

Locator Map



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# A SET OF AS-BUILT PLANS FOR WENTZVILLE R-IV SCHOOL DISTRICT CROSSROADS ELEMENTARY SCHOOL

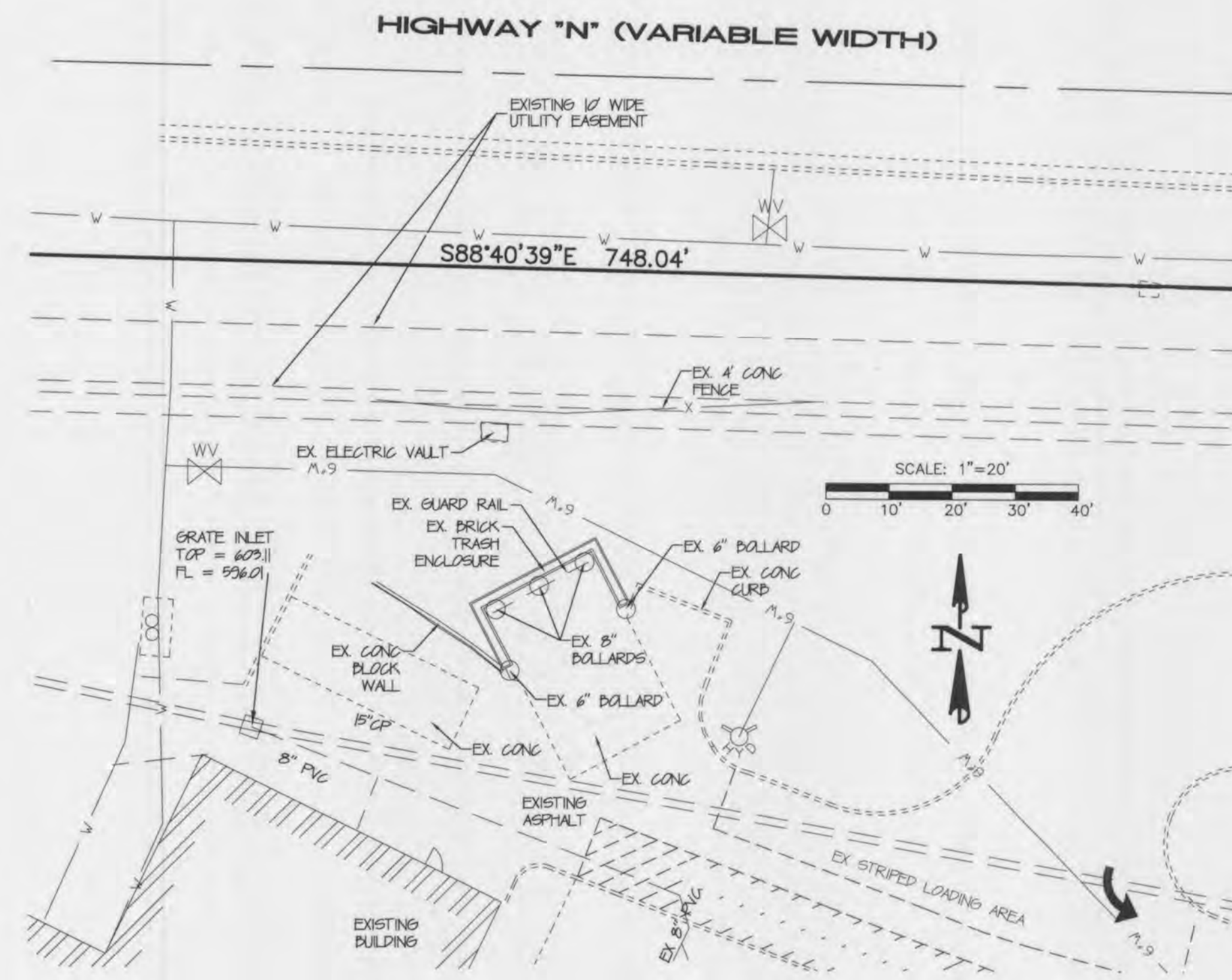
A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 12,  
TOWNSHIP 46 NORTH, RANGE 2 EAST  
OF THE FIFTH PRINCIPAL MERIDIAN  
ST. CHARLES COUNTY, MISSOURI

### DEVELOPMENT NOTES

- TOTAL PARCEL: 14.58 ACRES  
DISTURBED AREA: 0.76 ACRES
  - EXISTING ZONING: R-1 SINGLE FAMILY RESIDENTIAL (CITY OF O'FALLON)
  - CURRENT USE: ELEMENTARY SCHOOL
  - THE LOT SETBACKS ARE AS FOLLOWS:  
MINIMUM FRONT YARD: 25 FEET  
MINIMUM SIDE YARD: 6 FEET  
MINIMUM REAR YARD: 25 FEET
  - OWNER OF PROPERTY: WENTZVILLE R-IV SCHOOL DISTRICT  
1 CAMPUS DRIVE  
WENTZVILLE, MO 63385
  - PARKING REQUIREMENTS:  
2 SPACES PER CLASSROOM REQUIRED  
34 EXISTING CLASSROOMS  
3 PROPOSED CLASSROOMS  
37 X 2 = 74 SPACES REQUIRED  
EXISTING SPACES = 165 (INCLUDING 9 EXISTING HANDICAP SPACES)  
(NO ADDITIONAL PARKING REQUIRED)
  - STORMWATER DETENTION SHALL OCCUR THROUGH THE GLOBAL DETENTION BASIN WITH THE WINHAVEN DEVELOPMENT.
  - SITE COVERAGE:  
LOT AREA: 635,104 S.F. (14.58 ACRES)  
BUILDING AREA INCLUDING WALKS: 45,295 S.F. OR 7.1%  
PAVED AREA: 141,029 S.F. OR 22.2%  
GREENSPACE: 448,780 S.F. OR 70.6%
  - SITE IS SERVED BY:  
AMERENUE COMPANY 636-925-3235  
LACLEDE GAS COMPANY 636-946-0352  
DUCKETT CREEK SEWER DISTRICT 636-441-1244  
VERIZON/CENTURY TELEPHONE COMPANY 636-332-7392  
WENTZVILLE FIRE DEPARTMENT 636-332-5587  
CITY OF O'FALLON WATER 636-561-3737
- NOTE: THE CITY OF O'FALLON SHALL BE CONTACTED FOR UTILITIES LOCATED UNDER ITS MAINTENANCE AND RESPONSIBILITY.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE CITY OF WENTZVILLE, MISSOURI, COMMUNITY PANEL NUMBER 29183C0240 E DATED AUGUST 2, 1996 THIS PROPERTY IS WITHIN ZONE X. ZONE X IS DEFINED AS AN AREA OUTSIDE THE 500 YEAR FLOOD PLAIN.
  - ALL PAVING TO BE IN ACCORDANCE WITH THE ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
  - SIDEWALKS, CURB RAMP, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.
  - BRICK SHALL NOT BE USED IN THE CONSTRUCTION OF SANITARY OR STORM SEWER STRUCTURES.
  - ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
  - ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND.
  - NO SLOPES SHALL BE STEEPER THAT 3 (HORIZONTAL) TO 1 (VERTICAL).
  - ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.
  - ALL SILTATION CONTROL DEVICES (SILT FENCES AND SEDIMENT BASINS) SHALL FOLLOW ST. CHARLES COUNTY SOIL AND WATER CONSERVATION DISTRICT EROSION AND SEDIMENT CONTROL GUIDELINES.
  - LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS. A PHOTOMETRIC PLAN WILL BE REQUIRED TO BE SUBMITTED TO ENGINEERING FOR REVIEW PRIOR TO BUILDING PERMIT RELEASE.
  - LANDSCAPING CALCULATIONS:  
1 TREE PER 50 FEET OF STREET FRONTAGE. NEW BUILDING ADDITION ALONG HIGHWAY N HAS A TOTAL LENGTH OF 50.83 FEET. 1 TREE REQUIRED FOR THIS ADDITION. NO ADDITIONAL PARKING REQUIRED FOR THIS DEVELOPMENT. TOTAL TREES REQUIRED = 1 TOTAL TREES PROPOSED = 1
  - CURRENT OSHA GUIDELINES SHALL BE MET BY THE CONTRACTOR ON SITE AT ALL TIMES.

### CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

- ON MAY 5, 2011, THE PLANNING AND ZONING COMMISSION APPROVED THE ABOVE REFERENCED REQUEST.
- THE APPROVAL IS CONDITIONAL UPON THE FOLLOWING STAFF RECOMMENDATIONS BEING MET:
- PROVIDE WRITTEN APPROVAL FROM THE CITY OF DARDENNE PRAIRIE TO ALLOW A CONSTRUCTION ENTRANCE ONTO HIGHWAY N.
  - COORDINATE WITH THE CITY OF DARDENNE PRAIRIE REGARDING RIGHT-OF-WAY DEDICATION.
  - ANY TRASH DUMPSTER SHALL BE SCREENED PER CITY CODE.
  - REVIEW WHETHER PRIOR PLANS OF THE SCHOOL DISTRICT COMMITTED TO KEEPING THE GATED ENTRANCE ALONG LIMBER MEADOWS PARKWAY DOSED AT TIMES WHEN THE SCHOOL IS CLOSED.
  - THE CONSTRUCTION PLANS SHALL ADDRESS THE MUNICIPAL CODE REQUIREMENTS LISTED BELOW.
- THE APPROVAL IS ALSO CONDITIONAL UPON THE FOLLOWING MUNICIPAL CODE REQUIREMENTS BEING PROVIDED IN CONJUNCTION WITH THE CONSTRUCTION SITE PLANS:
- THE CITY OF O'FALLON HAS RECENTLY CREATED CONSTRUCTION PLAN SHEETS WHICH FORMAT SHALL BE USED WHEN SUBMITTING CONSTRUCTION PLANS FOR REVIEW. THE CONSTRUCTION PLAN SHEETS CAN BE FOUND AT [HTTP://WWW.OFALLON.MO.US/DEPT/ENGINEERING/HTML](http://www.ofallon.mo.us/DEPT/ENGINEERING/HTML)
  - ALL DEVELOPMENTS ARE REQUIRED TO PROVIDE LONG TERM POST CONSTRUCTION BMP'S SUCH AS: LOW IMPACT DESIGN, SOURCE CONTROLS AND TREATMENT CONTROLS THAT PROTECTS WATER QUALITY AND CONTROLS RUN OFF TO THE MAXIMUM EXTENT PRACTICAL. (ORDINANCE 5082-SECTION 405.245) LABEL THE PROPOSED STORM WATER DRAINING DEVICES ON THE PLANS.
  - IF WALL PACKS ARE PROPOSED ON THE EXTERIOR OF THE ADDITION, A PHOTOMETRIC LIGHTING PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PLANNING DIVISION. ILLUMINATION ATTRIBUTABLE TO EXTERIOR LIGHTING, AS MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 0.5 FOOT-CANDELES.



### PROJECT NOTES

- \* PARKING CALCULATIONS  
2 PARKING SPACES PER CLASSROOM OR ONE (1) SPACES PER FIVE (5) SEATS OR EIGHT (8) FEET OF BENCH LENGTH IN AUDITORIUM, WHICHEVER IS GREATER, PLUS ONE (1) SPACE PER TWO (2) FACULTY AND STAFF MEMBERS REQUIRED  
3 NEW CLASSROOMS ~ 37 TOTAL CLASSROOMS  
37 CLASSROOMS X 2 = 74 PARKING SPACES REQUIRED  
AUDITORIUM SEATING 290 NO BLEACHERS  
290/5 ~ 58 = 58 SPACES REQUIRED  
90 FACULTY/STAFF WITH ADDITION 90/2 ~ 45 PARKING SPACES REQUIRED  
74+45 = 119 PARKING SPACES REQUIRED  
165 EXISTING PARKING SPACES PROVIDED, INCLUDING 8 HANDICAP SPACES  
NO ADDITIONAL PARKING SPACES HAVE BEEN ADDED ON THIS PLAN

- BICYCLE PARKING (● 1 RACK PER 15 SPACES, MINIMUM 4-RACK PER INDIVIDUAL BUILDING):  
TOTAL PARKING PROVIDED FOR SCHOOL = 165 SPACES  
TOTAL REQUIRED BIKE SPACES = 11 ~ 11 BICYCLE SPACES  
TOTAL PROVIDED BIKE SPACES = 14  
NO ADDITIONAL BICYCLE SPACES HAVE BEEN ADDED ON THIS PLAN

- \* CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:  
OCTOBER 1 THROUGH MAY 31  
7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SUNDAY  
JUNE 1 THROUGH SEPTEMBER 30  
6:00 A.M. TO 8:00 P.M. MONDAY THROUGH FRIDAY  
7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY

- \* THE AREA OF THIS PHASE OF DEVELOPMENT IS 0.76 ACRES  
THE AREA OF LAND DISTURBANCE IS 0.76 ACRES  
NUMBER OF PROPOSED LOTS IS N/A  
BUILDING SETBACK INFORMATION FRONT 25'  
SIDE 6'  
REAR 25'

- \* THE ESTIMATED SANITARY FLOW IN GALLONS PER DAY IS 959 STUDENTS/STAFF @ 15 GPD = 14,385 GPD

### AS-BUILT NOTES

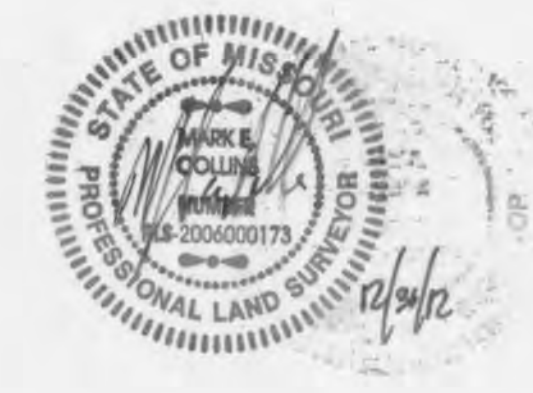
- REFERENCE BENCHMARK - (USGS)RM57 - ELEVATION 493.76 - CHISELED SQUARE ON THE SOUTHWEST CORNER OF CONCRETE RETAINING WALL AT HENNING ROAD BRIDGE AT OLD DARDENNE CREEK.
- SITE BENCHMARK #1 - ELEVATION 605.80 - NORTHEAST CORNER CONCRETE WALL, LOCATED AT THE EAST ENTRANCE OF CROSSROADS ELEMENTARY SCHOOL, ROUGHLY 2.0' EAST OF CONCRETE WALK
- SITE BENCHMARK #2 - ELEVATION 594.82' - CUT CROSS ON NORTH RIM OF EXISTING MANHOLE LOCATED SOUTHEAST OF NEW BUILDING ADDITIONS ALONG THE EXISTING SANITARY MAIN THAT RUNS WEST TOWARDS THE CREEK

### AS-BUILT STATEMENT

THE EXISTING SEWER LENGTHS, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS.

ALL FACILITIES REFERENCED ON THIS SET OF AS-BUILTS ARE PRIVATE. NO DESIGNATED EASEMENTS WERE REQUIRED.

MARK E. COLLINS  
MISSOURI PROFESSIONAL LAND SURVEYOR  
LICENSE #200600173



PREPARED FOR:  
 CROSSROADS ELEMENTARY  
 BUILDING ADDITION  
 WENTZVILLE R-IV SCHOOL DISTRICT  
 ONE CAMPUS DRIVE  
 WENTZVILLE, MISSOURI 63385  
 (636) 327-3800

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REVISIONS	
DATE	CITY COMMENTS
12/17/12	



ENGINEERING  
PLANNING  
SURVEYING  
221 Point West Blvd.  
St. Charles, MO 63301  
636-928-5562  
FAX 928-1718

12/17/12  
DATE  
07-13985E  
PROJECT NUMBER  
1 OF 2  
SHEET OF  
13985E ASB  
FILE NAME  
JLH  
DRAWN  
12/12 MEC  
DESIGNED CHECKED



CROSSROADS ELEMENTARY  
 BUILDING ADDITION  
 WENTZVILLE R-IV SCHOOL DISTRICT  
 ONE CAMPUS DRIVE  
 WENTZVILLE, MISSOURI 63385  
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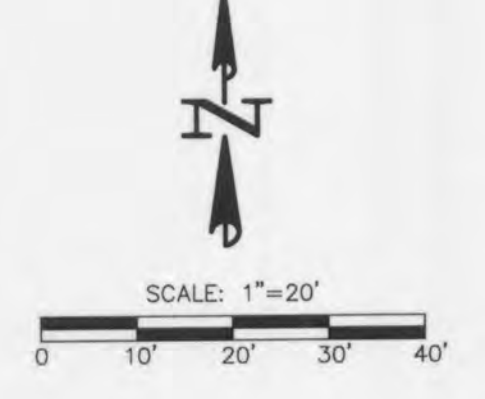
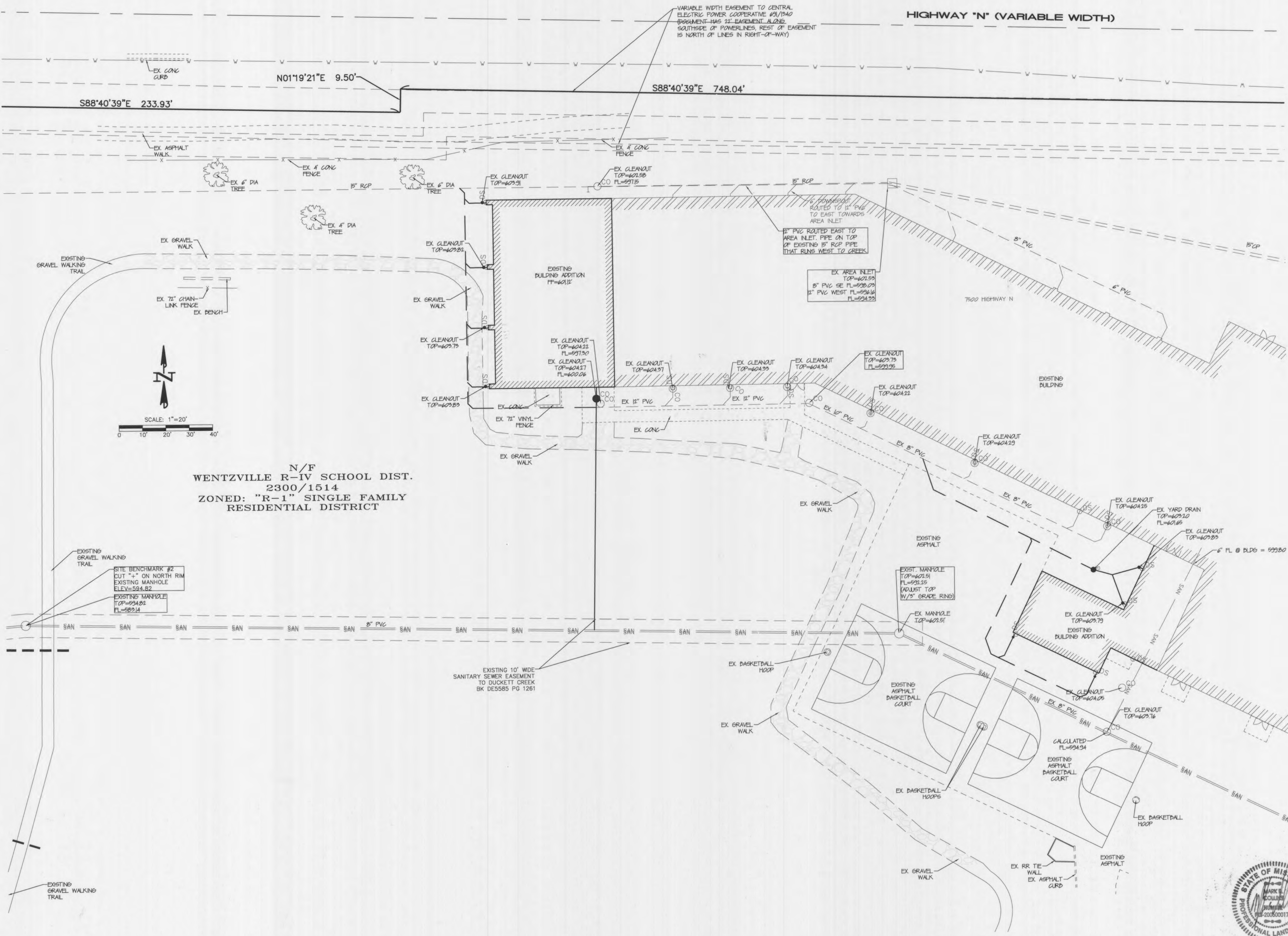
REVISIONS	CITY COMMENTS
12/17/12	

**BAE**

ENGINEERING  
 PLANNING  
 SURVEYING

221 Point West Blvd.  
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12/17/12  
 DATE  
 07-13985E  
 PROJECT NUMBER  
 2 OF 2  
 SHEET OF  
 13985E ASB  
 FILE NAME  
 JLH  
 DRAWN  
 12/12 MEC  
 DESIGNED CHECKED



N/F  
 WENTZVILLE R-IV SCHOOL DIST.  
 2300/1514  
 ZONED: "R-1" SINGLE FAMILY  
 RESIDENTIAL DISTRICT

EXISTING MANHOLE  
 TOP=524.82  
 ELEV=524.82

EXISTING MANHOLE  
 TOP=523.14  
 FL=523.14

EXISTING 10' WIDE  
 SANITARY SEWER EASEMENT  
 TO DUCKETT CREEK  
 BK DE5585 PG 1261