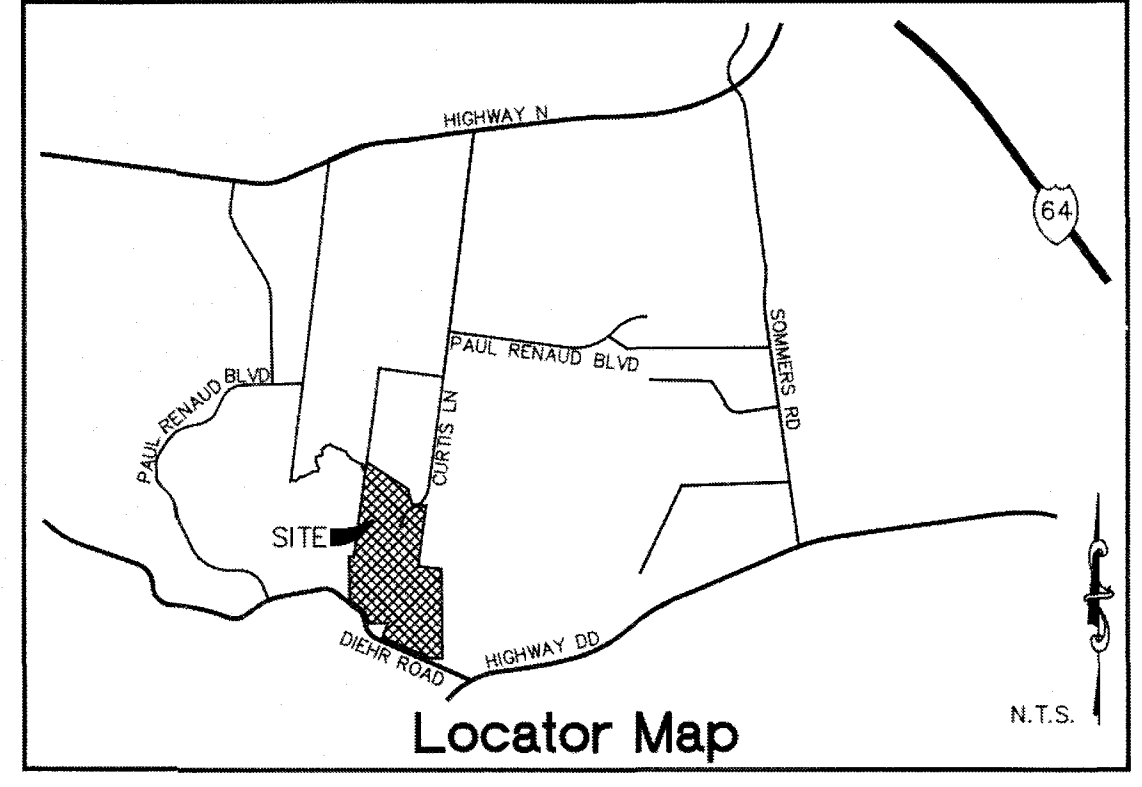


A SET OF CONSTRUCTION PLANS FOR WESTLEIGH

A TRACT OF LAND BEING PART OF U.S. SURVEY 931 AND FRACTIONAL SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI



Zoning and Density Notes

- GROSS AREA OF SITE: 56.16 ACRES
- CURRENT ZONING: R-1 SINGLE FAMILY RESIDENTIAL 56.16 ACRES
- CURRENT OWNERS: MOLLISON DONALD & MARIANNE 1237 MENDOZA DR. ST. PETERS, MO 63376
BARNETT STEPHEN R & CATHERINE M 2500 CURTIS LN. LAKE SAINT LOUIS, MO 63367
LOMBARDO HOMES OF ST. LOUIS, LLC 2299 TECHNOLOGY DRIVE, SUITE 150 O'FALLON, MO 63368
- DWELLING UNITS PROPOSED: 57 UNITS
- SPACES REQUIRED: (2.0 SPACES/UNIT)(57 UNITS)=114 SPACES
TOTAL SPACES SHOWN: 114 GARAGE SPACES, 114 DRIVEWAY SPACES, 228 SPACES PROVIDED

Conditions of Approval From Planning and Zoning

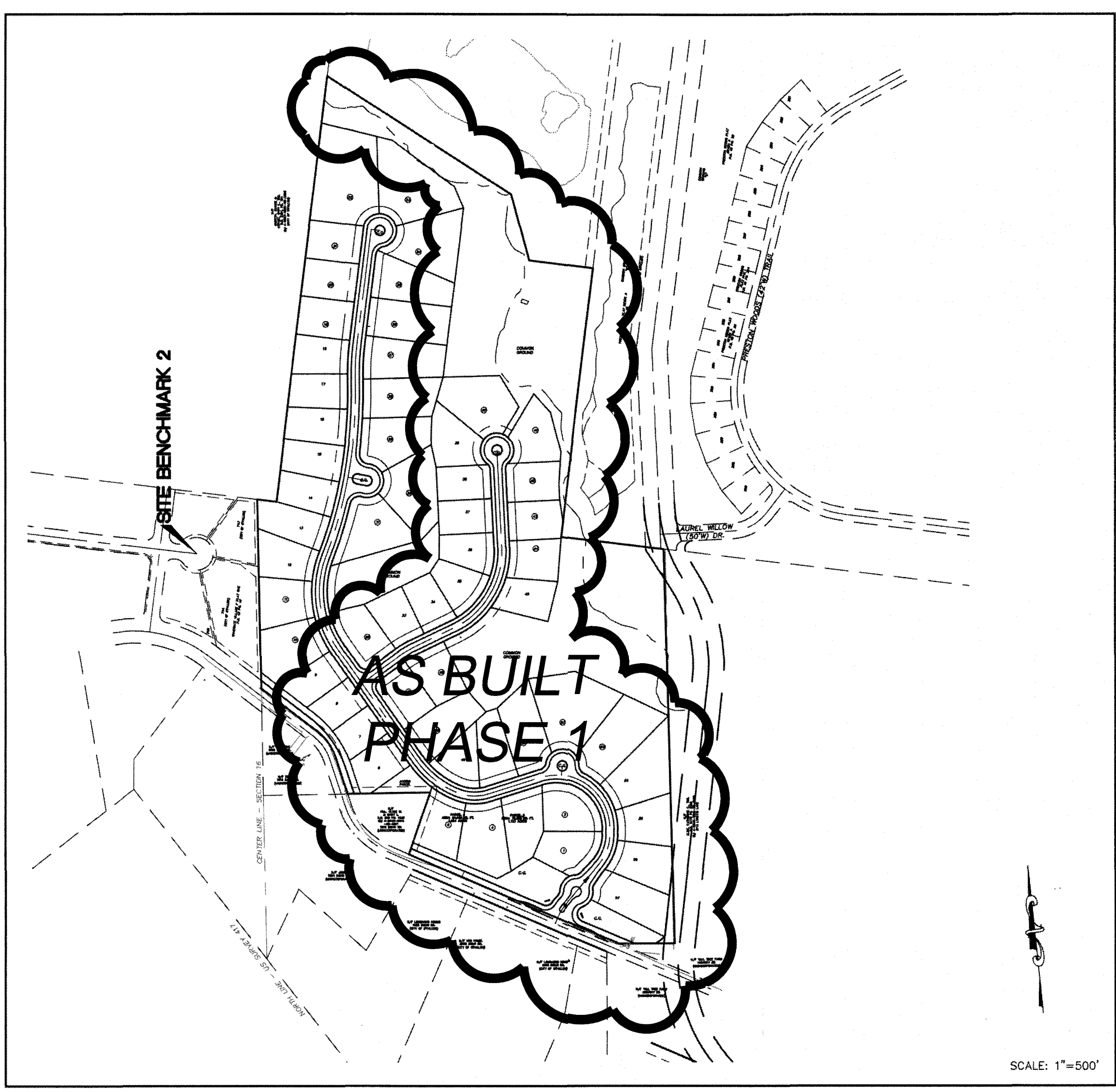
- The approval is conditional upon the following Staff recommendations being met:
 - The USPS shall be contacted to realize their preferred method of mail delivery. Provide written confirmation from the USPS prior to construction plan approval that states their preferred method and location of mail delivery. The Construction Plans shall show where mail box locations are proposed. If a kiosk is required, provide off-street parking.
 - Revise the proposed alignment of the Lake St. Louis Blvd extension to match the existing right of way dedication.
 - Provide right of way dedication for the future roadway alignment of Dihr Road and Highway DD. This may include the construction of a round-a-bout.
 - Provide approval from the sanitary, water, school and fire districts.
 - Traffic calming will be addressed with Construction Plans.
 - Provide approval from the sanitary, water, school and fire districts.
 - A contribution for the improvement of Dihr Road to the center line to upgrade it to a principle arterial roadway will be required.
 - An 80' right of way dedication for Dihr Road with 10' wide utility easements shall be provided as well as temporary construction easements for the construction of improvements of Dihr Road.
 - Landscaped terms shall be provided in the common ground strip along Dihr Road.
 - Approval of the street names will be required from St. Charles County.
 - The homebuilder shall be required to provide, at the City of O'Fallon's discretion, engineering studies on all lots with extreme changes in topography showing that homes can be built without significant danger to health, life, or property per Section 405.140 of the City of O'Fallon's subdivision code. These studies must be supplied and approved prior to the issuance of building permits.
 - In accordance with the Wentzville School District comments, the developer shall provide a drop off lane at the intersection of Dihr Road and the entrance to the subdivision.
 - The above Municipal Plans must be met before Construction Plan approval.

- The approval is also conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:
- The curb inlet located on Lot 13 shall be placed as to not interfere with the driveway.
 - Demonstrate how Lots 31 and 32 are served by sanitary sewer.
 - Label the line on Lots 13-15. Its purpose is not clear.
 - Provide right of way dedication for the future roadway alignment of Dihr Road and Highway DD. This may include the construction of a round-a-bout.
 - All retaining walls are to be in easements and be maintained by the home owners association.
 - The gates at the entrance shall not be permitted due to the public right of way.
 - Any storage in the detention basin below the base flood elevation will not count toward the required storm water storage.
 - Comply with Section 415 of the City Code, paying particular attention to section 415.170 and the need for compensatory storage for fill placed in the floodplain.
 - The developer shall work with City Staff on future roadway improvements to provide for proper ingress/egress.
 - The pavement radius for the eyebrow shall be a minimum of 55' to allow school bus turnaround.

Legal Description

A TRACT OF LAND BEING PART OF U.S. SURVEY 931 AND FRACTIONAL SECTION 16, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD AT THE NORTHEAST CORNER OF LOT 743 OF WYNDGATE VILLAGE F PLAT ONE, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 43 PAGE 46 OF THE ST. CHARLES COUNTY, MISSOURI RECORDS; SAID CORNER ALSO BEING THE INTERSECTION OF THE NORTH-SOUTH CENTERLINE OF ABOVE SAID SECTION 16 AND THE SOUTH LINE OF ABOVE SAID U.S. SURVEY 931; THENCE ALONG SAID SOUTH LINE, SOUTH 83°01'44" EAST, 63.25 FEET TO A POINT BEING THE SOUTHEAST CORNER OF A TRACT OF LAND CONVEYED TO JOHANN M. GRIFFITH AND GARY E. KOPADT BY DOCUMENT RECORDED IN DEED BOOK 2354 PAGE 724 OF SAID RECORDS; THENCE LEAVING SAID SOUTH LINE AND ALONG THE EAST LINE OF SAID GRIFFITH AND KOPADT TRACT, NORTH 06°48'44" EAST, 1383.45 FEET; THENCE LEAVING SAID EAST LINE, SOUTH 57°30'29" EAST, 708.85 FEET; THENCE SOUTH 14°54'15" EAST, 222.86 FEET TO A POINT ON THE NORTH LINE OF A TRACT OF LAND CONVEYED TO DONALD AND MARIANNE MOLLISON BY INSTRUMENT RECORDED IN DEED BOOK 1874 PAGE 1121 OF SAID RECORDS; THENCE ALONG SAID NORTH LINE, SOUTH 82°55'01" EAST, 208.55 FEET TO A POINT IN THE WEST LINE OF COMMON GROUND 'D' OF PRESTON WOODS PLAT SEVEN A, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 48 PAGE 22 OF SAID RECORDS; THENCE LEAVING SAID NORTH LINE AND ALONG SAID WEST LINE OF COMMON GROUND 'D', SOUTH 06°48'24" WEST, 872.63 FEET TO A POINT ON SAID SOUTH LINE OF U.S. SURVEY 931; THENCE LEAVING SAID WEST LINE AND ALONG SAID SOUTH LINE OF U.S. SURVEY 931, SOUTH 83°07'09" EAST, 335.61 FEET TO A POINT ON THE NORTH-SOUTH CENTERLINE OF THE EAST-WEST CENTERLINE OF SAID SOUTHWEST QUARTER; THENCE LEAVING SAID NORTH-SOUTH CENTERLINE AND ALONG A LINE BEING 38 FEET NORTH OF AND PARALLEL TO SAID EAST-WEST CENTERLINE, SOUTH 89°37'54" WEST, 180.47 FEET TO A POINT ON THE NORTHEAST RIGHT-OF-WAY LINE OF SAID DIHR ROAD, SAID LINE BEING 20 FEET PERPENDICULAR DISTANCE NORTHEAST OF THE CENTERLINE OF SAID ROAD; THENCE LEAVING SAID SAID LINE AND ALONG SAID NORTHEAST RIGHT-OF-WAY LINE, NORTH 66°58'09" WEST, 740.25 FEET TO THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO DONALD C. AND MARIANNE E. MOLLISON BY DOCUMENT RECORDED IN DEED BOOK 2692 PAGE 86 OF SAID RECORDS; THENCE LEAVING SAID SAID RIGHT-OF-WAY LINE AND ALONG THE WEST LINE OF SAID MOLLISON TRACT, NORTH 18°58'33" EAST, 211.54 FEET TO THE NORTHWEST CORNER OF SAID MOLLISON TRACT, SAID CORNER ALSO BEING ON THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO DONALD AND MARIANNE MOLLISON BY INSTRUMENT RECORDED IN DEED BOOK 1874 PAGE 1121 OF SAID RECORDS; THENCE LEAVING SAID SAID WEST LINE AND ALONG THE SOUTH LINE OF SAID MOLLISON TRACT, SOUTH 89°01'25" WEST, 267.50 FEET TO A POINT ON SAID NORTHEAST RIGHT-OF-WAY LINE OF SAID DIHR ROAD; THENCE LEAVING SAID SAID SOUTH LINE AND ALONG SAID NORTHEAST RIGHT-OF-WAY LINE THE FOLLOWING COURSES, DISTANCE AND CURVES: NORTH 18°15'03" WEST, 123.86 FEET TO A POINT OF CURVATURE; ALONG A CURVE TO THE LEFT WITH A RADIUS OF 180.28 FEET, WHOSE CHORD BEARS NORTH 35°34'35" WEST, 107.37 FEET, AN ARC DISTANCE OF 109.03 FEET TO A POINT OF TANGENCY; AND NORTH 52°54'06" WEST, 224.30 FEET TO A POINT ON SAID NORTH-SOUTH CENTERLINE OF FRACTIONAL SECTION 16; THENCE LEAVING SAID SAID NORTH-SOUTH CENTERLINE OF FRACTIONAL SECTION 16; THENCE LEAVING SAID SAID NORTHEAST RIGHT-OF-WAY LINE AND ALONG SAID SAID NORTH-SOUTH CENTERLINE, NORTH 01°09'51" WEST, 613.10 FEET TO THE POINT OF BEGINNING AND CONTAINS 2,446,142 SQUARE FEET, OR 56.15 ACRES, MORE OR LESS ACCORDING TO CALCULATIONS PERFORMED BY THE STERLING COMPANY DURING THE MONTH OF AUGUST, 2015 UNDER ORDER NUMBER 15-02-043.



Drawing Index

1.1	Cover Sheet
1.2	General Notes
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3.1-3.3	Grading Plan
4.1-4.3	Site Plan
5.1-5.3	Utility Plan
6.1-6.2	Street Profiles
7.1-7.3	Sanitary Profiles
7.4-7.6	Off-Site Sanitary Plan & Profile
8.1-8.4	Storm Profiles
8.5	Hydraulic Calculations
9.1-9.4	Drainage Area Map
10.1-10.6	Detention / Water Quality Details
12.1-12.2	Entrance Details / Warping
13.1-13.2	Retaining Wall Plan & Profiles
14.1	Traffic Control Plan
14.1	Landscape Plan
DTL 1 - DTL 2	Erosion Control Details
DTL 3 - DTL 7	Sanitary Sewer Details
DTL 8	Storm Sewer Details
DTL 9	Water Main Details
DTL 10 - DTL 11	Pavement Details
DTL 12	Miscellaneous Details
DTL 13	Access Plan Details
L1-L2	Landscape Plan

Benchmarks

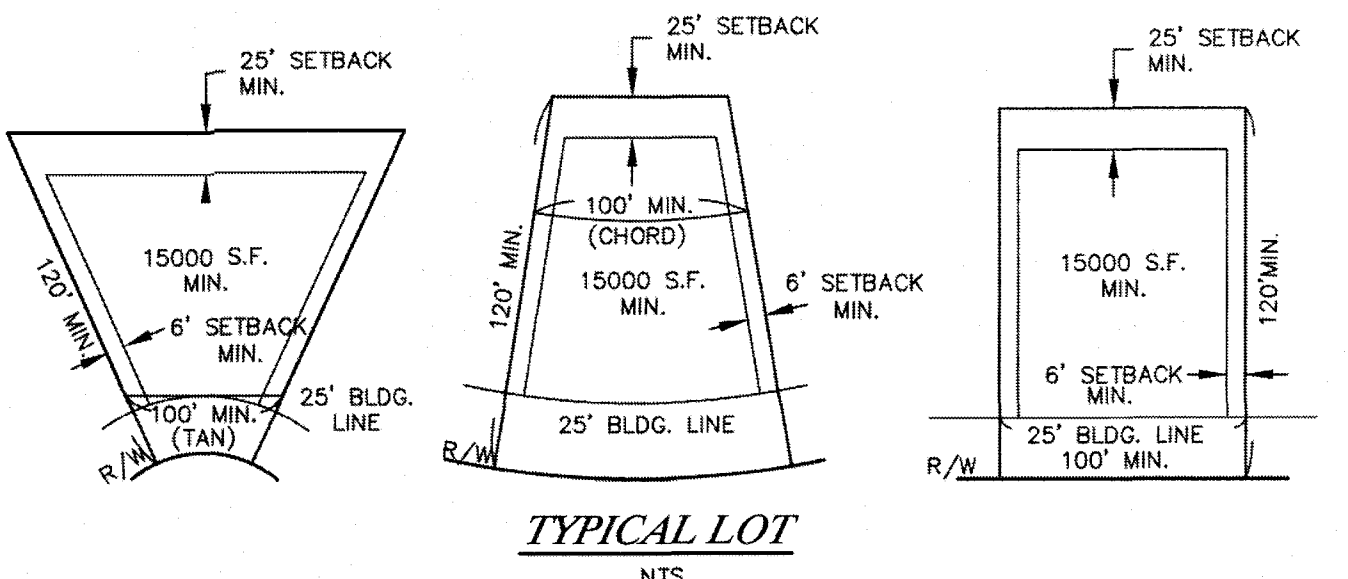
THE STERLING COMPANY HAS ESTABLISHED TWO SITE BENCHMARKS AS DESCRIBED BELOW. THE SITE DATUM WAS ESTABLISHED USING TRIMBLE REAL-TIME KINEMATIC GPS HARDWARE FROM TWO POINTS ON THE PROJECT SITE TO A CONTINUOUSLY OPERATING REFERENCE STATION (CORS) WITH AN ID OF MOOR AND A PID OF DM4688 VIA THE MISSOURI DEPARTMENT OF TRANSPORTATION REAL TIME KINEMATIC NETWORK. THESE POINTS WERE TIED TOGETHER VIA GROUND TRAVERSE USING CONVENTIONAL SURVEY EQUIPMENT AND THE SITE BENCHMARKS WERE ESTABLISHED FROM THE GROUND TRAVERSE.

SITE BENCHMARK #1: ELEVATION = 618.75' (NAVD 88)
IRON ROD WITH TRAVERSE CAP SET 54 FEET EAST OF EAST EDGE OF GRAVEL PAVEMENT OF CURTIS ROAD, APPROX. 383 FEET SOUTH OF ITS INTERSECTION WITH THE CENTERLINE OF PAUL RENAUD BOULEVARD; 79 FEET SOUTHWEST OF A POWER POLE AND 189 FEET NORTHEAST OF A POWER POLE.

SITE BENCHMARK #2: ELEVATION = 629.21' (NAVD 88)
"CROSS" CUT IN CONCRETE AT THE CENTER LINE OF CUL-DE-SAC AT THE EAST END OF TRAILWYND COURT; 46 FEET WEST OF A LIGHT STANDARD AND 119 FEET EAST OF THE INTERSECTION OF THE CENTERLINES OF TRAILWYND COURT AND TRAILWYND DRIVE.

Project Data

- TOTAL SITE AREA: 56.16 ACRES
- TOTAL DISTURBED: 40.59 ACRES
- FLOOD NOTE:
SUBJECT TRACT IS LOCATED IN FLOOD ZONE "X" (SHADED) AND FLOOD ZONE "X" (UNSHADED) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBERS 2218302200 EFFECTIVE JANUARY 20, 2016 AND 29183040100 EFFECTIVE JANUARY 20, 2016. FLOOD ZONE "AE" IS DEFINED AS BASE FLOOD ELEVATIONS DETERMINED, FLOOD ZONE "X" (SHADED) IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. FLOOD ZONE "X" (UNSHADED) IS DEFINED AS AREAS OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- TREE PRESERVATION CALCS:
EXISTING TREES = 40.59 ACRES
TREES REMOVED = 29.82 ACRES
TREES SAVED = 10.77 ACRES (26.5%)
TREES REQUIRED TO BE SAVED = 8.12 ACRES (20.0%)
- ESTIMATED SANITARY SEWER FLOW = 21,090 GALLONS/DAY



* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 56.16 AC.
The area of land disturbance is 40.59 AC.
Number of proposed lots is 57 LOTS

Building setback information:
Front 25 FT
Side 6 FT
Rear 25 FT

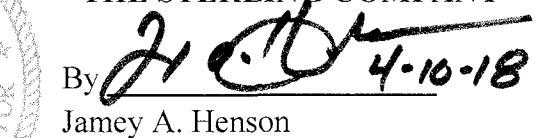
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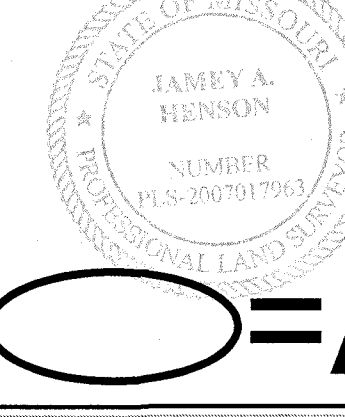
EXISTING	Legend	PROPOSED
--- 542 ---	CONTOURS	(542)
X 536	SPOT ELEVATIONS	XXX X
---	CENTER LINE	---
---	BUILDINGS, ETC.	---
---	TREE LINE	---
X X	FENCE	X X
---	SILTATION CONTROL FENCE	X X X
---	STORM SEWERS	---
---	SANITARY SEWERS	---
---	CATCH BASIN	---
---	AREA INLET	---
---	GRATED INLET	---
---	DOUBLE CURB INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	CLEANOUT	---
---	LATERAL CONNECTION	---
---	UTILITY OR POWER POLE	---
---	FIRE HYDRANT	---
---	TEST HOLE	---
---	PAVEMENT	---
---	GAS MAIN & SIZE	(G) (G)
---	WATER MAIN & SIZE	(W) (W)
---	TELEPHONE	(T) (T)
---	ELECTRIC (U) UNDERGROUND	(UE)
---	ELECTRIC (O) OVERHEAD	(OHE)
---	FLOW LINE	---
---	TO BE REMOVED	TBR
---	TO BE REMOVED & RELOCATED/REPLACED	TBRR

AS-BUILT IMPROVEMENT LOCATIONS

The existing sewers length, sizes, flowlines, depths of structures and sewers, the pavement, water valves and hydrants, electric boxes, and gas valve locations with respect to existing or proposed easements have been located and/or measured. The results of those measurements are shown on this set of Final Measurement Plans. Since the sanitary water and water line locations have been plotted from information provided by the contractor(s) or other sources, I disclaim any responsibility for that specific information.


All public utilities are located within the designated existing or proposed easements except as shown herein.

THE STERLING COMPANY
By:  4-10-18
Jamey A. Henson
Mo. Reg. P.L.S. - #2007017963



AS BUILT

Approved
April 12, 2018

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY:  DATE MARCH 1, 2017
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
2	9-1-2016 PWSD #2 & DCSD Comments
3	10-24-16 City Comments
4	11-15-16 DCSD Comments
5	12-12-16 City Comments
6	12-28-16 DCSD Comments
7	1-18-17 PWSD #2 Comments
8	1-26-17 Fire District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments

Utility Contacts

Sanitary Sewer
City of O'Fallon
1400 N. Main St.
O'Fallon, MO: 63366
Contact: 636-281-2858

Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO: 63368
636-441-1244

Water
City of O'Fallon
1400 N. Main St.
O'Fallon, MO: 63366
Contact: 636-281-2858

Missouri American Water Co.
727 Craig Rd.
St. Louis, MO - 63141
1-866-430-0820

Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO: 63366
636-561-3737 Ext. 131

Storm Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO: 63366
636-281-2858

Curve River Electric Co.
P.O. Box 160
Troy, MO: 63379-0160
1-800-392-3709

Ameren-UE
209 Cahoon Road
Wentzville, MO: 63385
636-659-6312

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO: 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO: 63385
636-332-7261

Fire Department
O'Fallon Fire Protection District
449 E. Elm St.
O'Fallon, MO: 63366
636-272-3493

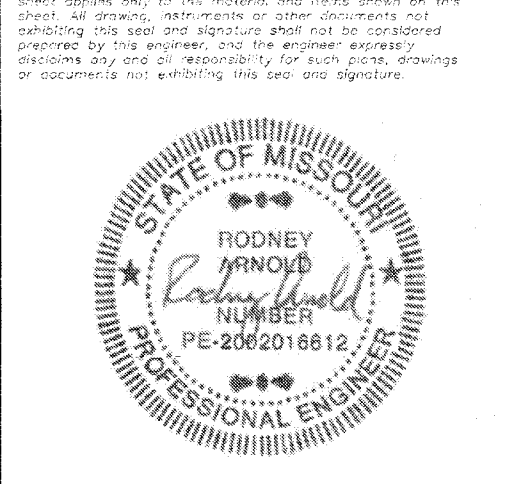
Wentzville Fire District
209 West Pearce Blvd.
Wentzville, MO: 63385

Cottleville Fire Protection District
1385 Motherhead Rd.
St. Charles, MO: 63304
636-447-6655

New Melle Fire Protection District
3705 Mill St.
Wentzville, MO: 63385
636-828-5528

PROJECT TITLE
PHASE 1
WESTLEIGH
O'FALLON, MISSOURI

THE STERLING COMPANY
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph: 314-487-0440 Fax: 314-487-6844
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348



Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

Lombardo Homes of St. Louis, LLC
2289 Technology Drive, Suite 150
O'Fallon, Missouri 63368
Ph: (636) 265-2710
Fax (636) 695-3195
www.lombardohomesstlou.com

P&Z No. P&Z NO
City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

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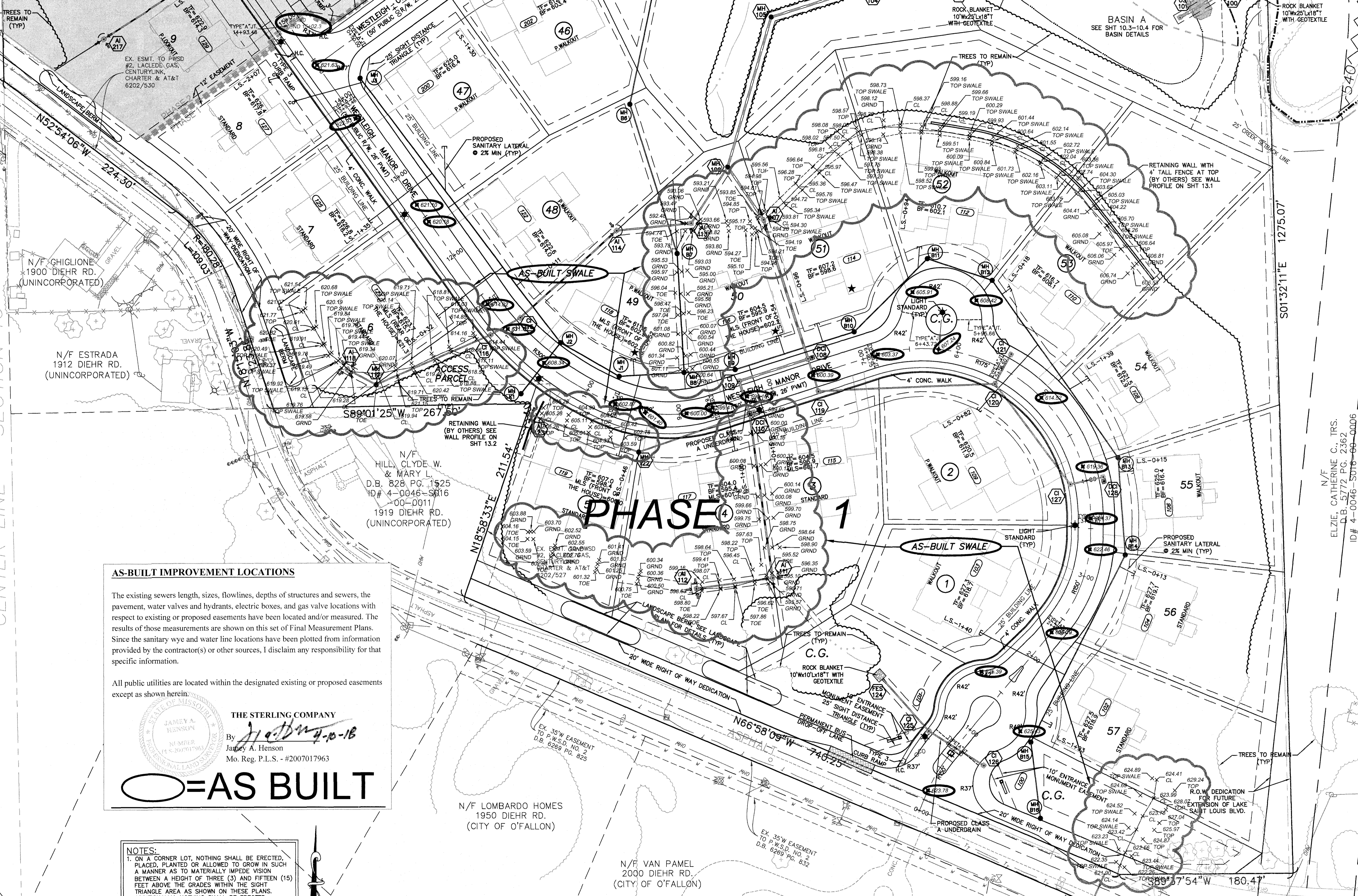
PHASE 2

PHASE 1

PHASE 4

CENTER LINE - SECTION 16

US SURVEY 417



AS-BUILT IMPROVEMENT LOCATIONS

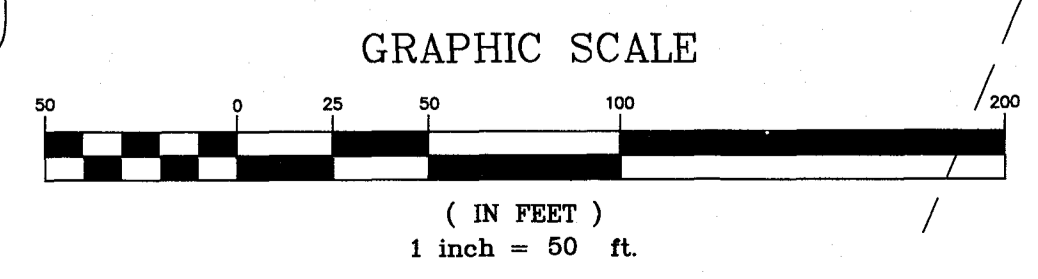
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THE STERLING COMPANY
 By *J. A. Henson*
 Jamey A. Henson
 Mo. Reg. P.L.S. - #2007017963

AS BUILT

- NOTES:**
- ON A CORNER LOT, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF THREE (3) AND FIFTEEN (15) FEET ABOVE THE GRADES WITHIN THE SIGHT TRIANGLE AREA AS SHOWN ON THESE PLANS. ADDITIONALLY, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN A MANNER TO MATERIALLY IMPEDE THE LINE OF SIGHT NECESSARY FOR SAFE TRAVEL ALONG PUBLIC ROADWAYS.
 - * DENOTES POSSIBLE EXTENDED FOUNDATION REQUIRED FOR HOUSE DUE TO SEWER ZONE OF INFLUENCE.



ISSUE	DATE	REMARKS
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7	1-18-17	PVSD #2 Comments
8	1-18-17	Fire District Comments
9	1-18-17	City Comments
10	1-18-17	City Comments

PROJECT TITLE
PHASE 1
WESTLEIGH

THE STERLING CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph. 314-487-0440 Fax 314-487-8944
 www.sterling-engr.com
 Corporate Certificate of Authority #001348

Date: 3/01/2017
 RODNEY ARNOLD
 LICENSE # PE-2002016612
 Civil Engineer

Lombardo Homes of St. Louis, LLC
 2299 Technology Drive, Suite 150
 O'Fallon, Missouri 63368
 Ph. (636) 265-2710
 Fax (636) 695-3195
 www.lombardohomesstlouis.com

P+Z No.	P&Z NO
City No.	15-162-SP
Date:	3/01/2017
Job No.	14-10-348
Page No.	

4.1
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AS-BUILT PLAN NOTE:
 ALL EASEMENTS SHOWN HEREON
 ARE BASED ON THE RECORD PLAT
 SEE BK: PL49, P. 313

NOTES:
 1. ON A CORNER LOT, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF THREE (3) AND FIFTEEN (15) FEET ABOVE THE GRADES WITHIN THE SIGHT TRIANGLE AREA AS SHOWN ON THESE PLANS. ADDITIONALLY, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN A MANNER TO MATERIALLY IMPEDE THE LINE OF SIGHT NECESSARY FOR SAFE TRAVEL ALONG PUBLIC ROADWAYS.
 2. * - DENOTES POSSIBLE EXTENDED FOUNDATION REQUIRED FOR HOUSE DUE TO SEWER ZONE OF INFLUENCE.

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8	1-26-17 Five District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments

PROJECT TITLE
PHASE 1
WESTLEIGH
 OFALLON, MISSOURI

THE **STERLING** CO.
 ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-467-4400 Fax 314-467-8944
 Corporate Certificate of Authority #001348

AS-BUILT IMPROVEMENT LOCATIONS

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 By *J.A. Henson* 4-10-18
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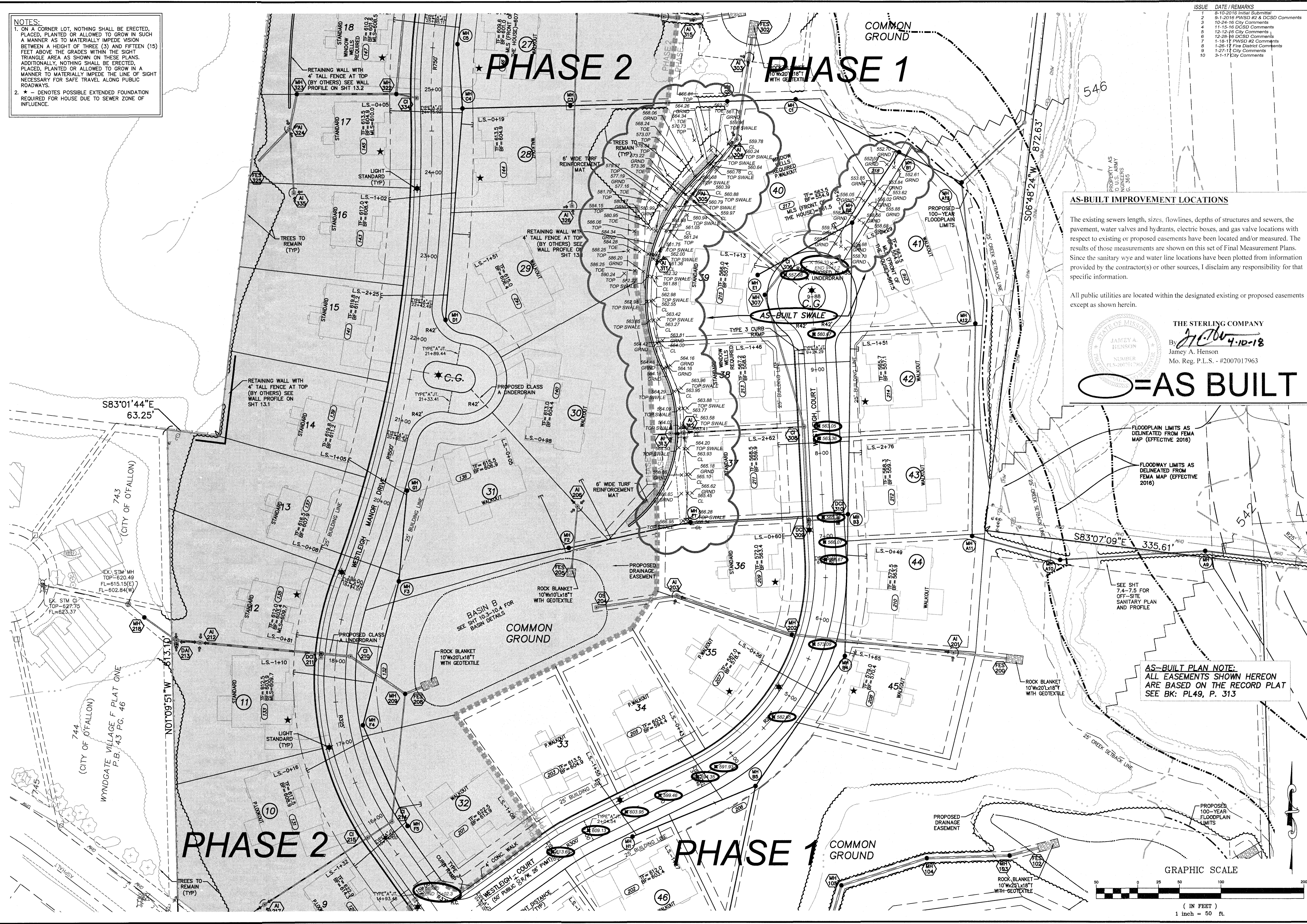
AS BUILT

Date: 3/01/2017
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 Civil Engineer

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SITE PLAN

P+Z No. P&Z NO
 City No. 15-162-SP
 Date: 3/01/2017
 Job No. 14-10-348
 Page No.
4.2

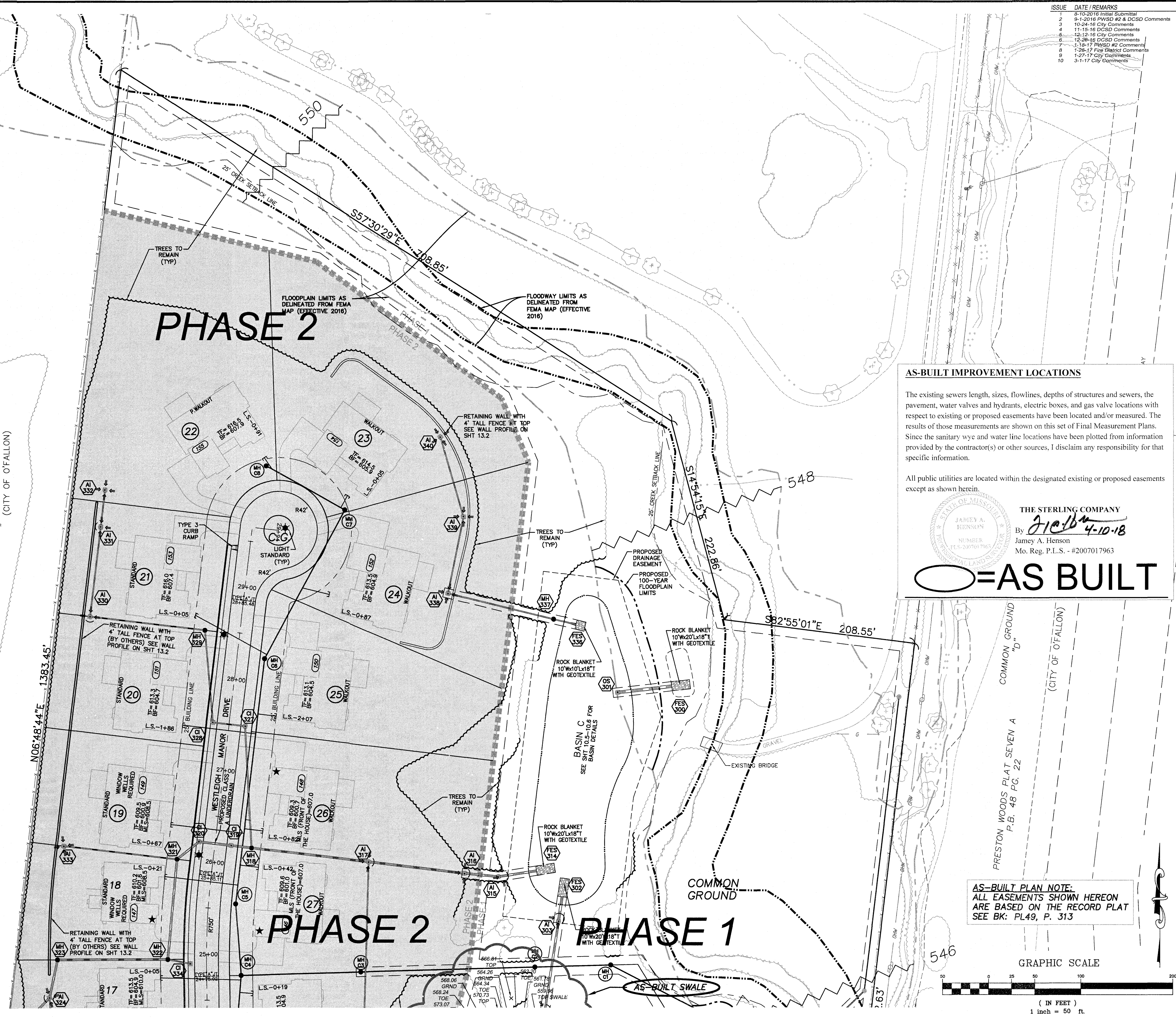


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NOTES:
 1. ON A CORNER LOT, NOTHING SHALL BE ERECTED, PLACED, PLANTED OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF THREE (3) AND FIFTEEN (15) FEET ABOVE THE GRADES WITHIN THE SIGHT TRIANGLE AREA AS SHOWN ON THESE PLANS. ADDITIONALLY, NOTHING SHALL BE ERECTED, PLACED, PLANTED OR ALLOWED TO GROW IN A MANNER TO MATERIALLY IMPEDE THE LINE OF SIGHT NECESSARY FOR SAFE TRAVEL ALONG PUBLIC ROADWAYS.
 2. * - DENOTES POSSIBLE EXTENDED FOUNDATION REQUIRED FOR HOUSE DUE TO SEWER ZONE OF INFLUENCE.

Drawing name: S:\114\0348_Mission_Tract\Drawings\Surveying\AS-Built\Phase 1\AS-Built\Phase 1\AS-Built.dwg, P:\ANS city\dwg, Printed on: Apr 09, 2018 - 1:58pm, Plotted by: masonp

N/F
 GRIFFITH, JOANNE &
 KOPADT, GARY E., TRS.
 D.B. 2354, PG. 724
 ID# 4-0067-0931-00-0003
 (CITY OF O'FALLON)



ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
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8	1-28-17 Five District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments

AS-BUILT IMPROVEMENT LOCATIONS

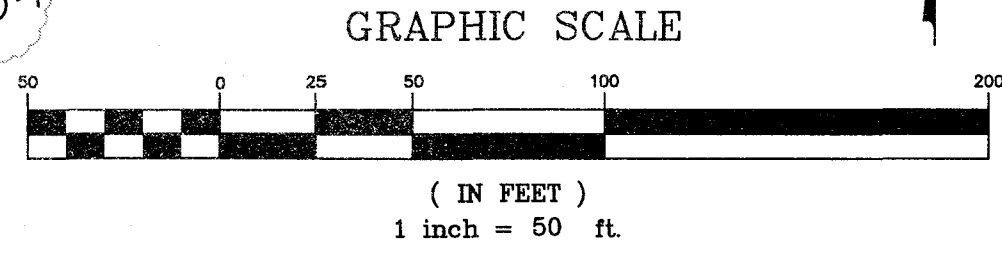
The existing sewers length, sizes, flowlines, depths of structures and sewers, the pavement, water valves and hydrants, electric boxes, and gas valve locations with respect to existing or proposed easements have been located and/or measured. The results of those measurements are shown on this set of Final Measurement Plans. Since the sanitary wye and water line locations have been plotted from information provided by the contractor(s) or other sources, I disclaim any responsibility for that specific information.

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THE STERLING COMPANY
 By *J. Henson* 4-10-18
 Jamey A. Henson
 Mo. Reg. P.L.S. - #2007017963

AS-BUILT

AS-BUILT PLAN NOTE:
 ALL EASEMENTS SHOWN HEREON ARE BASED ON THE RECORD PLAT SEE BK: PL49, P. 313



PROJECT TITLE
PHASE 1
WESTLEIGH
 O'FALLON, MISSOURI

THE STERLING CO.
ENGINEERS & SURVEYORS
 5055 New Baumgartner Road
 St. Louis, Missouri 63129
 Ph 314-467-0440 Fax 314-467-8844
 www.sterlingco.com
 Corporate Certificate of Authority #0011348

Date: 3/01/2017
RODNEY ARNOLD
 LICENSE # PE-2002016612
 Civil Engineer

Lombardo Homes of St. Louis, LLC
 2299 Technology Drive, Suite 150
 O'Fallon, Missouri 63368
 Ph: (636) 265-2710
 Fax: (636) 695-3195
 www.lombardohomesmissouri.com

SITE PLAN

P+Z No. P&Z NO
 City No. 15-162-SP
 Date: 3/01/2017
 Job No. 14-10-348
 Page No.
4.3

General Notes:

1. ALL UTILITIES AND CONDUIT FOR UTILITIES SHALL BE PLACED A MINIMUM OF THREE (3) FEET BELOW THE PAVEMENT.
2. ALL STREET LIGHTS SHALL BE CONNECTED INDIVIDUALLY TO THE POWER SOURCE. IN EXTREME CASES, TWO (2) STREET LIGHTS MAY BE CONNECTED IN PARALLEL TO THE POWER SOURCE. ALL CONDUIT FOR STREET LIGHTS SHALL BE PLACED WITHIN UTILITY EASEMENTS AND DEDICATED FOR EXCLUSIVE USE TO THE CITY OF O'FALLON.

Sanitary Sewer Notes:

1. EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
2. CONNECTION TO DCSD SEWERS REQUIRES DCSD INSPECTION. CONTACT MR. STEVE OVERBEY, DCSD CHIEF INSPECTOR, AT (636) 441-1244 TO SCHEDULE INSPECTIONS. 24-HOUR ADVANCE NOTICE IS REQUIRED.

Water Notes:

1. ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ST. CHARLES COUNTY PWS#2 GUIDELINES AND SPECIFICATIONS AS APPROVED BY MONR REVIEW NO. 6050805-13.
2. PUBLIC WATER SUPPLY DISTRICT NO. 2 WILL REQUIRE 1 WEEK ADVANCE NOTICE BEFORE CONSTRUCTION CAN BEGIN.
3. THRUST BLOCKS WILL BE REQUIRED AT ALL MECHANICAL JOINT BENDS.
4. ALL WATER MAINS THAT CROSS THE PAVEMENT, LIE WITHIN TEN (10) FEET OF THE EDGE OF PAVEMENT OR WITHIN THE 1:1 SHEAR PLANE OF THE STREET MUST HAVE PROPER ROCK BACKFILL AND REQUIRED COMPACTION.
5. ALL METER PITS MUST BE INSTALLED IN GREEN SPACE PER PWS#2 SPECIFICATIONS.
6. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FOR WORK PERFORMED OFFSITE. COPIES OF ALL REQUIRED PERMITS SHALL BE PROVIDED TO THE WATER DISTRICT PRIOR TO CONSTRUCTION.
7. ALL OFFSITE WATER SYSTEM WORK MUST BE RESTORED WITH SOD UNLESS OTHER CONSIDERATION IS REQUESTED BY THE OFFSITE PROPERTY OWNER.
8. ALL WATER MAINS SHALL BE PLACED WITH A MINIMUM OF 42" OF COVER.

SIGHT DISTANCE NOTE:
ON A CORNER LOT, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN SUCH A MANNER AS TO MATERIALLY IMPEDE VISION BETWEEN A HEIGHT OF THREE (3) AND FIFTEEN (15) FEET ABOVE THE GRADES WITHIN THE SIGHT TRIANGLE AREA AS SHOWN ON THESE PLANS. ADDITIONALLY, NOTHING SHALL BE ERRECTED, PLACED, PLANTED OR ALLOWED TO GROW IN A MANNER TO MATERIALLY IMPEDE THE LINE OF SIGHT NECESSARY FOR SAFE TRAVEL ALONG PUBLIC ROADWAYS.

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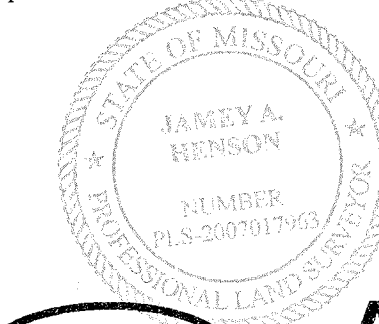
PROJECT TITLE
PHASE 1
WESTLEIGH

THE **STERLING** CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-467-0440 Fax 314-467-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

AS-BUILT IMPROVEMENT LOCATIONS

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THE STERLING COMPANY
By *J. Henson* 4-10-18
Jameya A. Henson
Mo. Reg. P.L.S. - #2007017963

○=AS BUILT

The Professional Engineer's seal and signature offered to this project indicate only that the engineer and design were on the project. All design, construction or other documents not resulting from this design are not the responsibility of the engineer. The engineer shall not be responsible for the design, construction or other documents not resulting from this design or for the design or construction of any work not shown on this set of plans.

Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

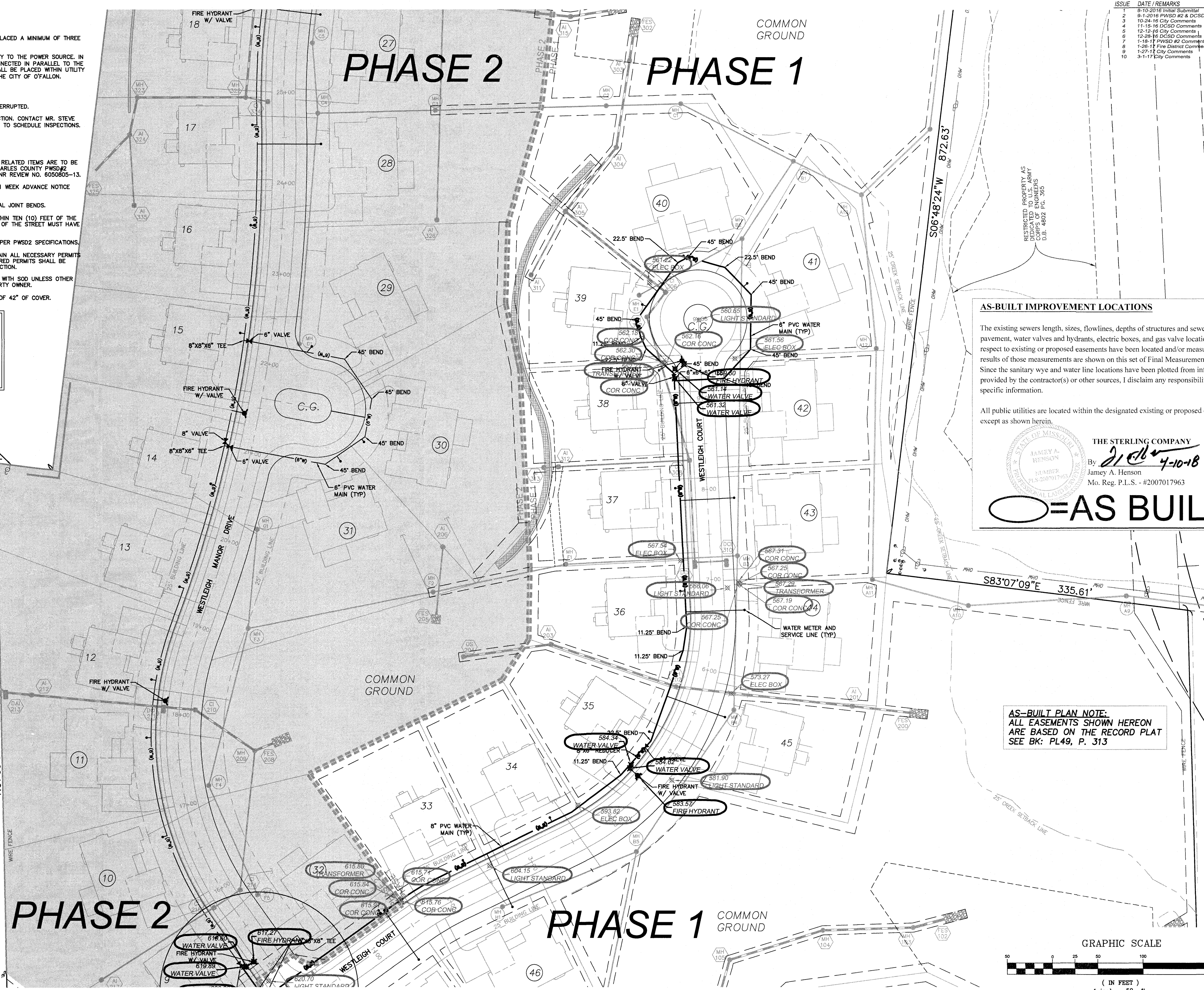
Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
O'Fallon, Missouri 63368
Ph: (636) 265-2710
Fax: (636) 695-3195
www.lombardohomesstlouislouis.com

UTILITY PLAN

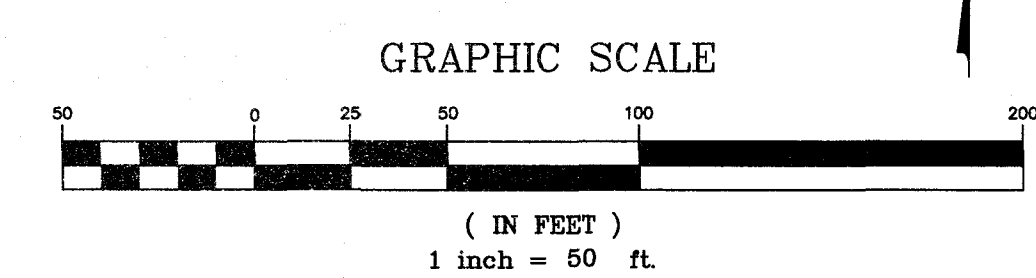
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City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348
Page No.

5.2

IMP



AS-BUILT PLAN NOTE:
ALL EASEMENTS SHOWN HEREON
ARE BASED ON THE RECORD PLAT
SEE BK: PL49, P. 313



Drawing name: V:\15102468\Addition\TractDrawings\SanitaryPhase 1\OTFallon City of O'Fallon\Phase 1\PLANS city.dwg Plotted on: Apr 08, 2018 - 2:00pm Plotted by: mstrimmon

General Notes:

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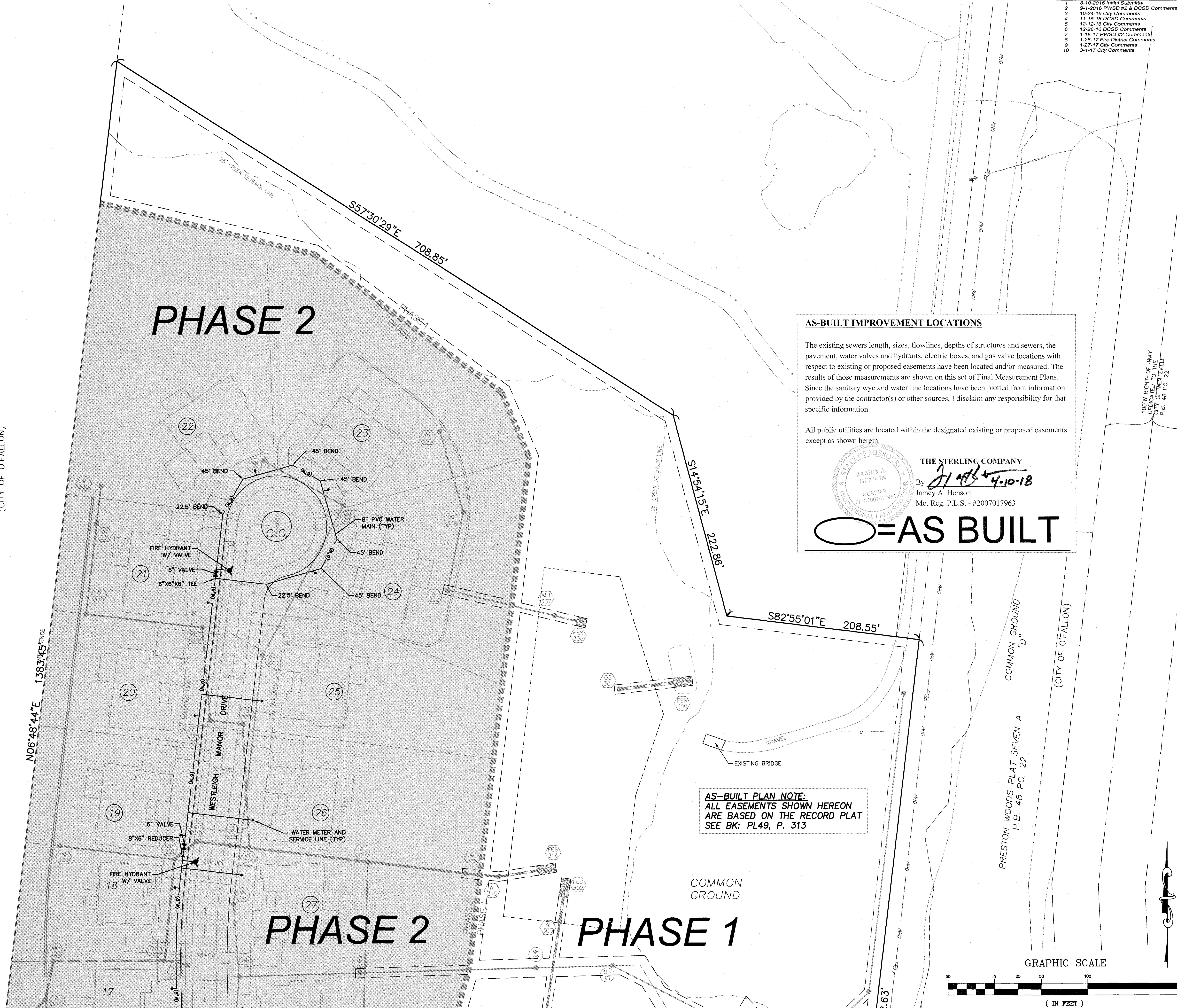
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N/F
GRIFFITH, JOANNE &
KOPADT, GARY E., TRS.
D.B. 2354, PG. 724
ID# 4-0067-0931-00-0003
(CITY OF FALLON)



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AS-BUILT IMPROVEMENT LOCATIONS

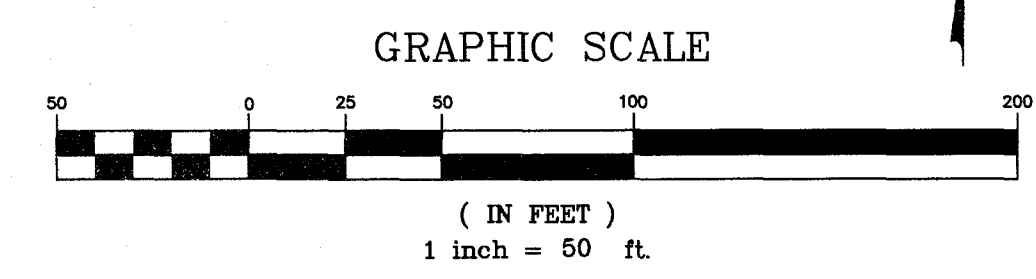
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THE STERLING COMPANY
By *J. Henson* 4-10-18
Jamey A. Henson
Mo. Reg. P.L.S. - #2007017963

○ = AS BUILT

AS-BUILT PLAN NOTE:
ALL EASEMENTS SHOWN HEREON ARE BASED ON THE RECORD PLAT SEE BK: PL49, P. 313



PROJECT TITLE
PHASE 1
WESTLEIGH
OFFALLON, MISSOURI

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph. 314-487-0440 Fax 314-487-8944
www.sterling-eng-sur.com
Corporate Certificate of Authority #001948

The Professional Engineer's seal and signature shall be used only on the original and shall remain on the original. All drawings, instruments or other documents prepared by this engineer, shall be the property of the engineer and shall not be reproduced for any other purpose or instrument not authorizing their use or signature.

Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

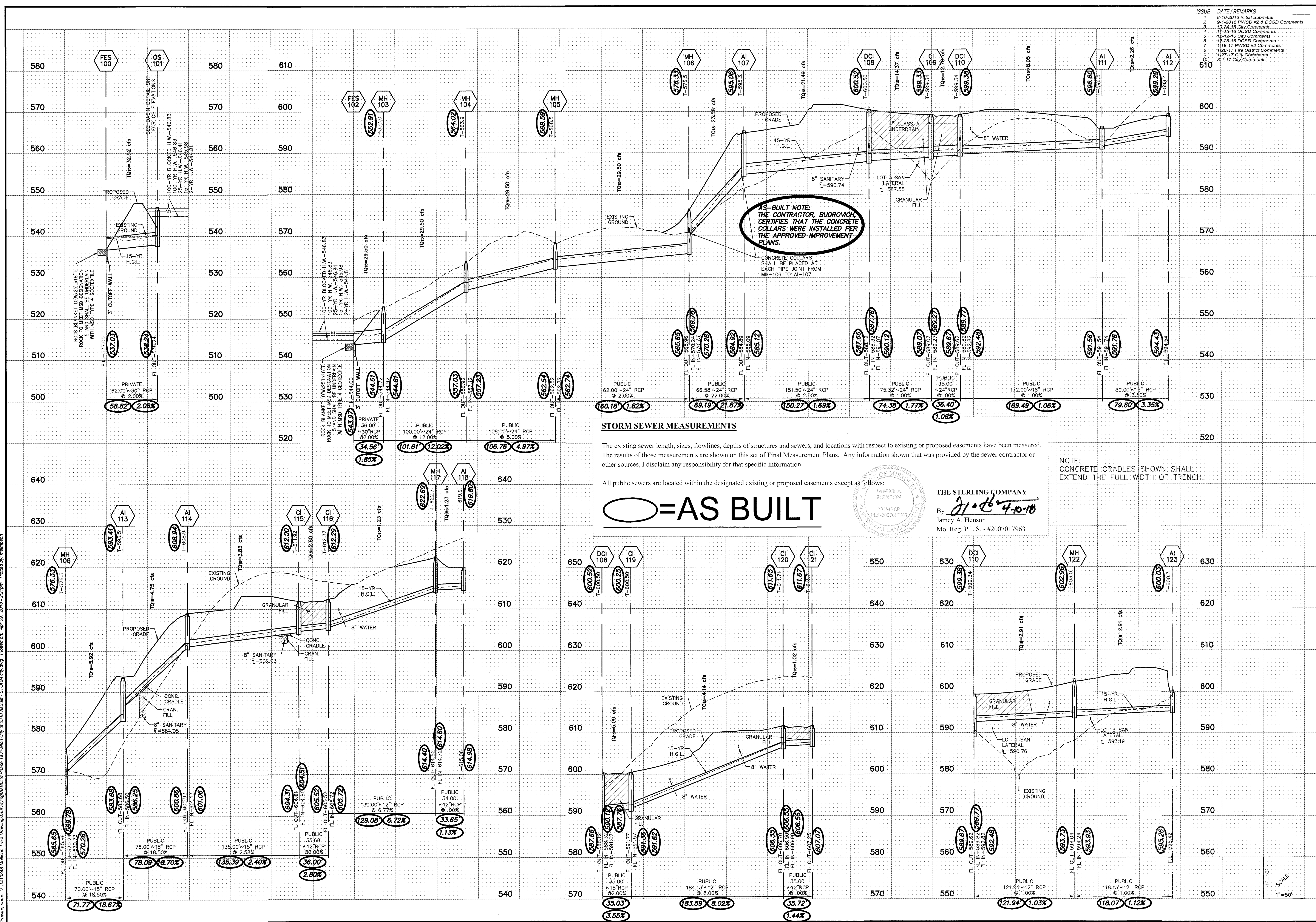
Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
O'Fallon, Missouri 63368
Ph. (636) 265-2710
Fax (636) 695-3195
www.lombardohomesstlouislouis.com

UTILITY PLAN

P+Z No. P&Z NO
City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348
Page No.
5.3

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ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
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10	3-11-17 City Comments

PROJECT TITLE
PHASE 1
WESTLEIGH

OFALLON, MISSOURI

THE STERLING CO.
ENGINEERS & SURVEYORS

5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-3040 Fax 314-487-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

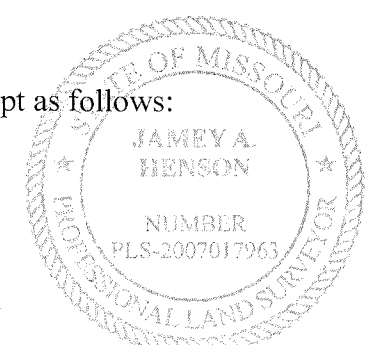
The Professional Engineer's seal and signature are required on this drawing. The Engineer's seal and signature are required on the final drawing. The Engineer's seal and signature are required on the final drawing. The Engineer's seal and signature are required on the final drawing.

STORM SEWER MEASUREMENTS

The existing sewer length, sizes, flowlines, depths of structures and sewers, and locations with respect to existing or proposed easements have been measured. The results of those measurements are shown on this set of Final Measurement Plans. Any information shown that was provided by the sewer contractor or other sources, I disclaim any responsibility for that specific information.

All public sewers are located within the designated existing or proposed easements except as follows:

○ = AS BUILT



THE STERLING COMPANY
By *J. Henson*
Jamey A. Henson
Mo. Reg. P.L.S. - #2007017963

NOTE:
CONCRETE CRADLES SHOWN SHALL
EXTEND THE FULL WIDTH OF TRENCH.

Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
OFallon, Missouri 63368
Ph: (636) 265-2710
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P+Z No. P&Z NO
City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

Page No.
8.1

IMP

Drawing name: Y:\14\0348 Addison Tract\Drawings\SURVEYING\AS-BUILT - STORM city.dwg Plotted on: Feb 14, 2016 1:23pm Plotted by: mmpm

ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
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PROJECT TITLE
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THE STERLING COMPANY
By *Jamey A. Henson*
Jamey A. Henson
Mo. Reg. P.L.S. - #2007017963

AS BUILT

NOTE:
CONCRETE CRADLES SHOWN SHALL
EXTEND THE FULL WIDTH OF TRENCH.

1" = 10'
SCALE
1" = 50'

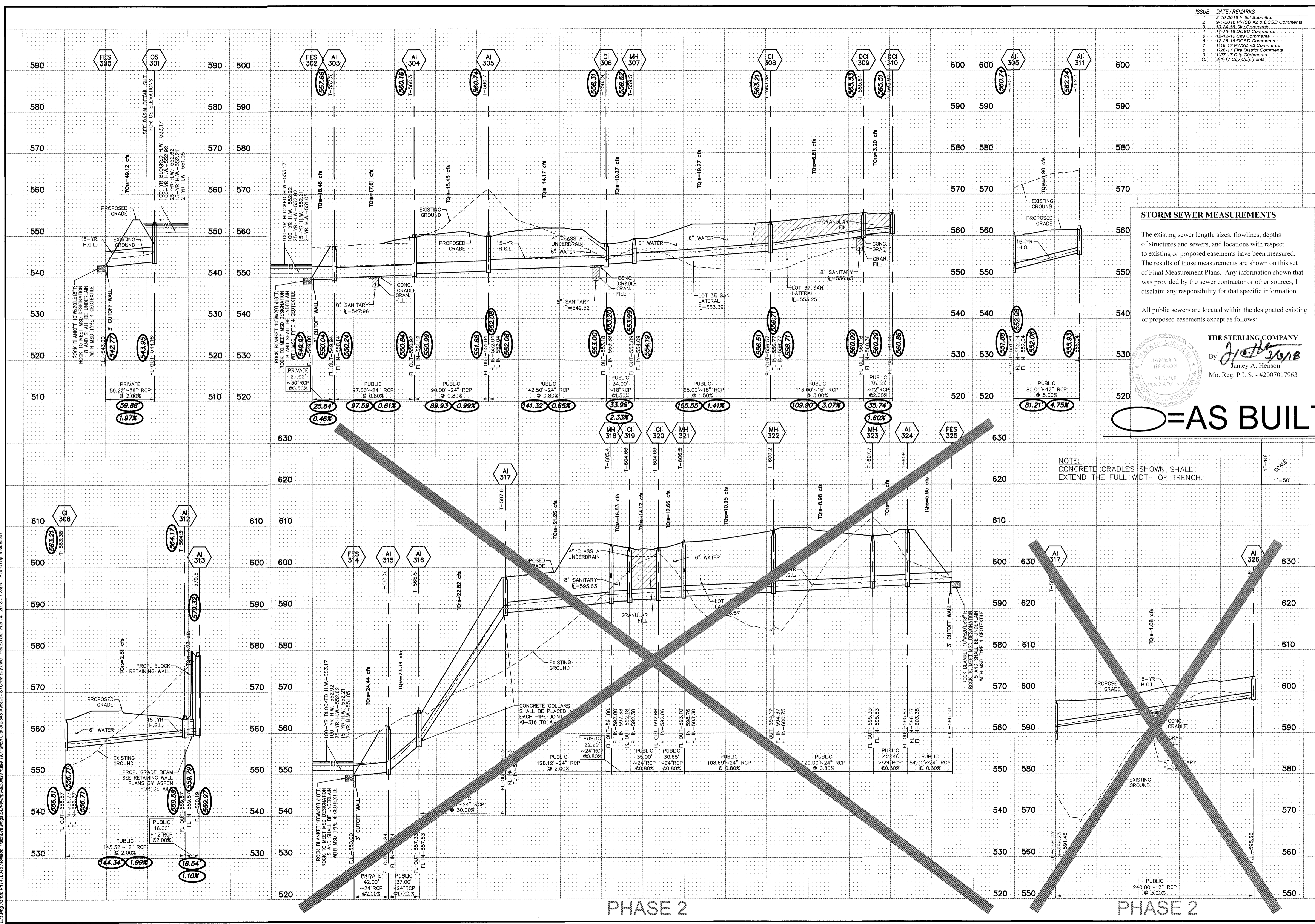
Date: 3/01/2017
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P+Z No. P&Z NO
City No. 15-162-SP
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Page No.
8.3

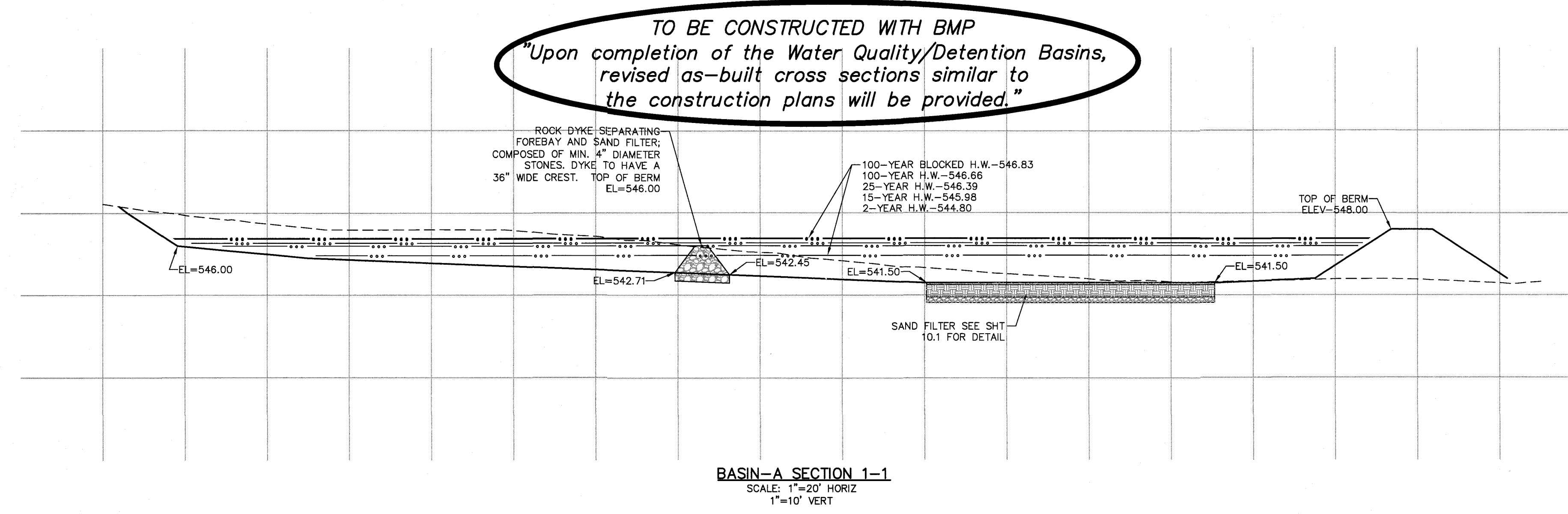
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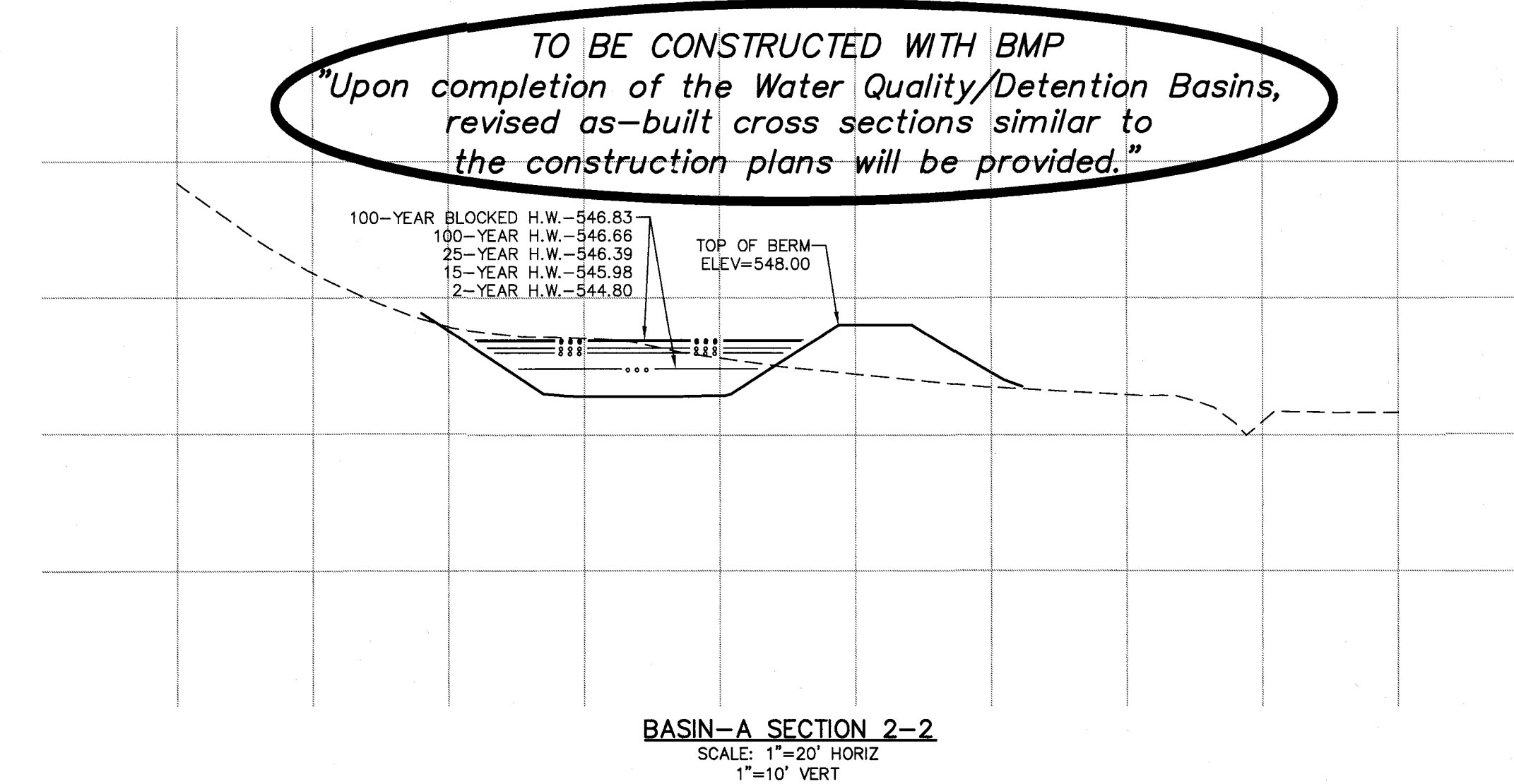
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PHASE 2

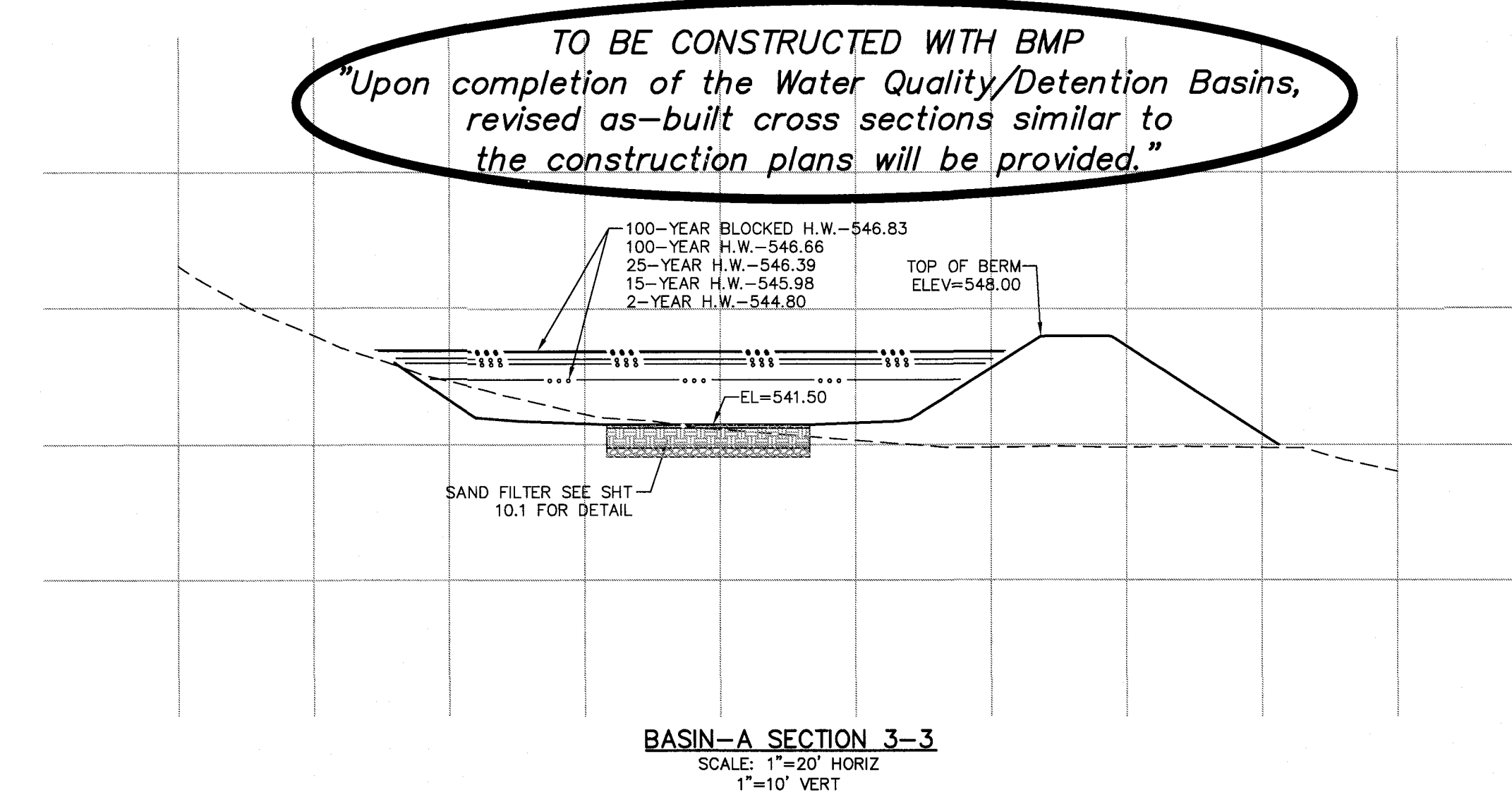
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BASIN-A SECTION 1-1
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-A SECTION 2-2
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-A SECTION 3-3
SCALE: 1"=20' HORIZ
1"=10' VERT

PROJECT TITLE
PHASE 1
WESTLEIGH
OF FALLOON, MISSOURI

THE STERLING CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph: 314-467-7040 Fax: 314-467-8644
www.sterling-engineers.com
Corporate Certificate of Authority #001348

The Professional Engineer's seal and signature affixed to this drawing indicate only that the drafter and design were prepared and checked by the engineer, and that the engineer is not responsible for the design or construction of the project. The engineer does not assume any responsibility for the design or construction of the project.

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Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
OFallon, Missouri 63368
Ph: (636) 265-2710
Fax: (636) 695-3185
www.lombardohomesstlouis.com

BASIN A

AS-BUILT IMPROVEMENT LOCATIONS

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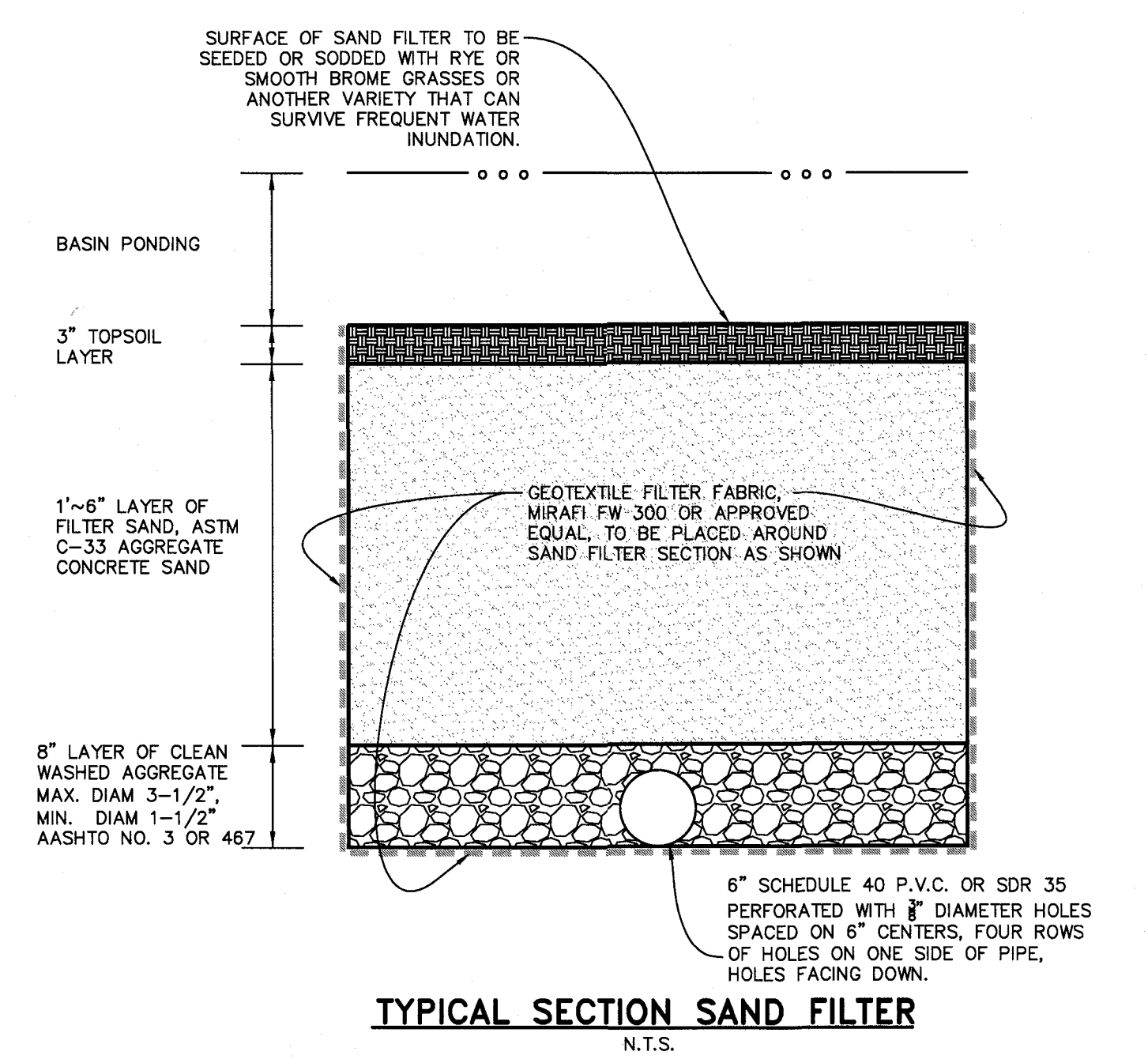
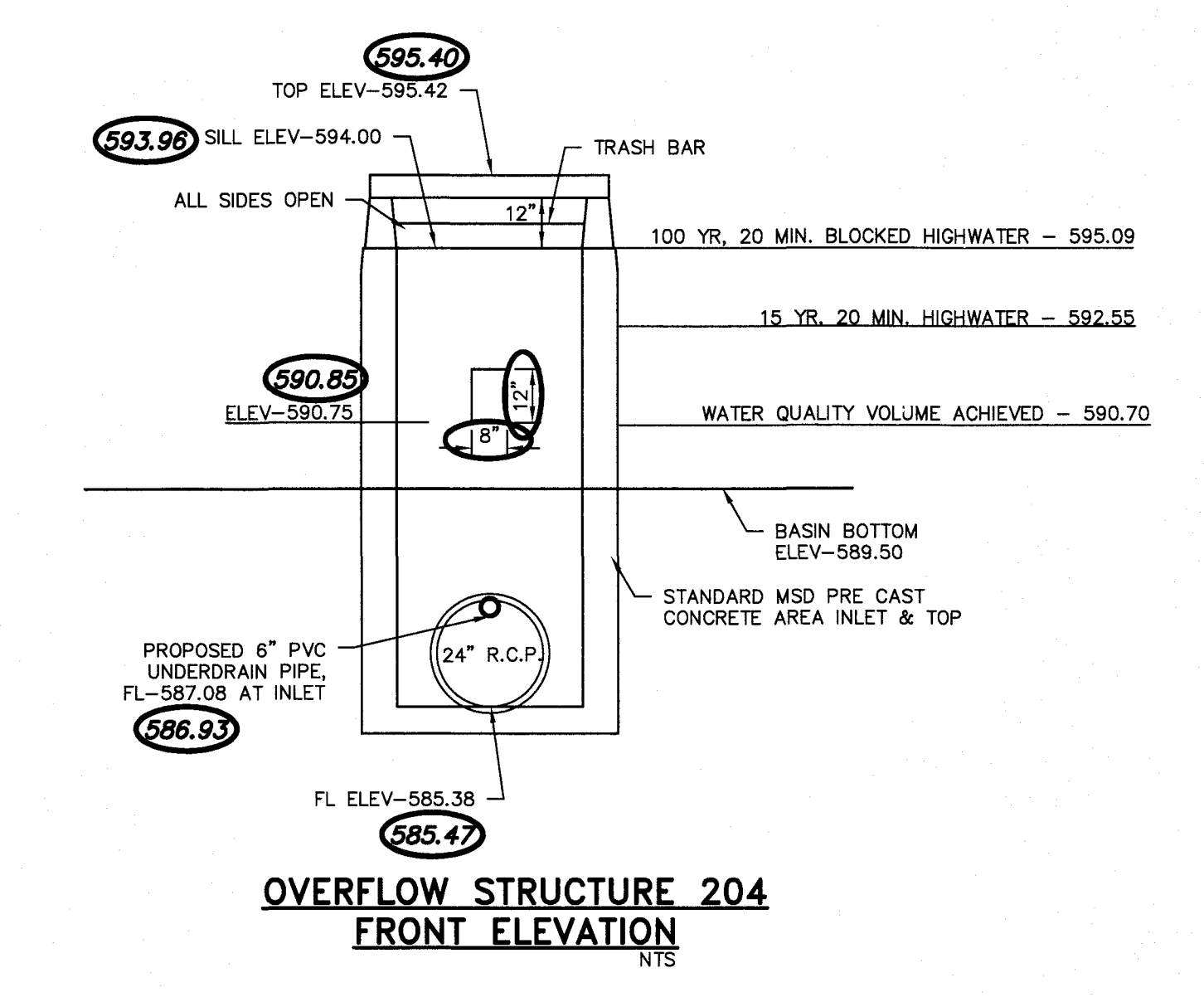
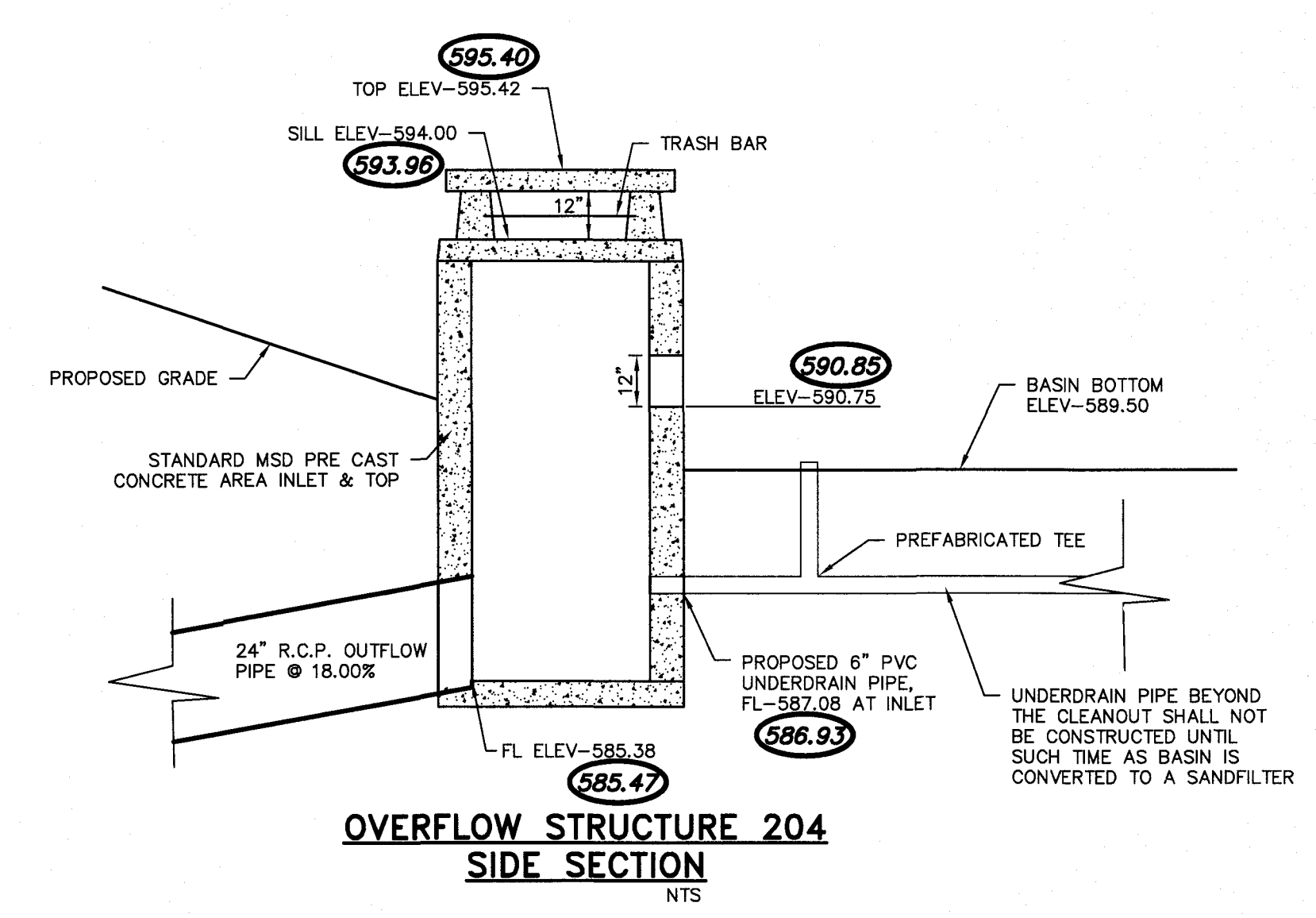
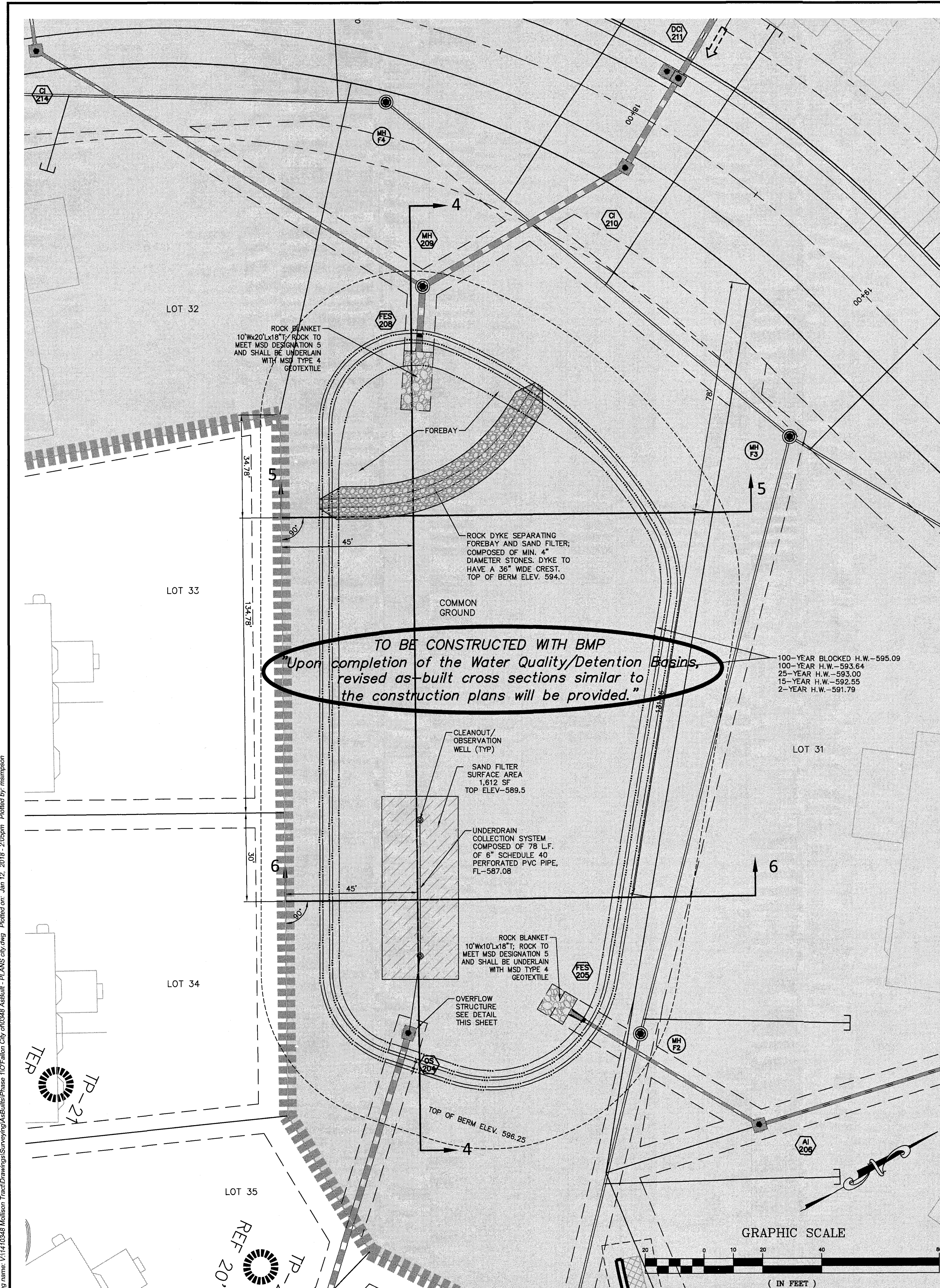
THE STERLING COMPANY
By *J. A. Henson* 3/13/18
Jamey A. Henson
Mo. Reg. P.L.S. - #2007017963

AS BUILT

P+Z No. P&Z NO
City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

Page No.
10.2
IMP

Drawing name: Y:\1410348\Missouri Tract\Drawings\Surveying\AS-Built - PLANS city.dwg Plotted on: Jan 12, 2018 - 2:01pm. Plotted by: rasmussen



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By *J. A. Henson* 3/13/18
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Mo. Reg. P.L.S. - #2007017963

AS BUILT

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LICENSE # PE-2002016612
Civil Engineer

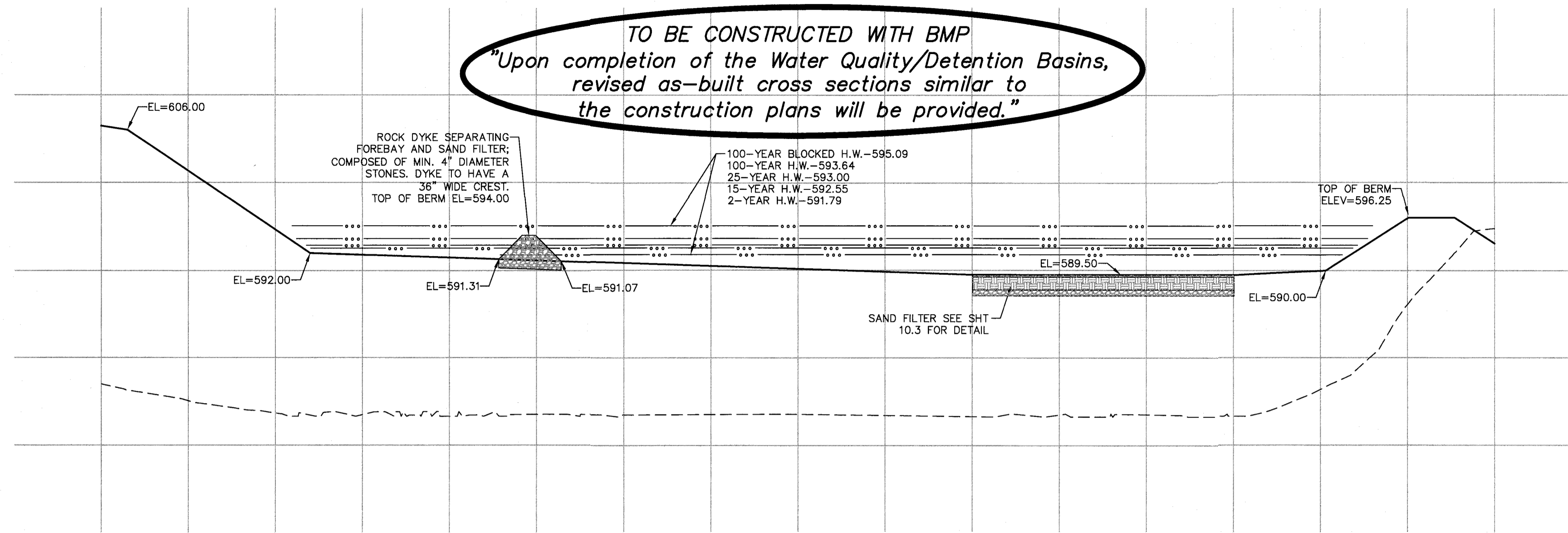
Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
OF Fallon, Missouri 63366
Ph. (636) 265-2710
Fax (636) 695-3195
www.lombardohomesstlouis.com

BASIN B

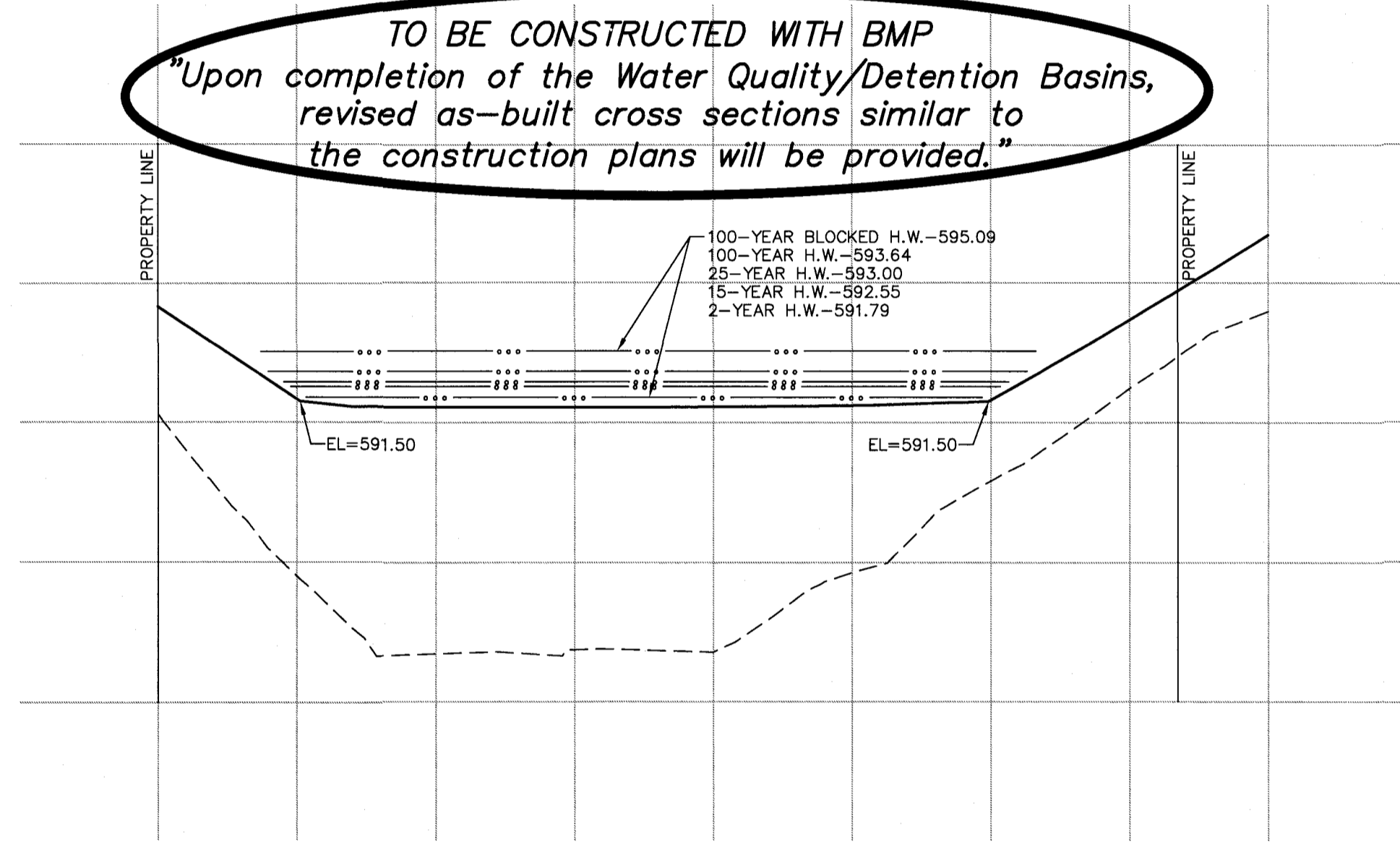
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City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

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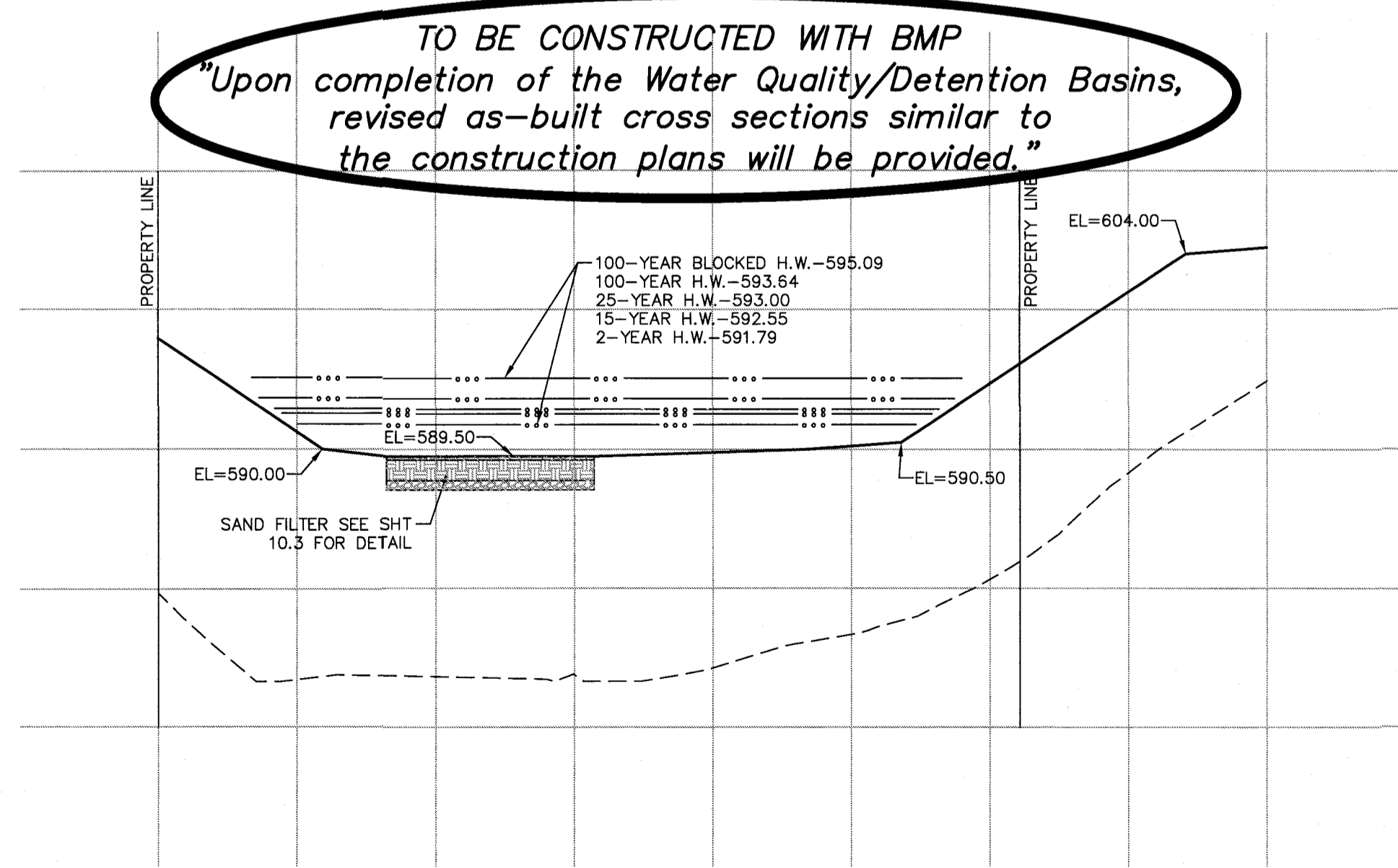
ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
2	9-1-2016 PWSD #2 & DCSD Comments
3	10-24-16 City Comments
4	11-15-16 DCSD Comments
5	12-12-16 City Comments
6	12-26-16 DCSD Comments
7	1-18-17 PWSD #2 Comments
8	1-26-17 Fire District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments



BASIN-B SECTION 4-4
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-B SECTION 5-5
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-B SECTION 6-6
SCALE: 1"=20' HORIZ
1"=10' VERT

AS-BUILT IMPROVEMENT LOCATIONS

The existing sewers length, sizes, flowlines, depths of structures and sewers along with their locations with respect to existing or proposed easements have been located and/or measured. The surveyor has located above-ground features, but did not locate any underground facilities. The results of those measurements are shown on this set of Final Measurement Plans. Since underground information has been plotted from information provided by other sources, I disclaim any responsibility for that specific information.

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THE STERLING COMPANY
By *J. A. Henson* 3/13/18
James A. Henson
Mo. Reg. P.L.S. - #2007017963

○ = AS BUILT

PROJECT TITLE
PHASE 1
WESTLEIGH
OFALLON, MISSOURI

THE **STERLING** CO.
ENGINEERS & SURVEYORS
5055 New Baumgartner Road
St. Louis, Missouri 63129
Ph 314-487-0440 Fax 314-487-8944
www.sterling-eng-survey.com
Corporate Certificate of Authority #001348

The Professional Engineer's seal and signature affixed to this sheet signify only the engineer's approval of the work shown on this sheet. It does not signify approval of the design or construction of the work shown on this sheet. The engineer disclaims any liability for any damage or loss resulting from the use of this sheet, whether or not such damage or loss is caused in whole or in part by the negligence of the engineer or any other person.

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Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

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OFallon, Missouri 63368
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Fax: (636) 695-3165
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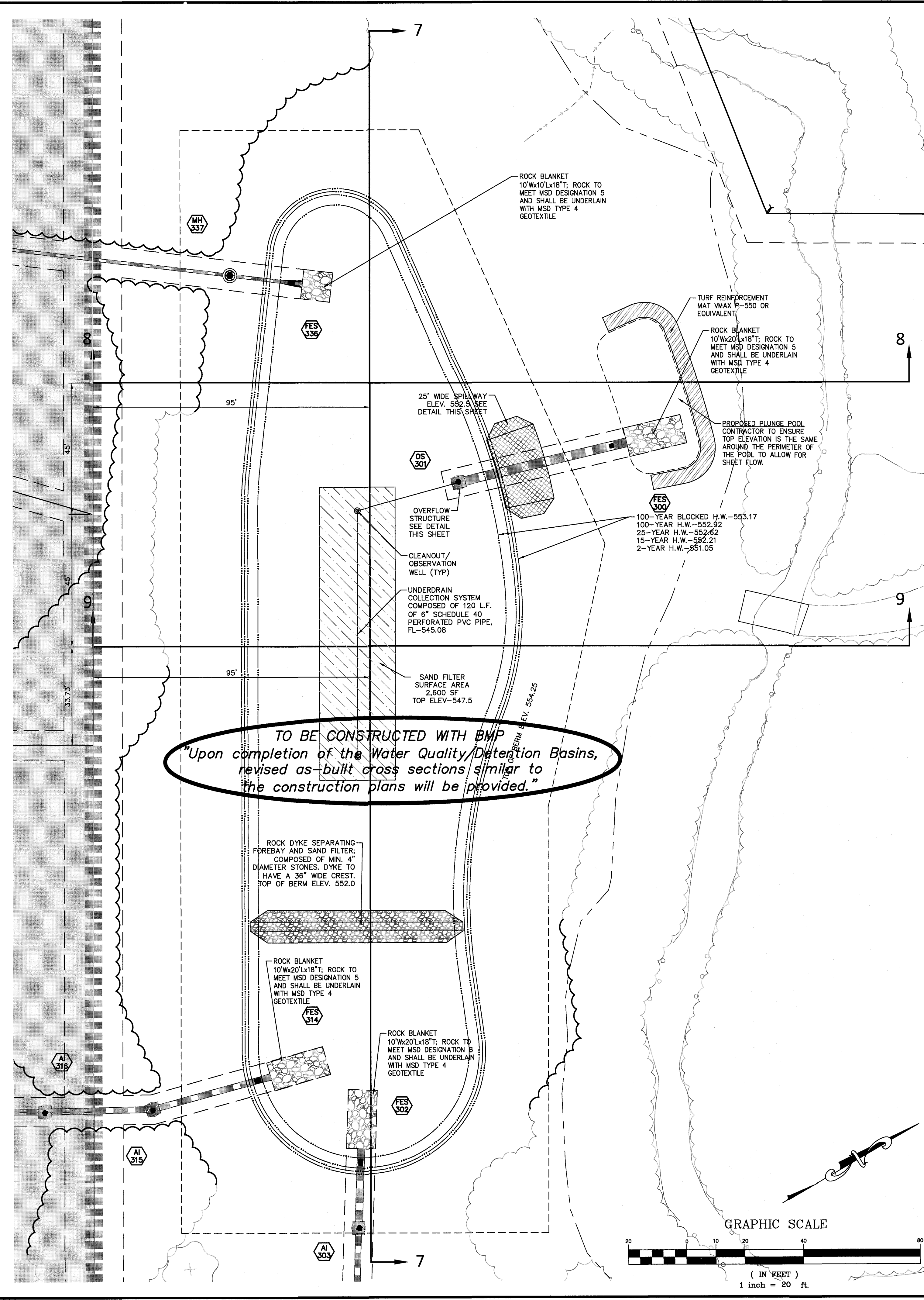
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City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

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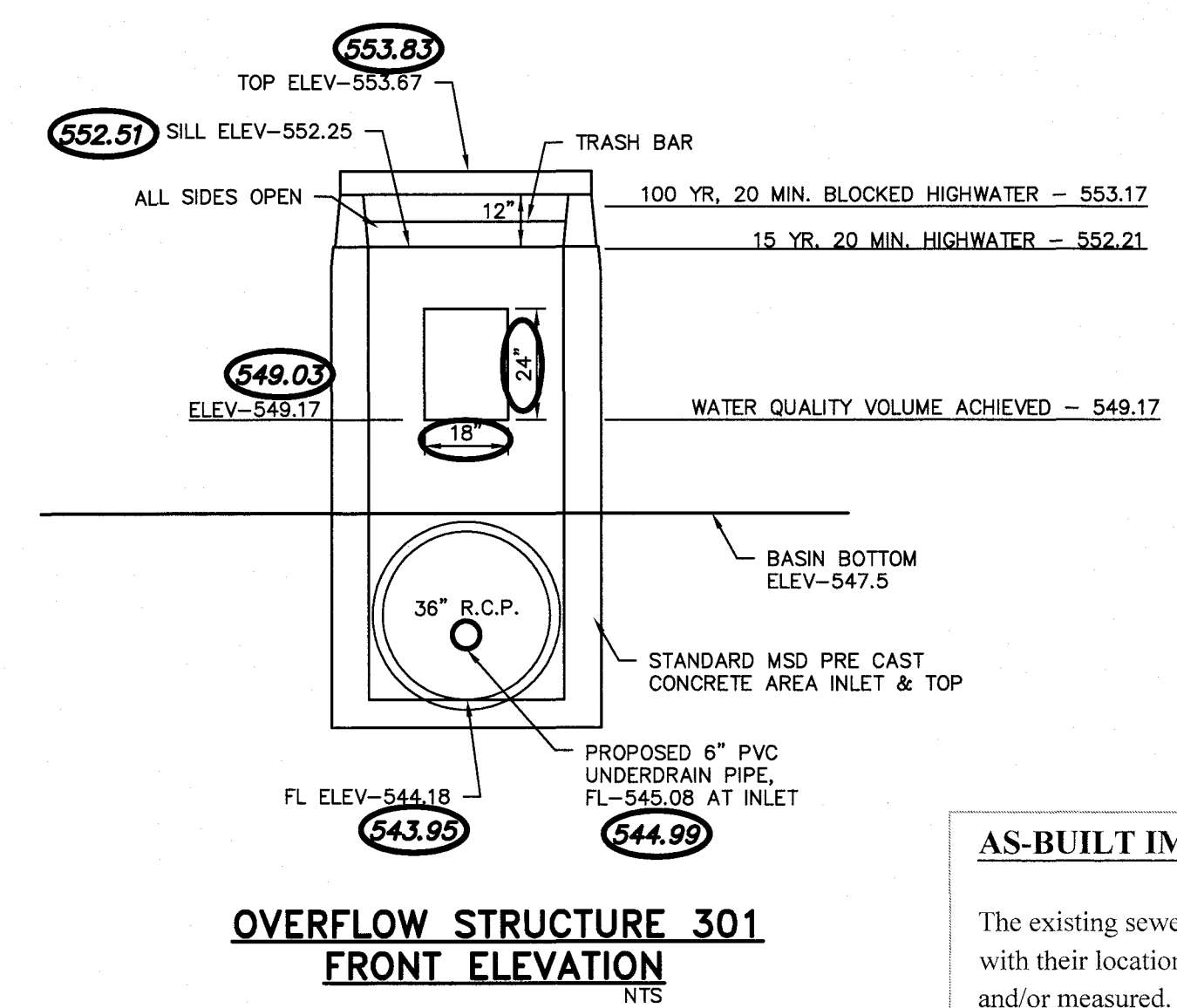
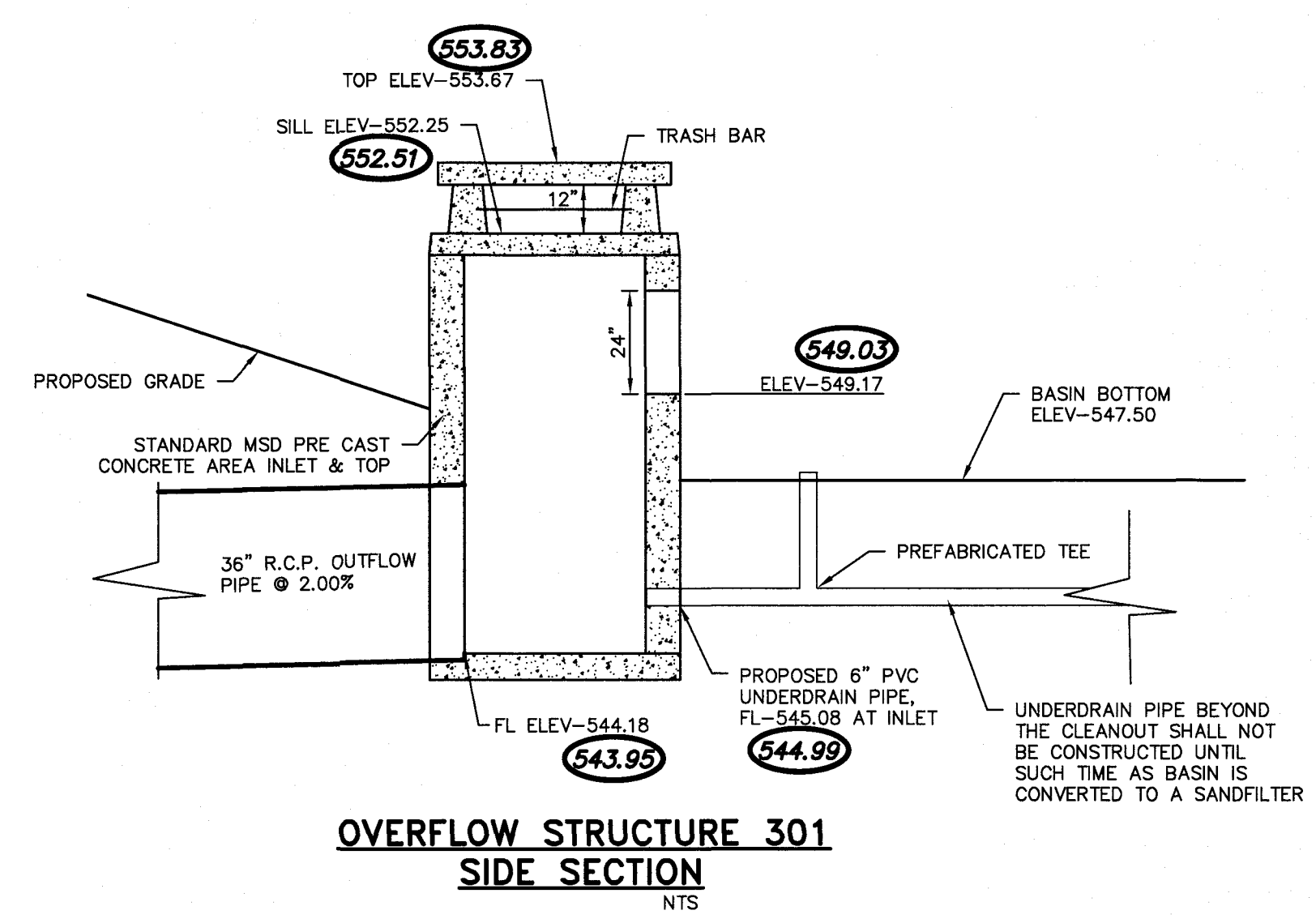
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TO BE CONSTRUCTED WITH BMP
"Upon completion of the Water Quality/Detention Basins, revised as-built cross sections similar to the construction plans will be provided."

ISSUE	DATE / REMARKS
1	8-10-2016 Initial Submittal
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4	11-15-16 DCSD Comments
5	12-13-16 City Comments
6	12-28-16 DCSD Comments
7	1-18-17 PWSD #2 Comments
8	1-28-17 Fire District Comments
9	1-27-17 City Comments
10	3-1-17 City Comments



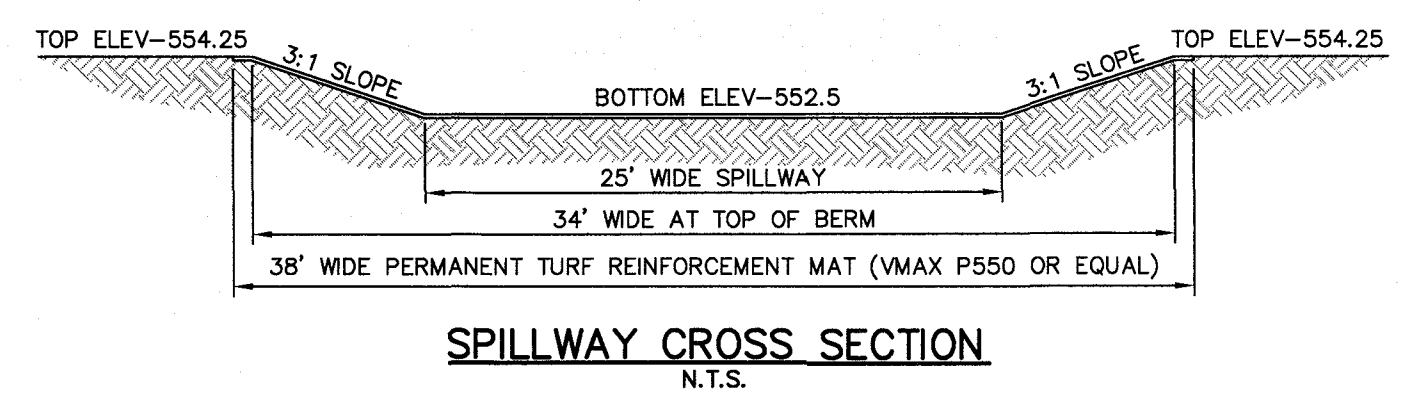
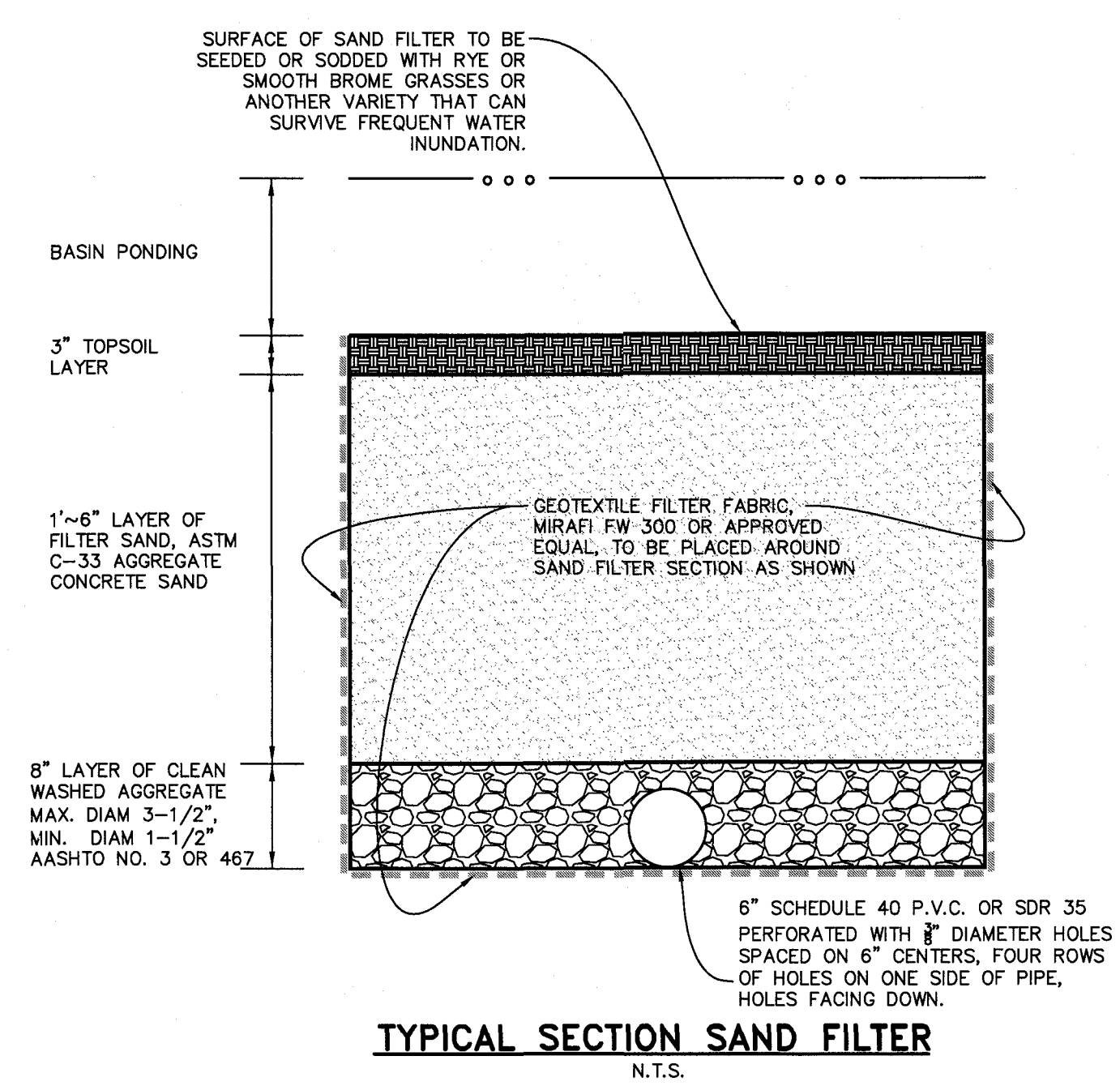
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THE STERLING COMPANY
By: JAMES A. HENSON 3/13/18
JAMES A. HENSON
Mo. Reg. P.L.S. - #2007017963

O=AS BUILT



PROJECT TITLE
PHASE 1
WESTLEIGH
OF FALLON, MISSOURI

THE STERLING CO.
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www.sterling-eng.com
Corporate Certificate of Authority #0011348

Date: 3/01/2017
RODNEY ARNOLD
LICENSE # PE-2002016612
Civil Engineer

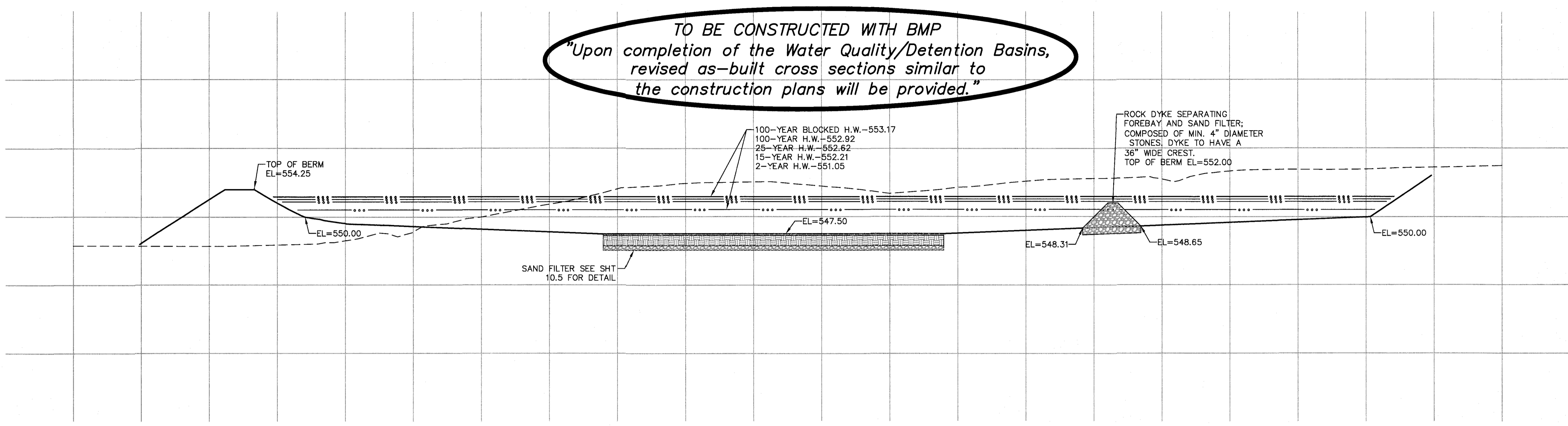
Lombardo Homes of St. Louis, LLC
2299 Technology Drive, Suite 150
OFallon, Missouri 63368
Ph: (636) 265-2710
Fax: (636) 695-3195
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BASIN C

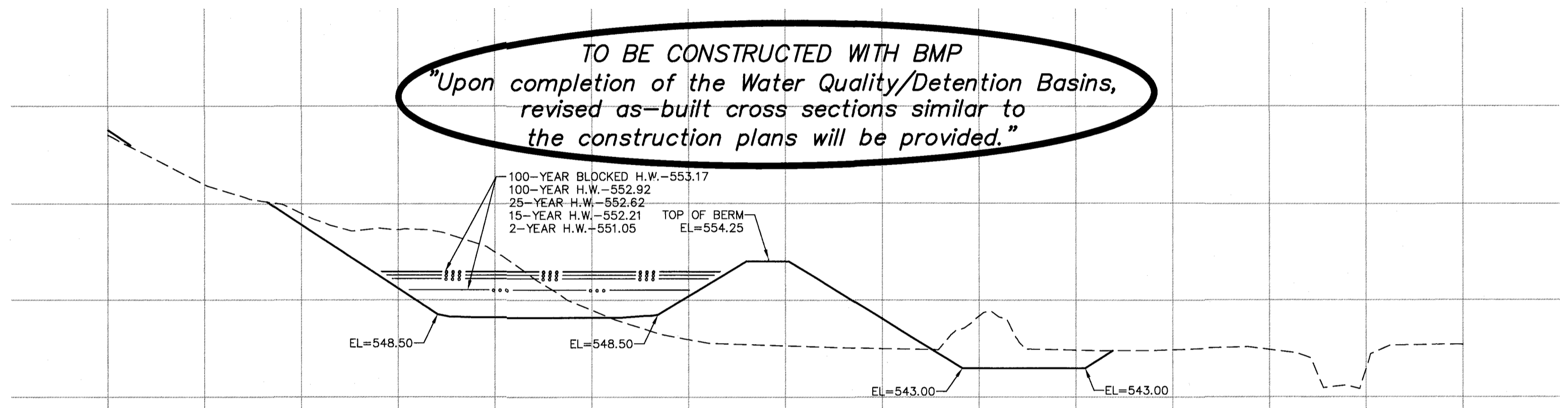
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City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348
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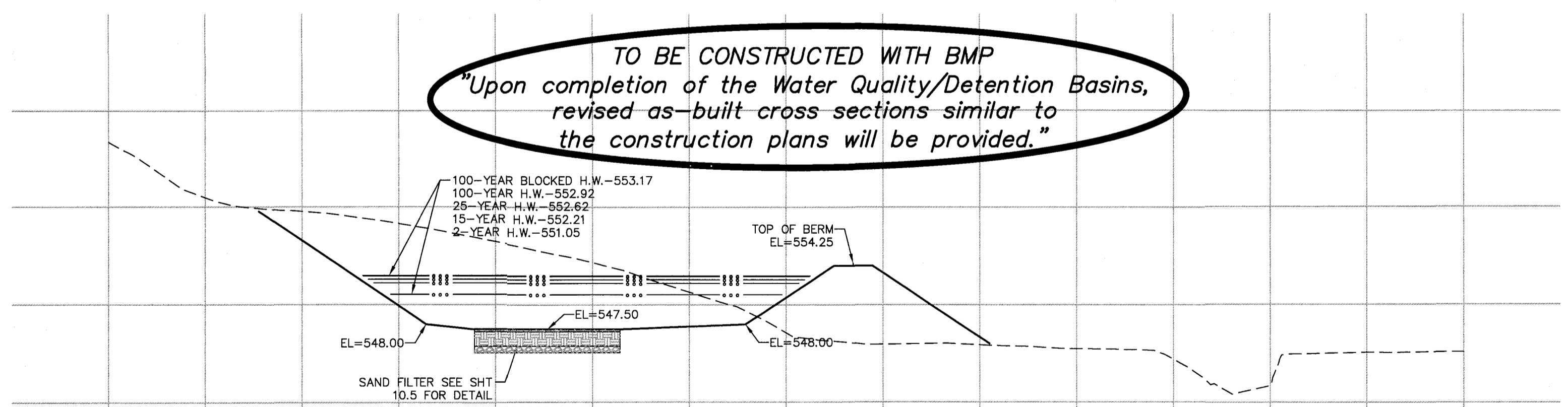
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10	3-1-17 City Comments



BASIN-C SECTION 7-7
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-C SECTION 8-8
SCALE: 1"=20' HORIZ
1"=10' VERT



BASIN-C SECTION 9-9
SCALE: 1"=20' HORIZ
1"=10' VERT

AS-BUILT IMPROVEMENT LOCATIONS

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THE STERLING COMPANY
By *J. Henson* 3/13/18
Jamey A. Henson
SUMNER
P.L.S. - #2007017963
Mo. Reg. P.L.S. - #2007017963

AS BUILT

PROJECT TITLE
**PHASE 1
WESTLEIGH**

OFALLON, MISSOURI

THE STERLING CO.
ENGINEERS & SURVEYORS

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Date: 3/01/2017
RODNEY ARNOLD
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Civil Engineer

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BASIN C

P+Z No. P&Z NO
City No. 15-162-SP
Date: 3/01/2017
Job No. 14-10-348

Page No.
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