

# WHEATFIELD

PLAT TWO

## "AS-BUILTS"

### GENERAL NOTES

- Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing and proposed sanitary and storm sewers including house laterals.
- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- Polyvinyl Chloride (PVC) shall conform to the requirements of ASTM D-3034 Standard Specifications for the PSM Polyvinyl Chloride (PVC) Sewer Pipe and Fittings, SDR35.
- Storm sewers 18" diameter or smaller shall be A.S.T.M. C-14.
- Storm sewers 21" diameter or larger shall be A.S.T.M. C-76, Class III.
- All storm sewer pipe under pavement, regardless of size, shall be reinforced concrete pipe (A.S.T.M. C-76, Class III) unless noted otherwise on the plans.
- Corrugated metal pipe shall conform to the standard specifications for corrugated culvert pipe M 36, A.A.S.H.O. See plans for gauge.
- All filled places under buildings, proposed storm and sanitary sewer lines and/or paved areas including trench backfills shall be compacted to 90% of maximum density as determined by the "Modified A.A.S.H.O. T-180 Compaction Test" (A.S.T.M. D-1557) unless otherwise specified by local governing authority specifications. All tests shall be verified by a Soils Engineer.
- All filled places in paved State, County or City roads (Highways) shall be compacted to 90% of maximum density as determined by the "Standard Proctor Test A.A.S.H.O. T-99" (A.S.T.M. D-698) unless otherwise specified by local governing authority specifications. All tests shall be verified by a Soils Engineer.
- All storm and sanitary trench backfills will be water jetted. Granular backfill will be used under pavement areas.
- Easements shall be provided for storm sewers, sanitary sewers and all utilities on the record plat. See record plat for location and size of easements. This does not apply to house laterals.
- No area shall be cleared without permission of the developer.
- All grade shall be within 0.2 feet more or less of those shown on the grading plan.
- No slope shall be greater than 3:1 and shall be either sodded or seeded and mulched.
- Barricades will consist of three standard 12" x 36" red and white striped scotchlite hazard markers mounted on two pound "U" channel sign post, with bottom of marker seven feet above pavement surface.
- All manhole and catch basin tops built without elevations furnished by the Engineer will be the responsibility of the sewer contractor. At the time of construction stake-out of the sewer lines, all curb and grate inlets will be face staked. If normal face stakes fall in line with sewer construction the Engineer will set these stakes on a double offset. It shall be the responsibility of the sewer contractor to preserve all face stakes from destruction.
- All standard street curb inlets to have front of inlet 2 feet behind curb.
- The minimum vertical distance from the low point of the basement to the flowline of a sanitary sewer at the corresponding house connection shall not be less than the diameter of the sanitary sewer plus a vertical distance not less than two and one half feet (2-1/2').
- Water lines, valves, sleeves, meters and etc. shall meet all specifications and installation requirements of the local governing authority.
- All cast iron pipe for water mains shall conform to AWWA specification C-106 and/or C-108. The cast iron fittings shall conform to AWWA specification C-110. All rubber gasket joints for water cast iron pressure pipe and fittings shall conform to AWWA specification C-111.
- All water hydrants and valves shall be cast iron and installed in accordance with plans and details.
- All sanitary and storm sewers shall meet all specifications and installation requirements of the local governing authority.
- All P.V.C. water pipe shall have a minimum pressure rating of PR-200 or SDR-21.
- All P.V.C. sanitary sewer pipe to be DR-35 or equal with crushed stone bedding uniformly graded between 1" and 1/4" size. This bedding shall extend from 6" below the pipe to 7/10 of the pipe dia. above the bottom of the pipe.
- All grading on Missouri State Highway Right-of-Way shall be seeded and mulched and all disturbed Right-of-Way Markers shall be reset at the completion of grading.
- All streets must meet the specifications and installation requirements of the City of O'Fallon.
- This tract is served by
  - Duckett Creek Sewers
  - St. Charles County Water Dist. 2
  - Union Electric
  - Laclede Gas
  - Contel Telephone
  - Cottleville Fire Dist.



### INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	FLAT PLAN
3	GRADING PLAN
4-5	STREET PROFILES
6-7	SANITARY SEWER PROFILES
8-9	STORM SEWER PROFILES
10	DRAINAGE AREA MAP
11-13	CONSTRUCTION DETAILS
7	RECORD PLAT

### LEGEND

C.I.	Curb Inlet
D.C.I.	Double Curb Inlet
A.I.	Area Inlet
G.I.	Grate Inlet
M.H.	Manhole
F.E.	Flared end section
E.P.	End pipe
C.P.	Concrete pipe
R.C.P.	Reinforced concrete pipe
C.M.P.	Corrugated metal pipe
C.I.P.	Cast iron pipe
P.V.C.	Polyvinyl chloride pipe
V.C.P.	Vitrified clay pipe
CO.	Clean out
V.T.	Vent trap
—●—	Storm sewer (proposed)
—○—	Sanitary sewer (proposed)
—530—	Existing contour
—550—	Proposed contour
—+—	Street sign
— —	End of lateral
— —	Lateral
5	Lot or building number
—○—	Test Hole
—x—	Existing fence line
—wavy—	Existing tree line
—wavy—	Storm sewer (existing)
—wavy—	Sanitary sewer (existing)
— —	Water line
—+—	Tee and valve
—○—	Cap
—○—	Hydrant
—+—	Thrust block

### PROJECT BENCHMARK:

Railroad Spike in West Side of 66"  
Sycamore Tree at Intersection of Fox  
Hollow Drive & Dardenne Drive,  
Dardenne Farms.  
Elev. 484.19

### "AS-BUILTS"

REV	DATE	DESCRIPTION	BY	CHKD
1	12-19-89	REV. FOR CITY COMMENTS		
2	2-1-90	SHEET 2 OF 7 (LAST SHEET)		

PREPARED FOR:  
T.B. FARMS DEVELOPMENT CO.  
661 BENT BROOK COURT  
ST. LOUIS, MISSOURI 63122  
(314) 965-2889

DRAWN BY: J.W.S. DATE: Feb. 1989  
CHECKED BY: J.W.S. DATE: Feb. 1989

84-067



This is to certify that the as-constructed elevations, locations and distances shown hereon are correct and were taken in the field during December, 1989.

Ray Pickett  
No. 1506, L.S. # 1506

PROPERTY OF  
CITY OF OFFALON  
BUILDING DEPARTMENT

1/7



RAY PICKETT, PE - E-14395  
349 MID RIVERS DRIVE 278-1211  
ST. PETERS, MO. 63376 441-1211

WHEATFIELD PLAT TWO FLAT PLAN		84-067	
REV	DATE	BY	DESCRIPTION
2-1-88	SR		LAT. STATIONS
6-15-88	SR		WATER SEWER
7-1-88	SR		STORM SEWER
7-2-88	SR		AS-BUILTS
8-11-88	SR		AS-BUILTS
11-13-84	KAW		per Wheatfield



Note: Shaded "balloons" indicate "As-Built" structures.

Typical "As-Built" Fire Hydrant

- MATERIALS TO BE USED ON STATE RIGHT-OF-WAY**
- CONCRETE SURFACE**
- 6" Sack Mix
  - 8" Concrete
  - 6" x 6" x 6" Steel Mesh (3" below finished grade)
  - 4" Rolled Stone Base
  - Integral Concrete Curb (6" Vertical) (5/8" Steel Dowels @ 2'-C)
- ASPHALT SURFACE**
- 8" Rolled Stone Base or 6" Type X (Black Base)
  - 3" Asphalt Top (Type C)
  - Machine Laid
  - Asphalt Curb (6" Vertical)

All entrances shall meet the specifications and installation requirements of the City of O'Fallon and the Missouri Highway & Transportation Department.

All Entrances Shall Have A Minimum Sight Distance Of 500' After Construction.

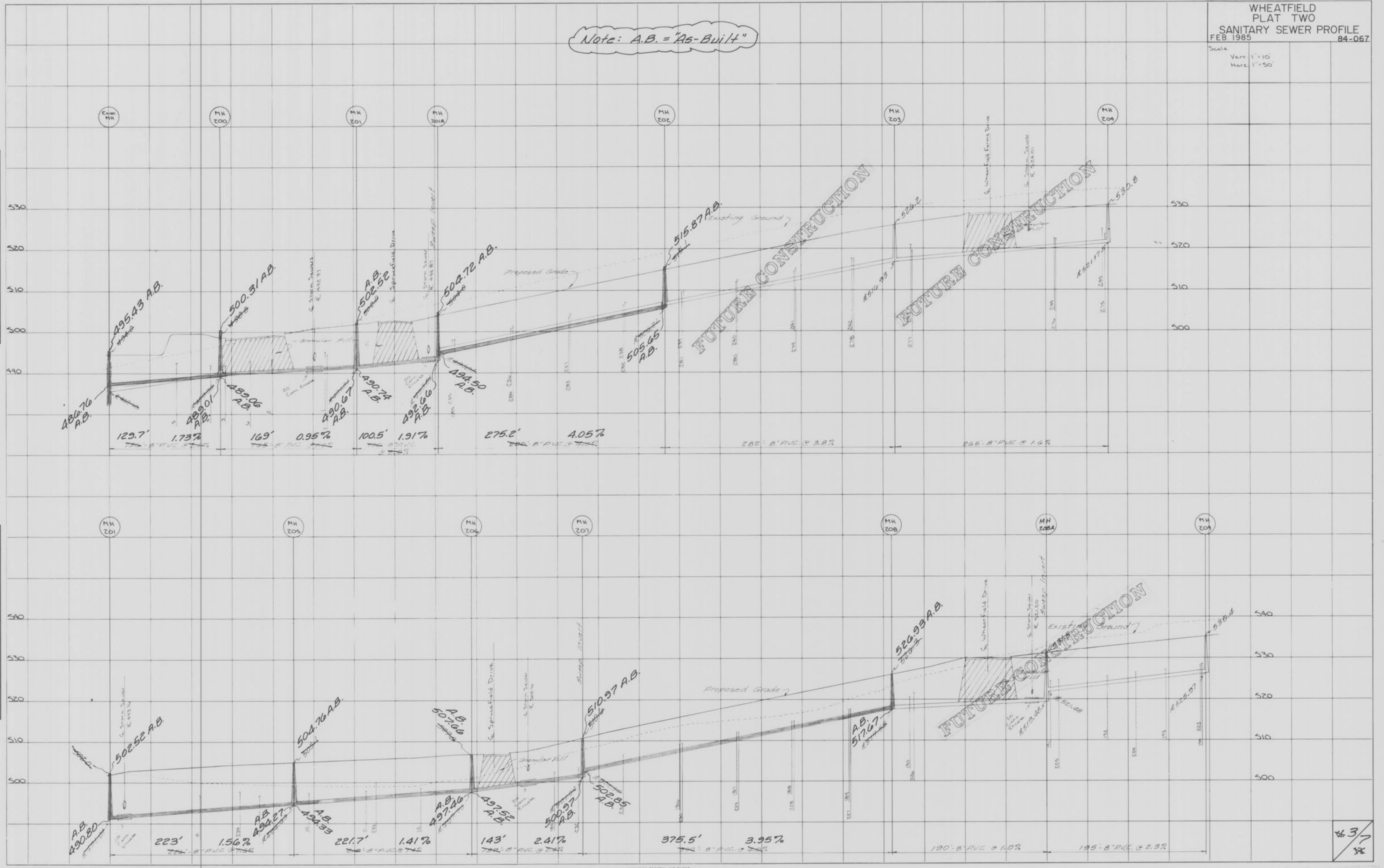
Note: 41.39 shall be type S-2 inlet Refer to sheet 604.27c pg 1-3 of Missouri Standard Plans for Highway Construction for details.

PROPERTY OF CITY OF O'FALLON BUILDING DEPARTMENT

Note: A.B. = "As-Built"

FINAL SURVEY  
 DATE  
 BY  
 CHECKED  
 DATE  
 BY  
 NOTE BOOK NO.  
 AREA  
 INDEX

ORIGINAL SURVEY  
 DATE  
 BY  
 CHECKED  
 DATE  
 BY  
 NOTE BOOK NO.  
 AREA  
 INDEX



HIGHWAY FEDERAL AID SHEET  
 PLATE 3-FULL CROSS SECTION LINE & DOT  
 W/LEADLINE  
 PRINTED IN U.S.A.

#37

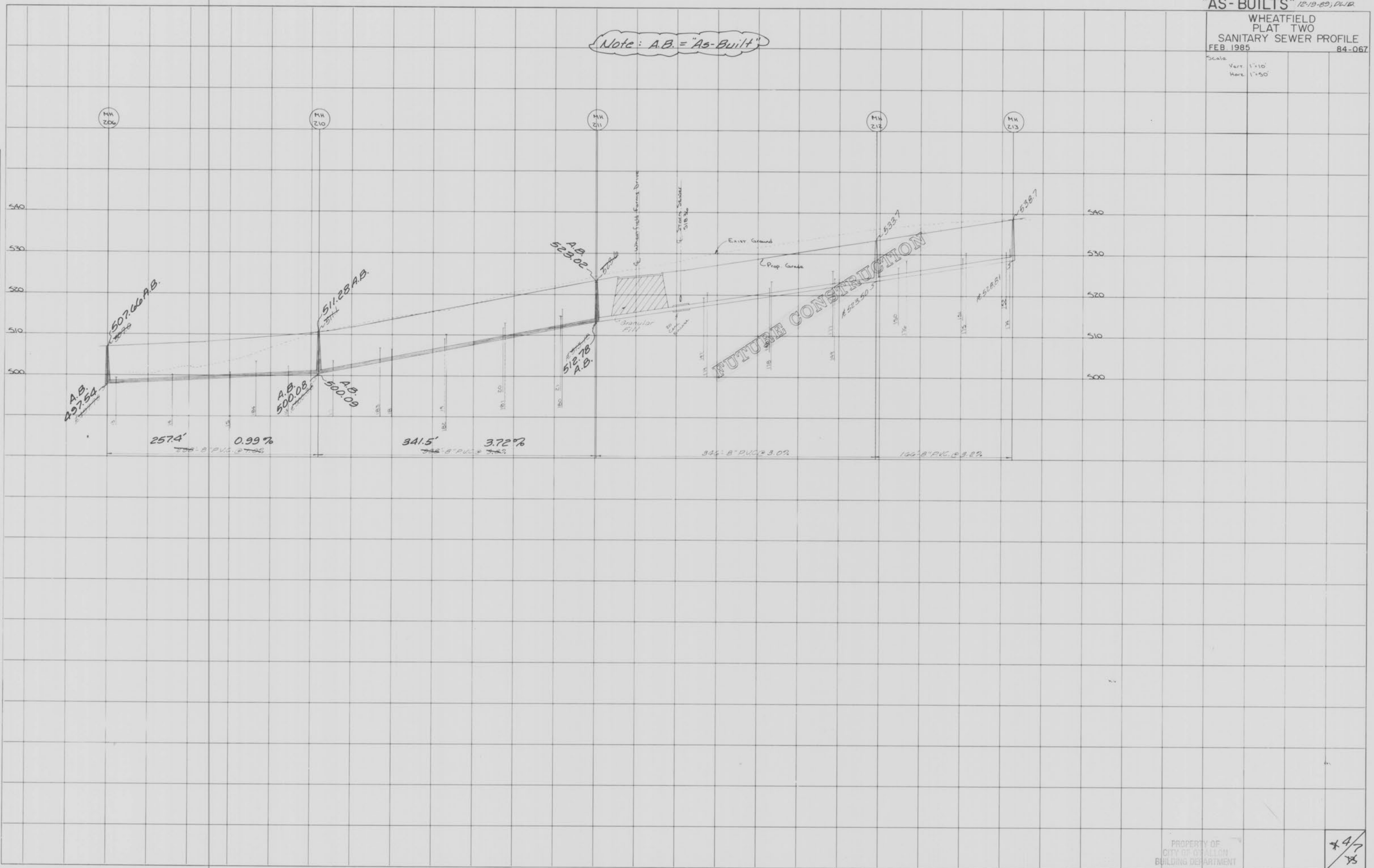
"AS-BUILTS"

Scale  
 Vert. 1"=10'  
 Horiz. 1"=50'

Note: A.B. = "As-Built"

FINAL SURVEY  
 SURVEYED  
 PLOTTED  
 NOTE BOOK  
 AREA CHECKED

ORIGINAL SURVEY  
 SURVEYED  
 PLOTTED  
 NOTE BOOK  
 AREA CHECKED



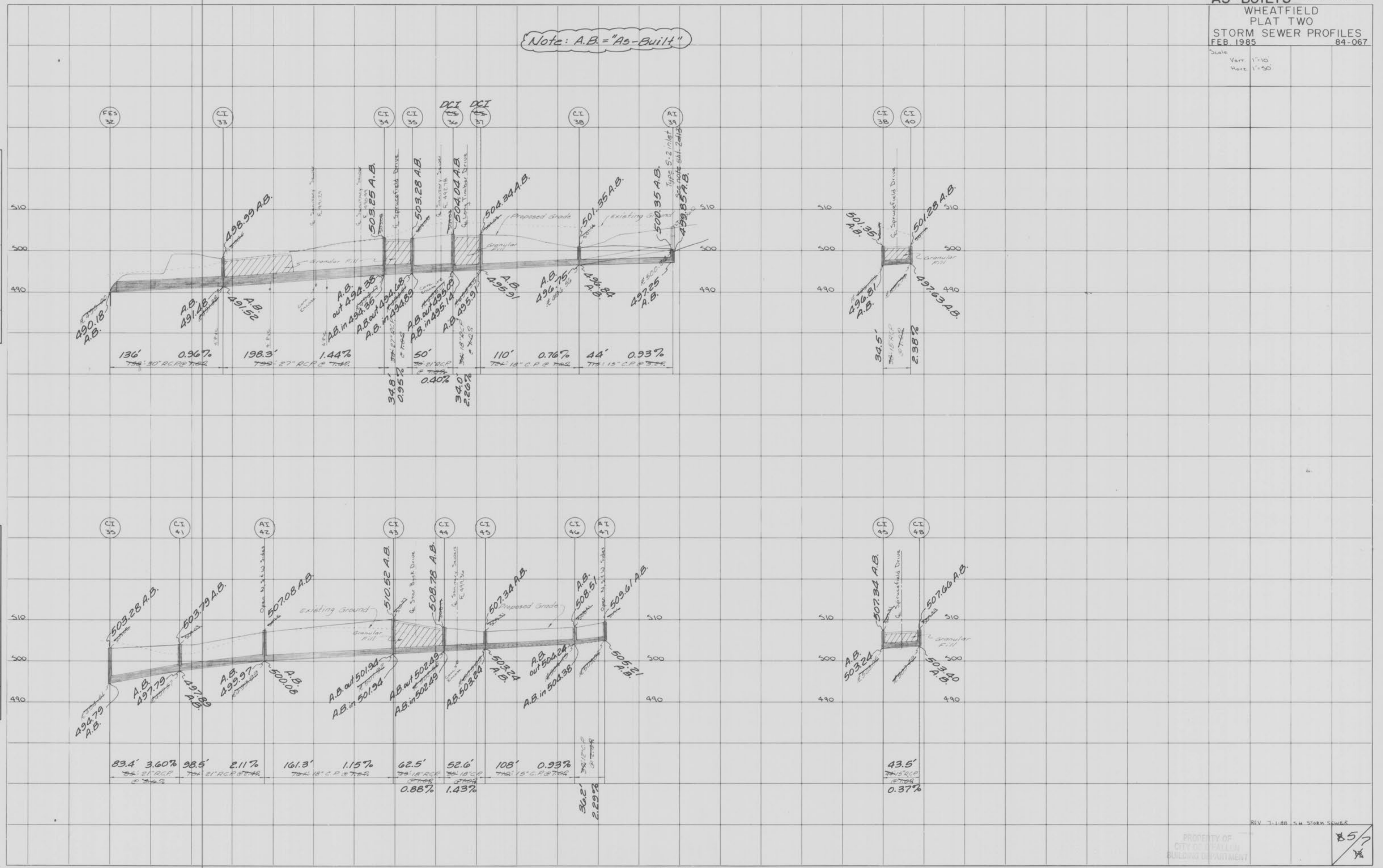
"AS-BUILTS" 12-19-89, DWD  
 WHEATFIELD  
 PLAT TWO  
 STORM SEWER PROFILES  
 FEB. 1985 84-067

Scale  
 Vert. 1"=10'  
 Horz. 1"=50'

Note: A.B. = "As-Built"

FINAL SURVEY  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 REVISIONS:  
 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_

ORIGINAL SURVEY  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 REVISIONS:  
 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_



PROPERTY OF  
 CITY OF FALLON  
 BUILDING DEPARTMENT

857

Scale  
Vert 1" = 10'  
Horr 1" = 50'

Note: A.B. = "As-Built"

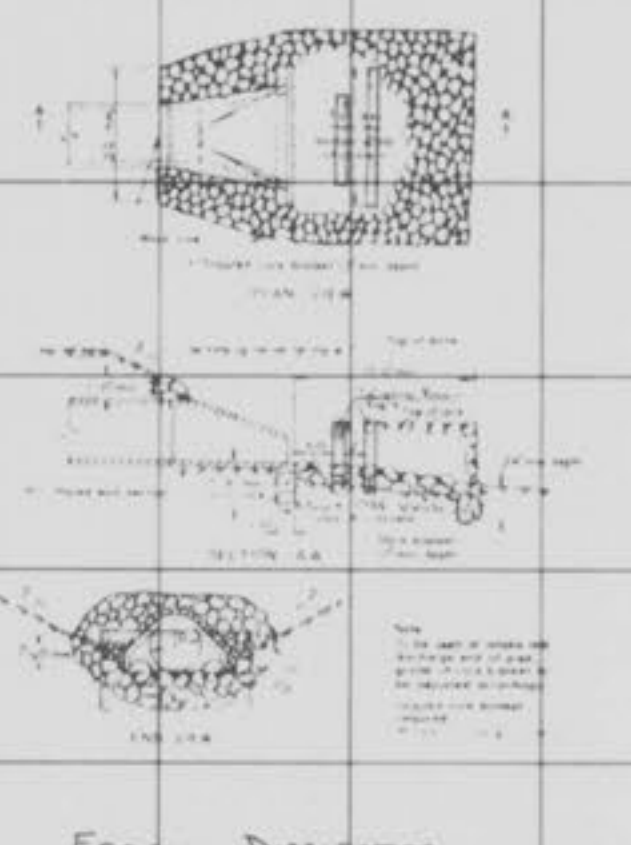
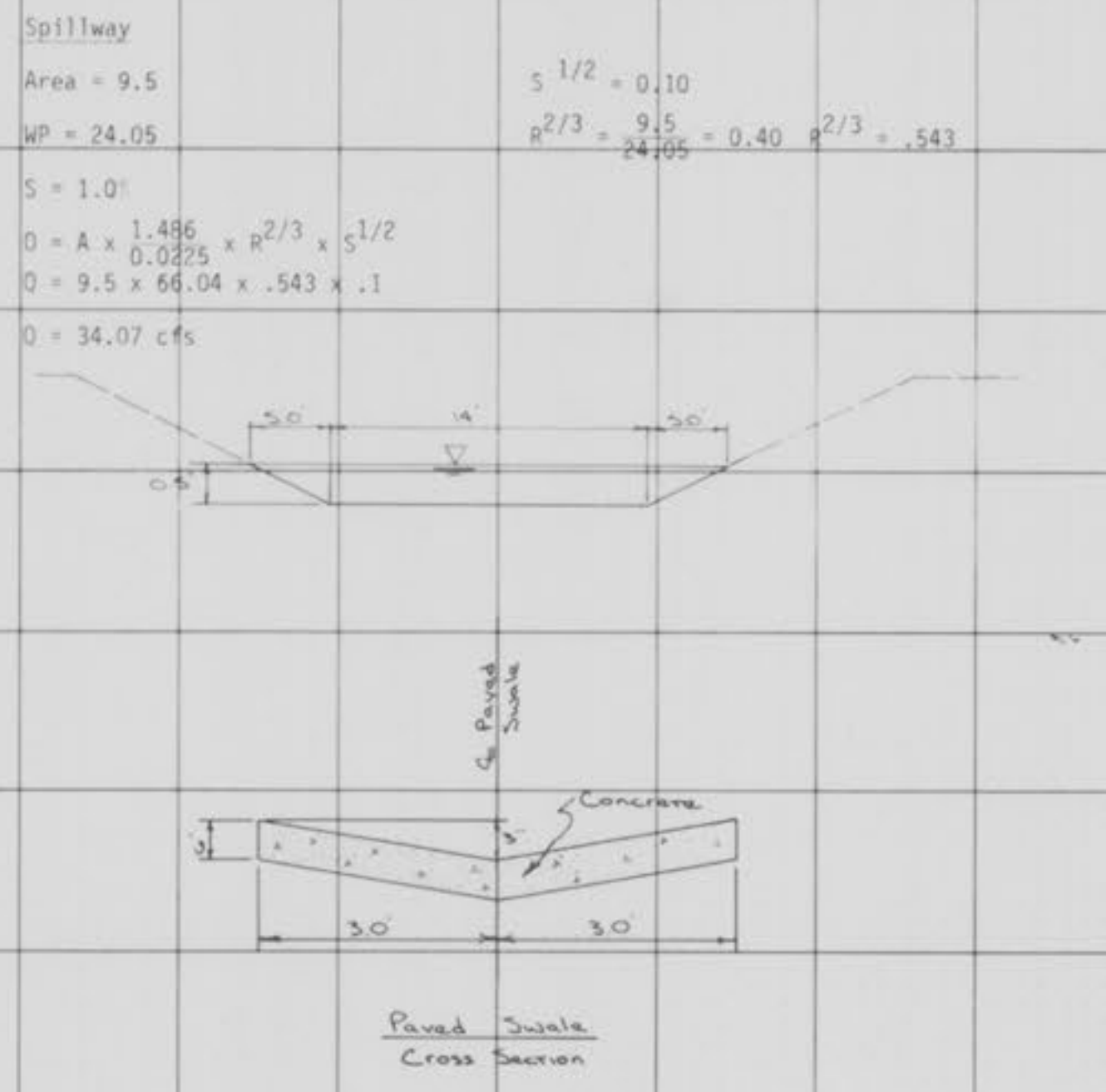


FINAL SURVEY  
DATE  
BY  
REVISIONS  
NO. DATE  
BY  
REASON

ORIGINAL SURVEY  
DATE  
BY  
REVISIONS  
NO. DATE  
BY  
REASON



**DETENTION CALCULATIONS**  
 Developed Q to Pond: 14.18 x 2.4 = 34.02 cfs  
 Undeveloped Q to Pond: 2.42 x 1.7 = 4.11 cfs  
 Differential Runoff: 29.91 cfs  
 Storage Required: 29.91 x 1800 (30 min.) = 53,838 cu. ft.  
 Detention Pond (Dry)  
**Overflow Calculations**  
 Capacity of 8" opening as an orifice  
 $Q = C_d \sqrt{2gh}$   
 $Q = 0.6 \times 0.349 \times \sqrt{2(32.2)4.27}$   
 $Q = 0.21 \times 52.74$   
 $Q = 3.47$  cfs  
 Constant: C = 0.6  
 Area: A = 0.349  
 Gravity: g = 32.2  
 Head: h = 4.27  
 Quantity to Pond: 34.02 cfs  
 Overflow of 18" opening: 3.47 cfs  
 Differential: 30.55 cfs  
 $30.55 \times 1800 (30 \text{ min}) = 54,990 \text{ cu. ft.}$   
 Storage of Pond at 494.00 = 67,768 cu. ft.



42.0'  
x 0.00  
@ 1.00  
(175)  
0.74%

x 6/7  
x

# WHEATFIELD PLAT TWO

A TRACT OF LAND IN PART OF U.S. SURVEY 293 T.46N., R.3E., ST. CHARLES COUNTY, MISSOURI

PICKETT, RAY & SILVER, INC.  
333 Mid Rivers Mall Drive  
St. Peters, MO 63376

This is to certify that we have, during the month of November, 1984, by order of Frank Tegethoff, executed a boundary survey, and during the month of July, 1989, by order of Wheatfield Associates, Inc., subdivided a tract of land being part of U.S. Survey 293, Township 46 North, Range 3 East, St. Charles County (City of O'Fallon), Missouri, and the results of said survey and subdivision are correctly represented hereon.

*Ray J. Pickett*  
Ray Pickett, L.S. 1506  
Registered Land Surveyor

The undersigned B.F.T. Inc., A Missouri Corporation, being the owner and developer of the tract described in the foregoing surveyor's certificate, has caused said tract to be surveyed, and a subdivision plat to be prepared in the manner shown hereon, which plat shall hereafter be known as "Wheatfield Plat Two".

The undersigned declares that all streets shown hatched hereon, together with their roundings at intersections, and together with their cut-de-sacs, are hereby designated as public streets and roadways, and are hereby dedicated to the City of O'Fallon, Missouri, and covenant and agree that city acceptance of said streets and roadways shall not be petitioned until the streets and roadways are improved in such a manner as to comply with the required improvements section of Rules for Land Subdivision for the City of O'Fallon, Missouri.

The undersigned further designates the streets and roadways shown hereon as utility easements. Said streets and roadways, and all easements shown hereon, are hereby established as utility easements, and are hereby granted to the City of O'Fallon, Missouri, its successors and assigns, and are hereby granted to the respective utility companies, their successors and assigns, for the purpose of constructing, maintaining and repairing sanitary sewers, storm sewers, gas lines, water lines, electric lines, telephone lines, and for any appurtenance and equipment related thereto, and for cable television lines and related equipment for the transmission of telecommunication services, and also for any other public utility purpose.

The undersigned declares that this subdivision shall be subject to the covenants, conditions and restrictions of Wheatfield Plat Two as set forth in an instrument dated 198, and filed in Book       , Page        in the office of the recorder of deeds, St. Charles County, Missouri.

All lots shown hereon are established for single family dwelling purposes.

All building lines as shown hereon are hereby established.

All taxes due and payable against this property have been paid in full.

The area of land designated hereon as "common ground" is not dedicated hereby for use by the general public, but is hereby established and granted as an easement to the Wheatfield Homeowners Association for the use and enjoyment of said association, its successors and assigns, as more fully provided in the aforementioned covenants, conditions, and restrictions, and said "common ground" is also hereby granted to the various utility companies and to the City of O'Fallon, Missouri, as a utility easement for the various utility purposes described above.

The undersigned hereby covenants, for itself, its heirs and assigns that it shall convey the "common ground" shown hereon to said homeowners association free and clear of all liens and encumbrances, except utility easements, at such time as established by the aforementioned covenants, conditions, and restrictions.

The "easements for monumentation" as shown hereon are hereby established and granted, as easements, to the Wheatfield Homeowners Association for the purpose of erecting, maintaining, repairing, improving and replacing permanent physical improvements that identify, enhance and improve the entrance to this subdivision, such as, but not limited to, signs, stonework, fences, light fixtures and landscaping, and are also hereby established and granted as utility easements to the respective utility companies.

IN WITNESS WHEREOF, the undersigned has set his hand this 15 day of SEPTEMBER, 1989.

B.F.T., INC.  
A Missouri Corporation

By: *Charles F. Pickett*  
CHARLES F. PICKETT, JR.  
Please Print Name

STATE OF MISSOURI )  
                                  ) SS

On this 15 day of SEPTEMBER, 1989, before me appeared CHARLES F. PICKETT, JR. to me personally known, who, being by me duly sworn, did say that he is PRESIDENT of B.F.T. Inc.

a Corporation of the State of Missouri, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation, by authority of its Board of Directors; and said CHARLES F. PICKETT, JR. acknowledges said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid the day and year first above written.

My term expires:         
Notary Public Signature:         
Please Print Name:       

The undersigned holder or legal owner of notes secured by a Deed of Trust recorded in Book       , Page       , of the St. Charles County Recorder's Office hereby joins in and approves in every detail, this subdivision plat of Wheatfield Plat Two.

IN WITNESS WHEREOF, said holder or legal owner has signed and sealed this plat this 15 day of SEPTEMBER, 1989.  
Lender Royal Bank of Missouri by: *John C. Leithoff*  
Please print name: John C. Leithoff  
Title: Vice-President

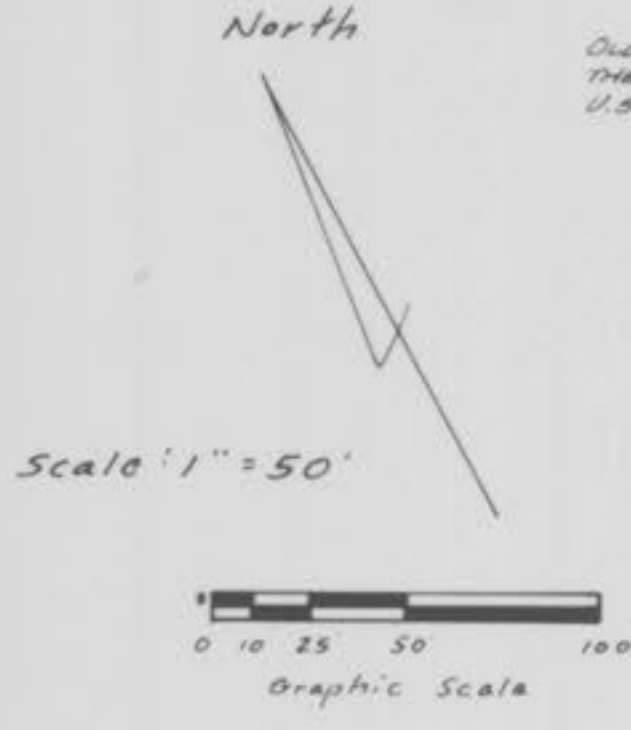
STATE OF MISSOURI )  
                                  ) SS

On this 15 day of SEPTEMBER, 1989, before me appeared CHARLES F. PICKETT, JR. to me personally known and who being by me duly sworn, did say that he is the VICE PRESIDENT of Royal Bank of Missouri, a Corporation of the State of Missouri, and that the seal affixed to the foregoing instrument is the corporate seal of said corporation and that said instrument was signed and sealed in behalf of said corporation by authority of its Board of Directors; and said CHARLES F. PICKETT, JR. acknowledges said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid the day and year first above written.

My term expires:         
Notary Public Signature:         
Please Print Name:       

Note: Crosses Will Be Cut At All Street Centerline Intersections, Centerline P.C.'s, and P.T.'s, and Centerline Changes in Direction.



I,        City Clerk hereby certify that Ordinance No.        approving this plat and directing me to endorse same under my hand and seal was duly passed and approved by the Board of Aldermen of the City of O'Fallon, Missouri, and same approved by the Mayor of said City on 19       .

City Clerk, O'Fallon, Missouri

- 1) TOTAL AREA OF PLAT 12.115 ACRES
- 2) ALL BUILDING LINES ARE 25 FEET, AS SHOWN
- 3) Number in Rectangle in Each Lot Represents the Address, As Furnished By Post Office; Pickett, Ray & Silver Inc. Makes No Certification As To Their Correctness

Easement for Monumentation (140' x 110') and 10' W. Easement. Property to be conveyed to the State of Missouri (State Highway Commission of Missouri) by separate instrument.

COMMON GROUND  
DRAINAGE & UTILITY  
EASEMENT  
0.001 ACRES

Rev. 8-14-89  
**PICKETT RAY & SILVER**

Civil Engineers  
Planners  
Land Surveyors  
333 Mid Rivers Mall Dr  
St. Peters, MO 63376  
441-1211 278-1211

Wheatfield Plat Two  
"AS-BUILTS"

DRAWN LSM DATE 7/26/89  
CHECKED DS DATE 8-4-89  
FIELD BOOK PROJECT # 84-067  
JOB ORDER # 5057