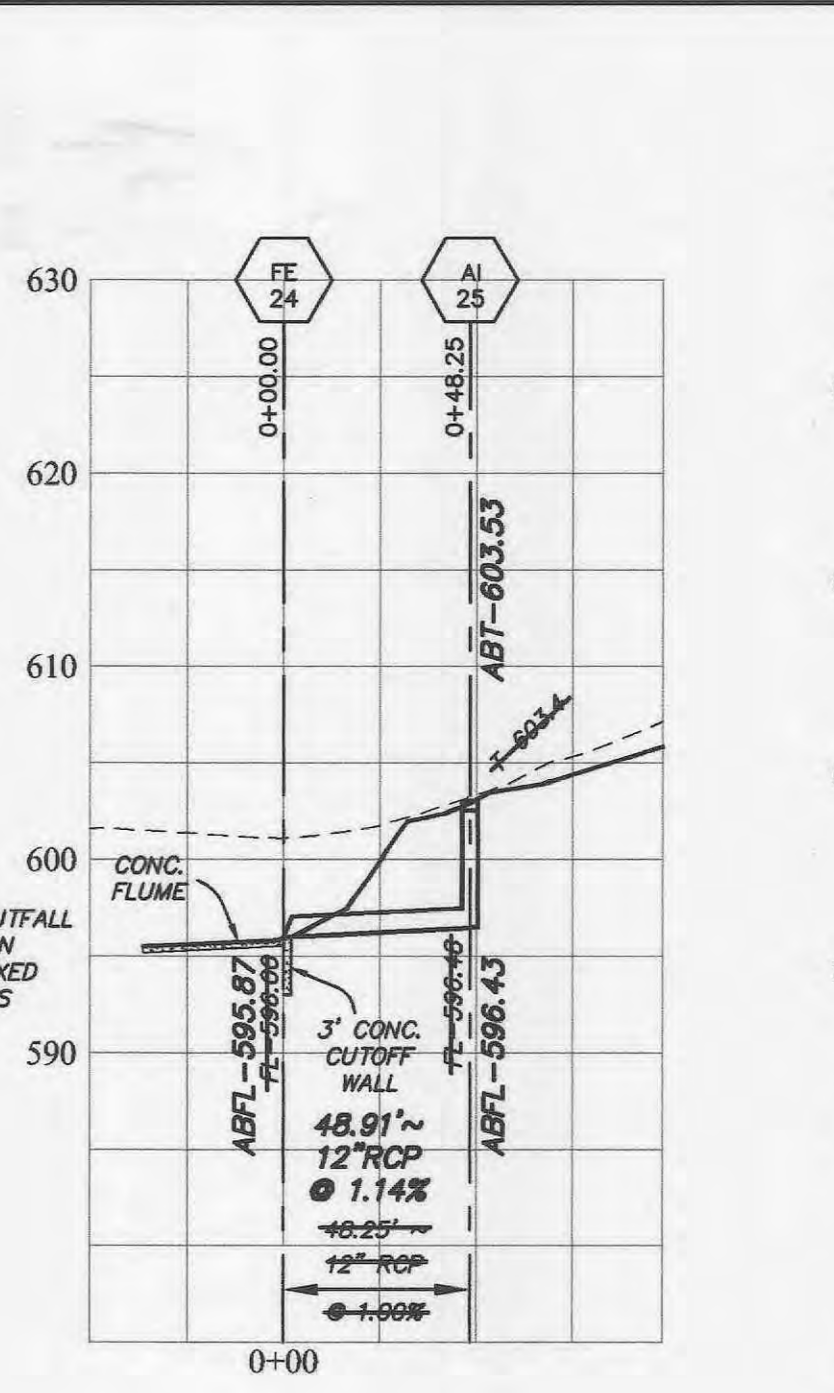
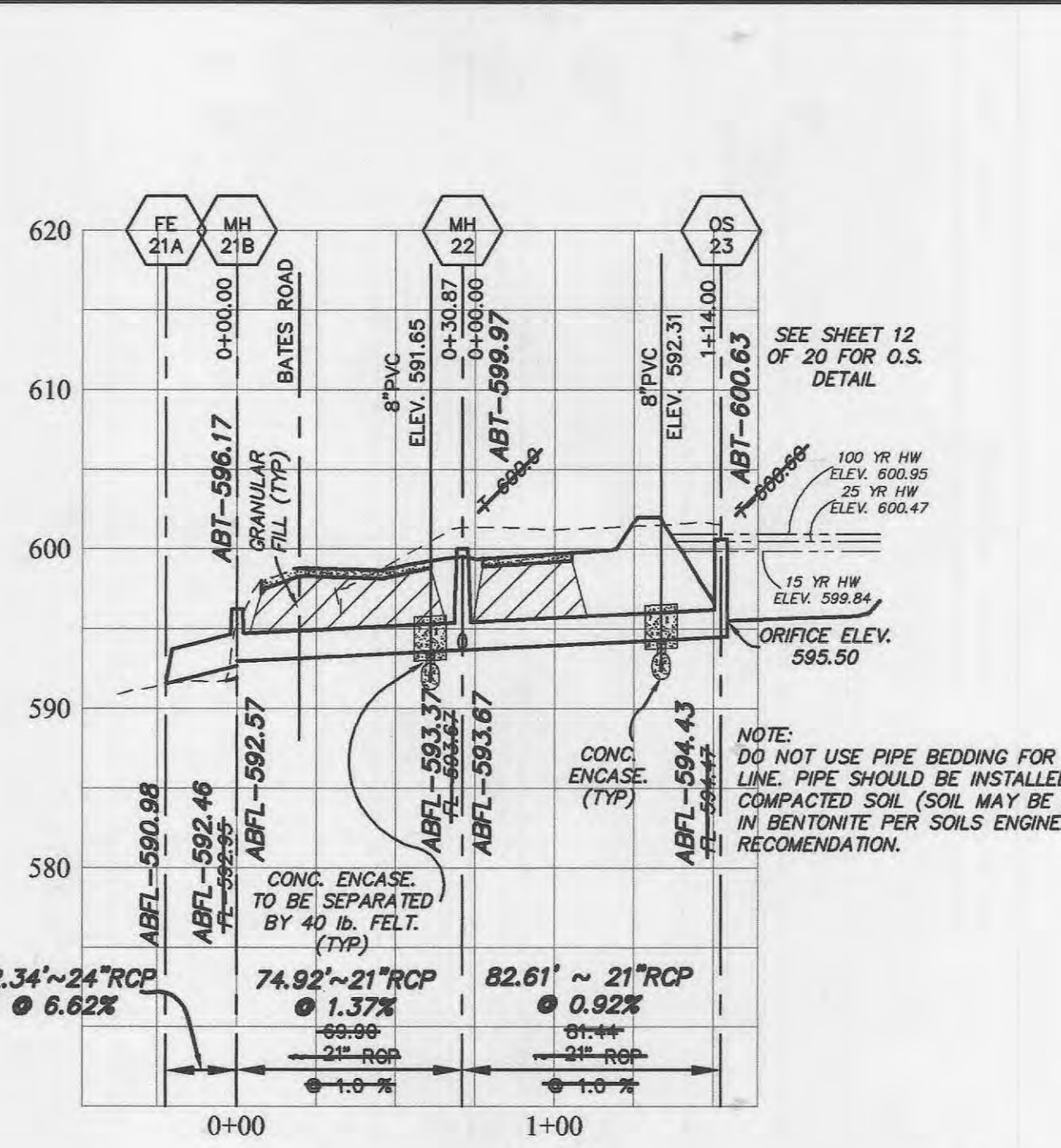
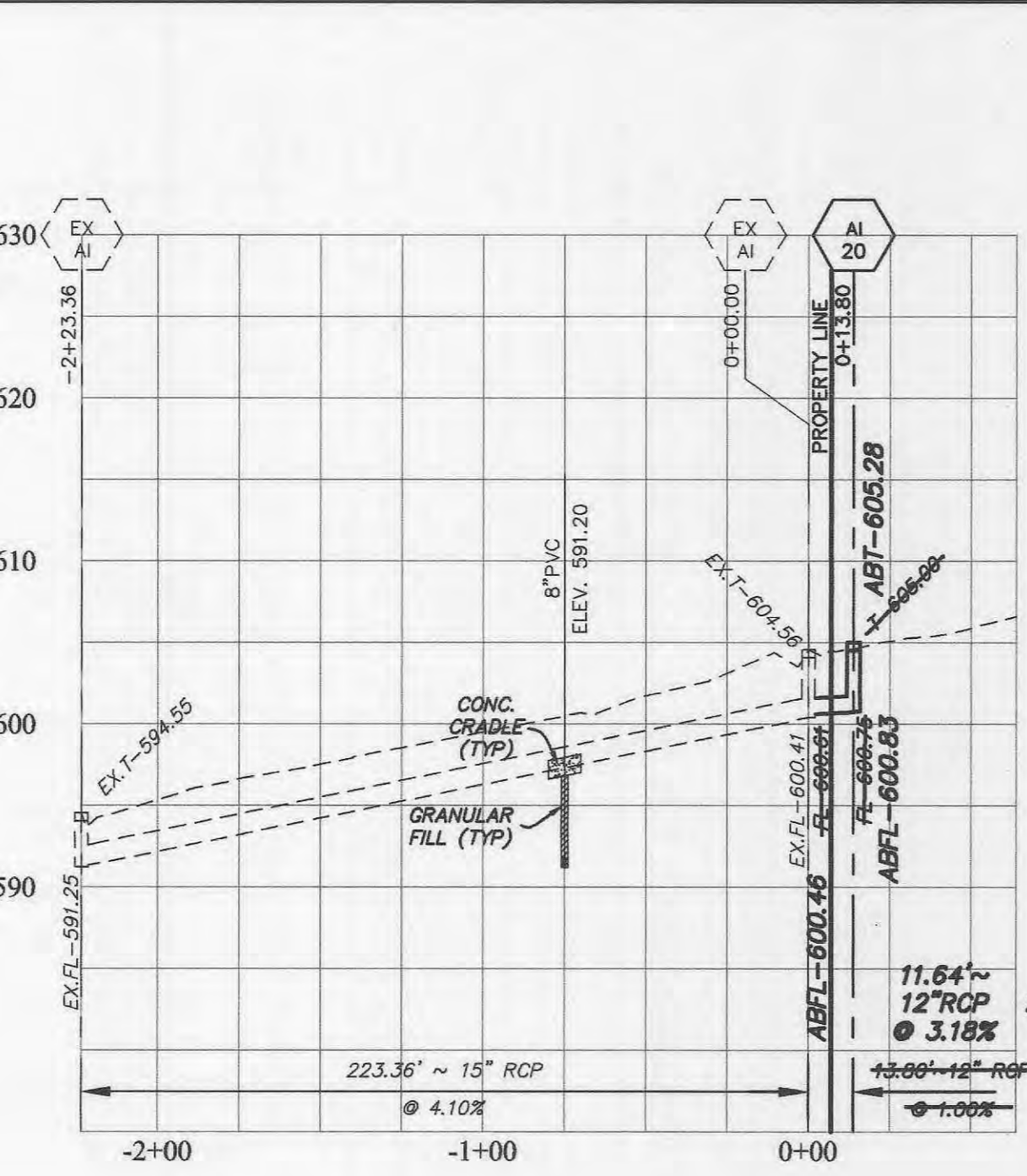
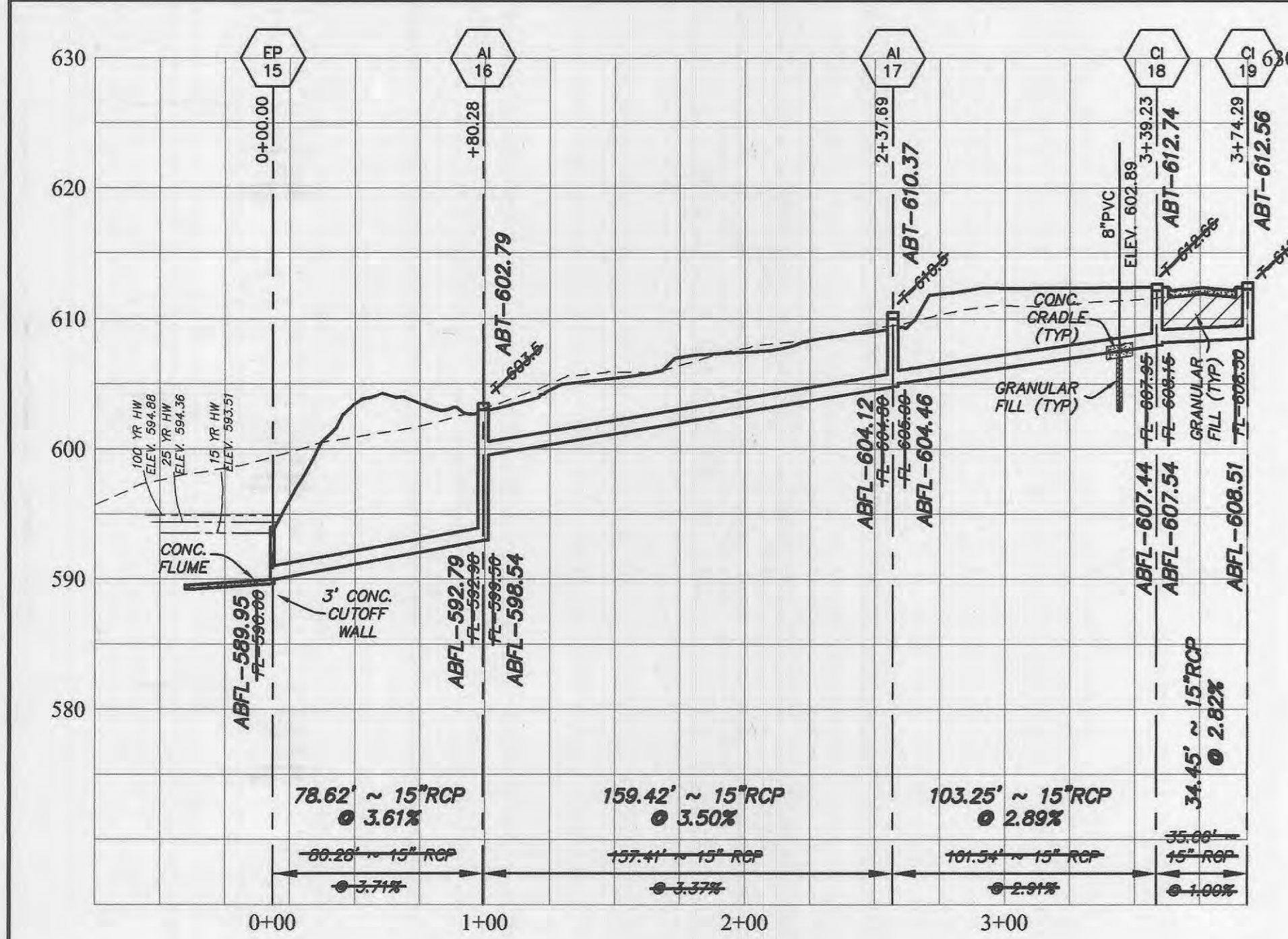
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ALL SANITARY LATERAL STREET CROSSINGS, IF TRENCHED, SHALL BE BACKFILLED WITH GRANULAR MATERIAL (AGGREGATE).

STORM SEWER PIPES WHICH CROSS OVER EXISTING OR PROPOSED SANITARY SEWER TRENCHES SHALL BE CRADLED IN CONCRETE.

THROUGH THE FULL WIDTH OF THE SANITARY SEWER TRENCH, THE TRENCH SHALL BE BACKFILLED AND COMPACTED GRANULAR FILL TO THE BOTTOM OF THE CONCRETE CRADLE.



HEADWALL DETAIL - FRONT VIEW FOR "E.P. 21" AT BATES ROAD
 NOT TO SCALE

HEADWALL DETAIL - PROFILE FOR "E.P. 21" AT BATES ROAD
 NOT TO SCALE



PICKETT RAY & SILVER

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WELLINGTON PARK
 STORM SEWER PROFILES

THE JONES COMPANY
 Building Division Since 1927
 A GENTEX Company

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		FIELD	1997B
		BOOK	821

STORM SEWER PROFILES
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Wellington Park Apr 05/16/04 ABK
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