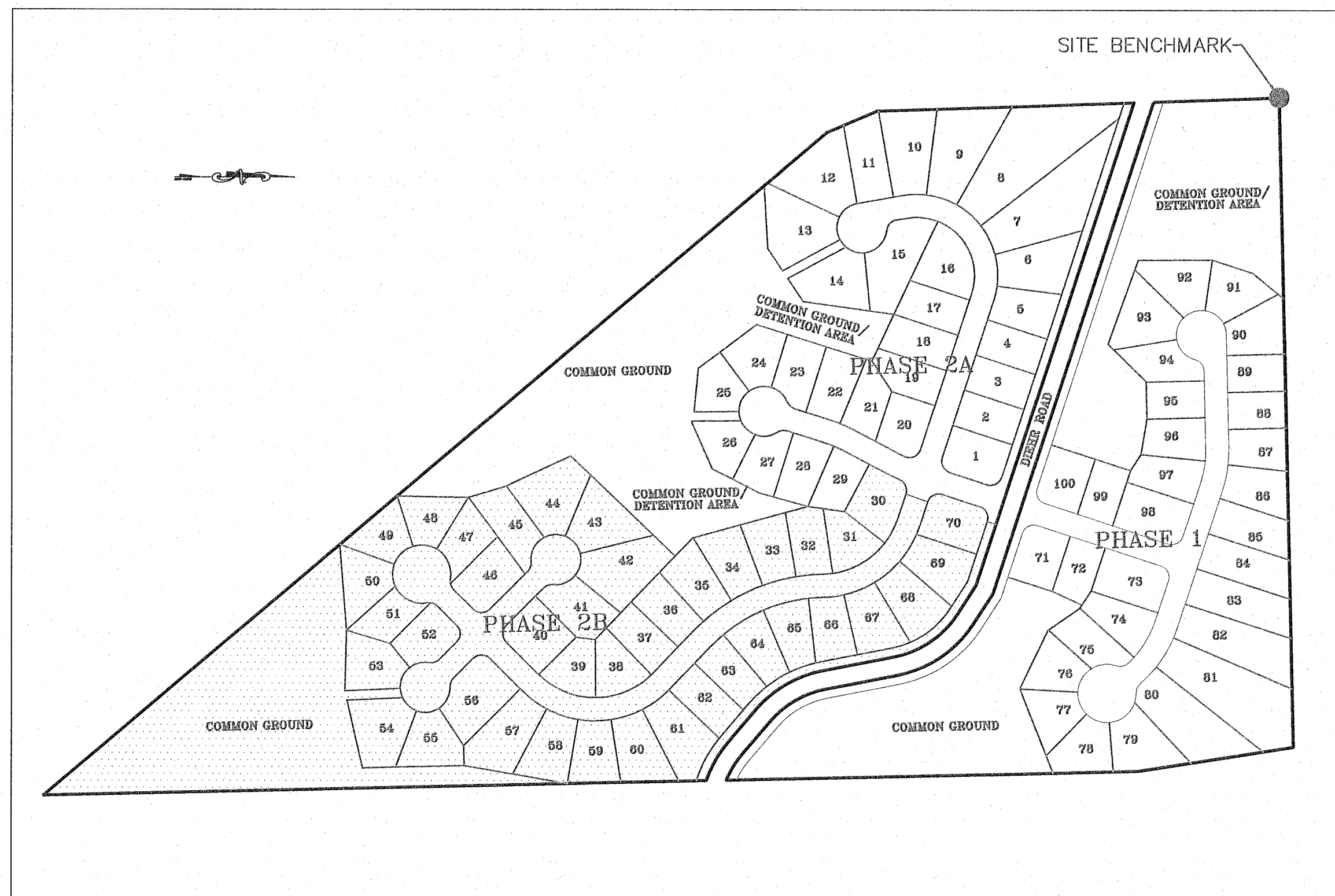


A SET OF AS-BUILTS FOR WILLOW WALK ESTATES PHASE 2B

TRACTS OF LAND IN U.S. SURVEY 418,
AND IN FRACTIONAL SECTION 17,
TOWNSHIP 46 NORTH, RANGE 2 EAST
OF THE FIFTH PRINCIPAL MERIDIAN
ST. CHARLES COUNTY, MISSOURI



Plan View

Benchmarks Project

BENCHMARKS:

RM39 AS PUBLISHED ON ST. CHARLES COUNTY, MISSOURI FIRM
MAP 29183C0220 E DATED AUGUST 2, 1996

RM39 ELEV 556.90 CHISELED SQUARE ON THE NORTH END OF
THE WEST HEADWALL OF POST ROAD BRIDGE OVER
TRIBUTARY NO. 15

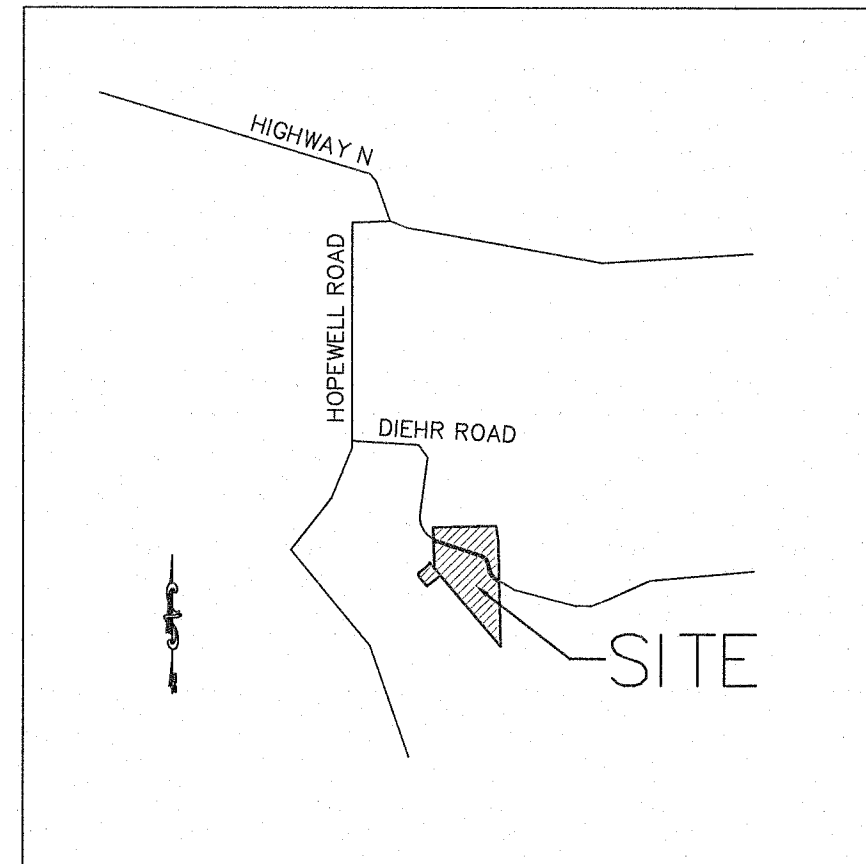
Site

BENCHMARK:

OLD STONE AT THE NORTHWEST CORNER OF
PHASE 1.
ELEV. - 621.65 (U.S.G.S.)



**CALL BEFORE
YOU DIG!
1-800-DIG-RITE**



Locator Map

Legend

600.00	EXISTING LABELS	□	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	□	EXIST. AREA INLET
CI	SINGLE CURB INLET	□	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	■	PROPOSED AREA INLET
AI	AREA INLET	■	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	⊙	EXIST. SANITARY MANHOLE
GI	GRATE INLET	⊙	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	●	PROPOSED MANHOLE
MH	MANHOLE	○	POWER POLE
FE	FLARED END SECTION	○	GUY WIRE
EP	END PIPE	○	LIGHT STANDARD
CP	CONCRETE PIPE	○	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	○	WATER METER
CMP	CORRUGATED METAL PIPE	○	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	○	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	○	TELEPHONE PEDESTAL
CO	CLEAN OUT	○	SIGN
.....	SLOPE LIMITS	○	TREE
---	DRAINAGE SWALE		
---	EXISTING STORM SEWER		
---	EXISTING SANITARY SEWER		
---	EXISTING WATER LINE		
---	EXISTING FIBER OPTIC LINE		
---	EXISTING GAS LINE		
---	EXISTING UNDERGROUND ELECTRIC		
---	EXISTING OVERHEAD ELECTRIC		
---	EXISTING CABLE TV LINE		
---	EXISTING TELEPHONE LINE		
---	PROPOSED STORM SEWER		
---	PROPOSED SANITARY SEWER		
---	FENCE LINE		
---	SAWCUT LINE		

Development Notes

- AREA OF TRACT: 38.61 AC.
- EXISTING ZONING: R-1 (CITY OF O'FALLON)
- PROPOSED USE: SINGLE FAMILY HOMES
- CURRENT OWNER OF PROPERTY: PAYNE FAMILY HOMES AT WILLOW WALK ESTATES, L.L.C. 10407 BAUER BLVD., SUITE B ST. LOUIS, MO 63132
- NO FLOODPLAIN EXISTS ON THIS TRACT PER F.L.R.M. #29183 C 0405E, DATED AUG. 2, 1996.
- TOPOGRAPHIC INFORMATION IS PER AERIAL TOPOGRAPHY BY SANBORN ASSOCIATES ON U.S.G.S. DATUM.
- BOUNDARY INFORMATION IS PER SURVEY AS COMPILED BY BAX ENGINEERING DURING AUGUST, 2004.
- ONE TREE SHALL BE PLANTED FOR EVERY LOT. TWO TREES FOR CORNER LOTS.
- ALL HOMES SHALL HAVE A MINIMUM OF 2 OFF-STREET PARKING PLACES WITH 2-CAR GARAGES.
- THE DEVELOPER REALIZES THAT THEY WILL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCES.
- ADDITIONAL LIGHTING MAY BE REQUIRED BY THE CITY OF O'FALLON.
- THE FOLLOWING LOTS ARE SUSCEPTIBLE TO STREET MOVEMENT: 6-10, 12-15, 21, 22, 23-27, 32-36, 41-45, 47-51, 53-56, 57-61, 66-69
- DETENTION FOR THIS DEVELOPMENT TO BE PROVIDED BY THE BASINS WITHIN THE COMMON GROUND AREAS.
- ALL EXISTING CREEKS, STREAMS, AND DRAINAGE SWALES WILL HAVE AN ASSOCIATED STORM WATER EASEMENT THAT WILL BE PROVIDED ON THE RECORD PLAT.
- ALL THE REQUIREMENTS OF THE PLANNING AND ZONING COMMISSION ARE ADDRESSED.
- REQUIRED SHOULDER IMPROVEMENTS AND WALKING TRAIL ALONG DIEHR ROAD SHALL BE APPROVED BY THE CITY AND INSTALLED BY THE DEVELOPER IN A SEPARATE SET OF CONSTRUCTION PLANS. THESE IMPROVEMENTS WILL NEED TO BE INSTALLED AT THE TIME THAT 75 PERCENT OF THE HOME PERMITS ARE ISSUED ON THE DEVELOPMENT.
- THE HOMEOWNER SHALL BE REQUIRED TO PROVIDE, AT THE CITY OF O'FALLON'S DISCRETION, ENGINEERING STUDIES ON ALL LOTS WITH EXTREME CHANGES IN TOPOGRAPHY SHOWING THAT HOMES CAN BE BUILT WITHOUT SIGNIFICANT DANGER TO HEALTH, LIFE OR PROPERTY PER SECTION 405.140 OF THE CITY OF O'FALLON'S SUBDIVISION CODE. THESE STUDIES MUST BE SUPPLIED AND APPROVED PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- CITY APPROVAL OF THE CONSTRUCTION SITE PLANS DOES NOT MEAN THAT ANY BUILDING CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODE.
- ALL UTILITIES AND CONDUIT FOR UTILITIES SHALL BE PLACED WITH A MINIMUM OF 42" INCHES OF COVER BELOW THE FINISH DESIGN GRADE.
- PUBLIC WATER SUPPLY DISTRICT NO. 2 REQUIRES ONE WEEK NOTICE BEFORE CONSTRUCTION BEGINS.
- ALL WATER MAINS, VALVES, FITTINGS, HYDRANTS, AND RELATED ITEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT ST. CHARLES COUNTY PUBLIC WATER SUPPLY DISTRICT NO. 2 GUIDELINES AND SPECIFICATIONS AS APPROVED BY MDNR REVIEW NO. 6050805-13.

Utility Contacts

Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO 63368
636-441-1244

Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO 63366
636-561-3737 Ext. 131

Cuivre River Electric Co.
P.O. Box 160
Troy, MO 63379-0160
1-800-392-3709

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

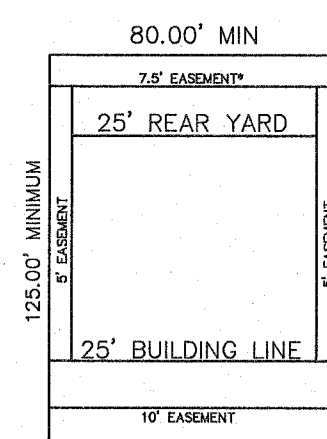
Charter Communications
941 Charter Commons
Town & Country, MO 63017

Fire Department
New Melle Fire Protection District
3705 Mill Street
New Melle, MO 63365
636-828-5528

School District
Wentzville R-IV School District
One Campus Drive
Wentzville, MO 63385
636-327-3800

Drawing Index

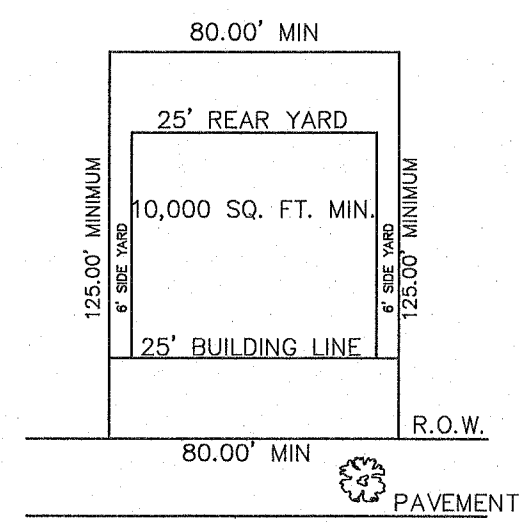
- COVER SHEET
- SITE PLAN
- SANITARY SEWER PROFILES
- STORM SEWER PROFILES
- SWALE DETAILS



TYPICAL LOT EASEMENTS

NOT TO SCALE

NOTE: REAR YARD EASEMENTS THAT BORDER THE PROPERTY BOUNDARY SHALL BE 10' WIDE.



TYPICAL LOT SIZES

NOT TO SCALE

AS-BUILT NOTES:
AREA OF EASEMENTS DEDICATED TO PUBLIC WATER SUPPLY DISTRICT #2
ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 48, PAGES 200-202 OF
THE ST. CHARLES COUNTY RECORDS - 346,060 SQ. FT. (INCLUDES ALL OF
COMMON GROUND)

SEWER MEASUREMENTS

THE EXISTING SEWER LENGTHS, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SENERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS.

SIGNED
PE/LS
STATE OF MISSOURI
MARK E. COLLINS
REGISTERED PROFESSIONAL LAND SURVEYOR
NUMBER
PLS-2006000173

PROJECT TITLE:
**WILLOW WALK
ESTATES
PHASE 2B**

ENGINEERING
PLANNING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63801
636-928-5562
FAX 636-1718

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03/09/16	CITY COMMENTS
07/14/16	CITY COMMENTS
12/20/16	CITY COMMENTS
02/20/18	CITY COMMENTS

Developer / Owner:
**PAYNE FAMILY HOMES
10407 BAUER BLVD., SUITE B
ST. LOUIS, MO 63132**

P+Z No. #5104.01
Approved 02/03/2006
City No. #14-427-AB

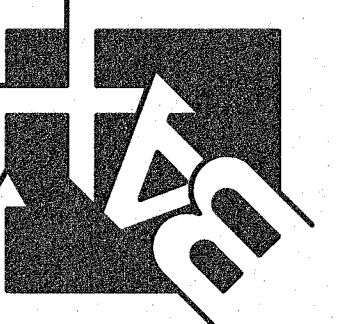
Page No.
1 of 7

AS-BUILT
Issue Date: 02/09/2016

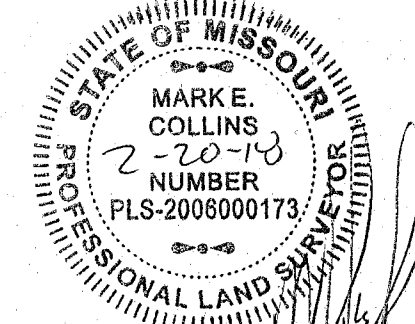
COVER SHEET

PROJECT TITLE:
**WILLOW WALK
ESTATES
PHASE 2**

ENGINEERING
PLANNING
SURVEYING
201 Point West Blvd.
St. Charles, MO 63301
630-626-6662
FAX 630-626-1718



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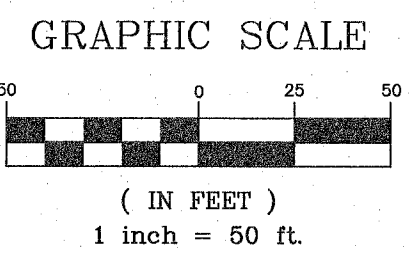
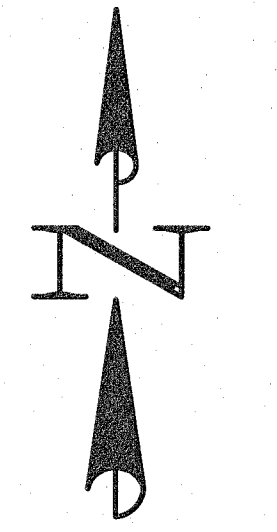
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07/14/16	CITY COMMENTS
12/20/16	CITY COMMENTS
02/20/18	CITY COMMENTS

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ST. LOUIS, MO 63132

P+Z No. #5104.01
Approved 02/03/2006
City No. #14-427-AB

Page No.
2 of 7

SANITARY SEWER PROFILES



PROPERTY N/F
CHRIS WILKES AND
ANGELA WILKES
2861/705
ZONED A:
ST. CHARLES
ST. CHARLES
ST. CHARLES

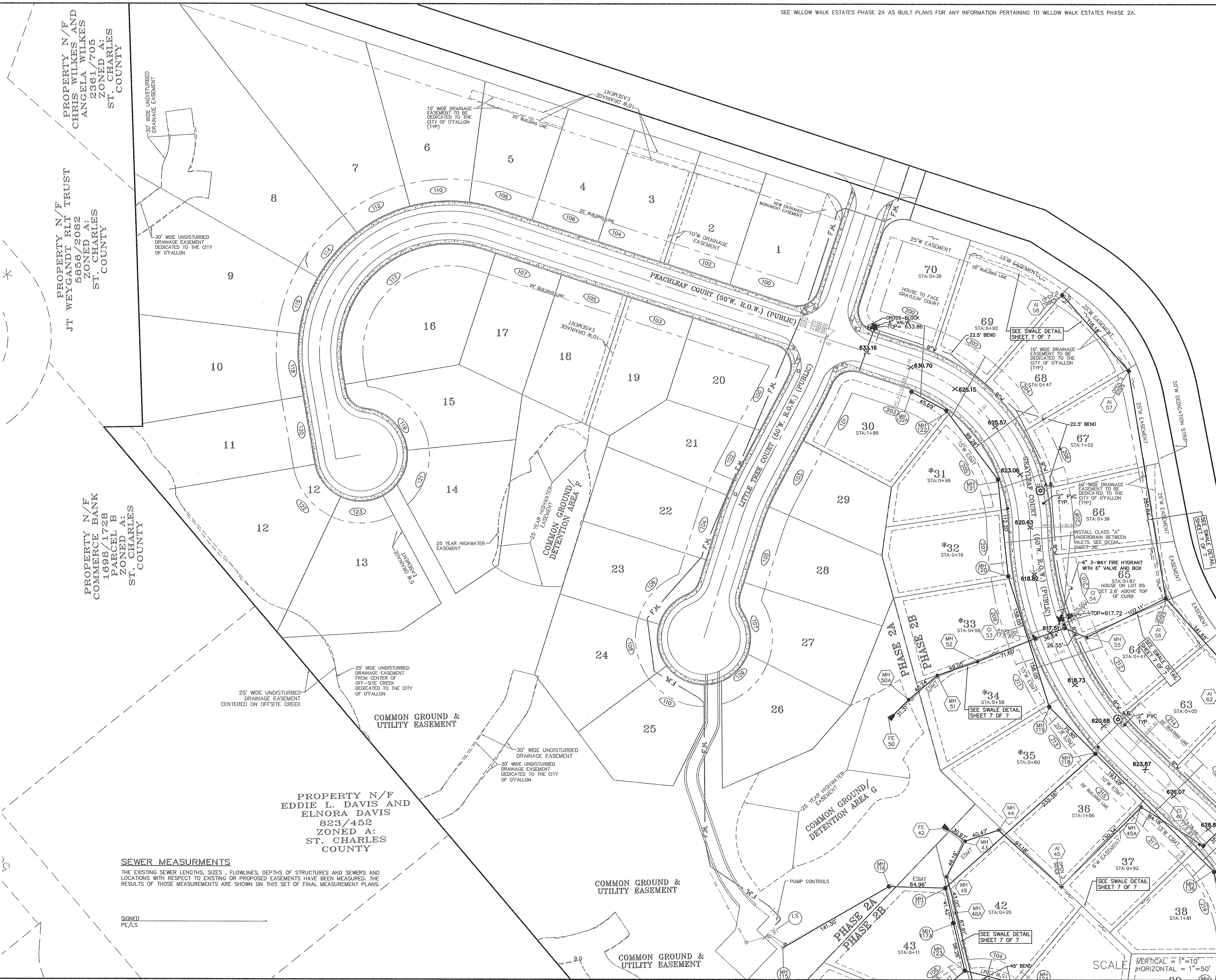
PROPERTY N/F
JT WEYGANDT RTI TRUST
5856/2062
ZONED A:
ST. CHARLES
ST. CHARLES

PROPERTY N/F
COMMERCE BANK
1698/1728
PARCEL B
ZONED A:
ST. CHARLES
ST. CHARLES

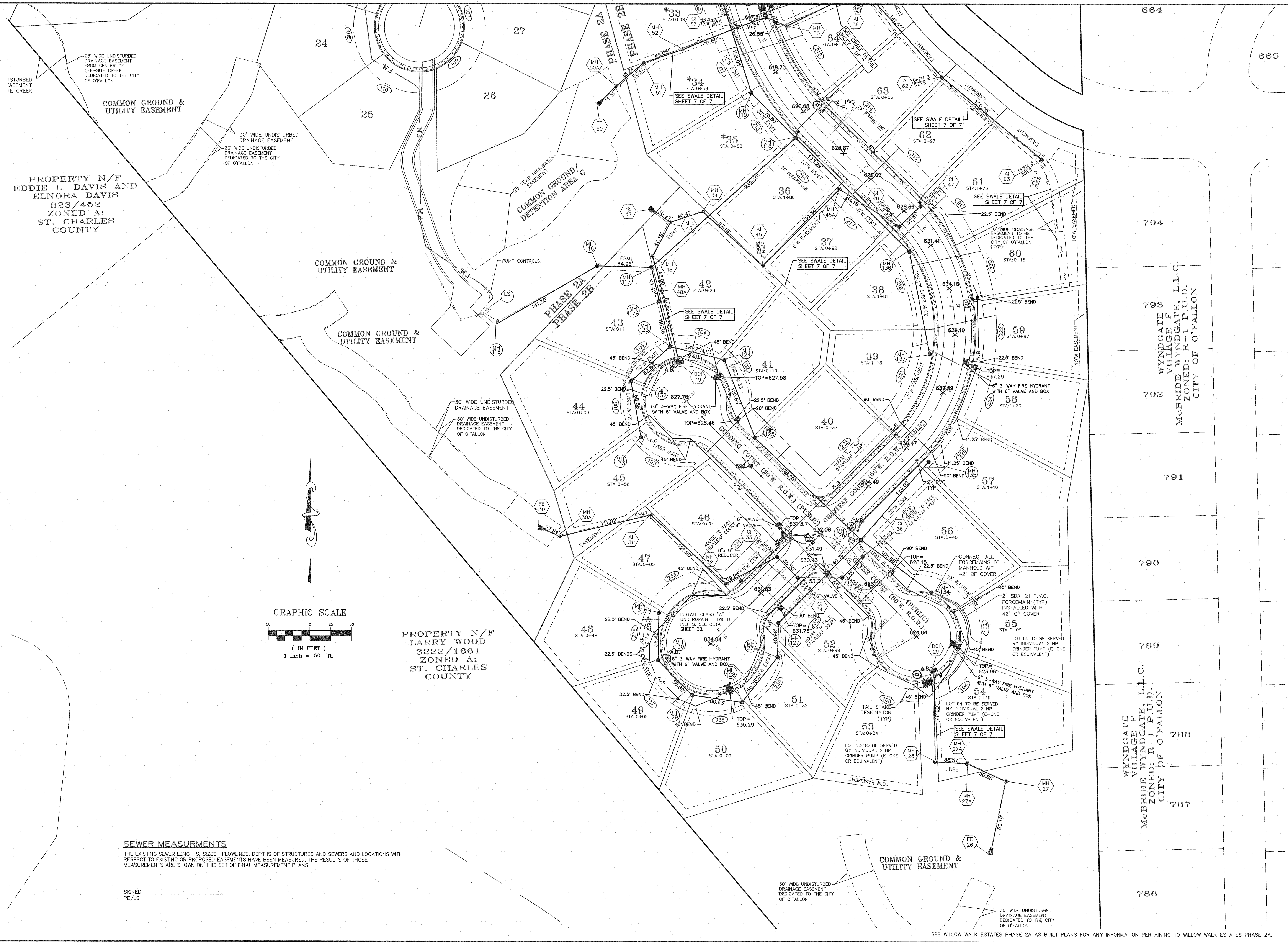
PROPERTY N/F
EDDIE L. DAVIS AND
ELNORA DAVIS
823/452
ZONED A:
ST. CHARLES
ST. CHARLES

SEWER MEASUREMENTS
THE EXISTING SEWER LENGTHS, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS.

SIGNED
PE/LS

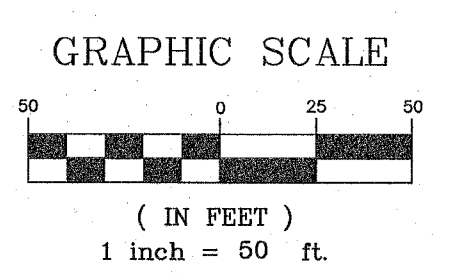


SCALE
VERTICAL = 1" = 10'
HORIZONTAL = 1" = 50'



PROPERTY N/F
EDDIE L. DAVIS AND
ELNORA DAVIS
823/452
ZONED A:
ST. CHARLES
COUNTY

PROPERTY N/F
LARRY WOOD
3222/1661
ZONED A:
ST. CHARLES
COUNTY



SEWER MEASUREMENTS
THE EXISTING SEWER LENGTHS, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS.

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PE/LS

PROJECT TITLE:
WILLOW WALK
ESTATES
PHASE 2

**ENGINEERING
DRAWING
SURVEYING**
241 Point West Blvd.
St. Charles, MO 63301
636-929-6662
FAX 636-929-1718

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MARK E. COLLINS
2016
NUMBER
PLS-2006000173

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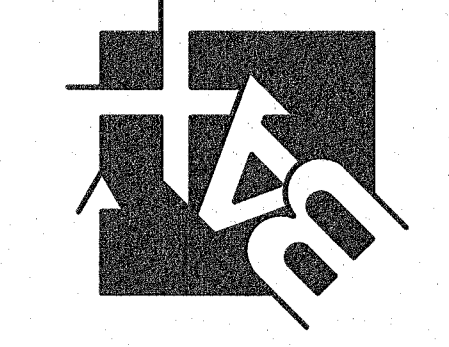
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SITE PLAN

PROJECT TITLE:
**WILLOW WALK
ESTATES
PHASE 2**

ENGINEERING
PLANNING
SURVEYING
231 Point West Blvd.
St. Charles, MO 63301
636-928-6552
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PLS-2008000173
PROFESSIONAL LAND SURVEYOR
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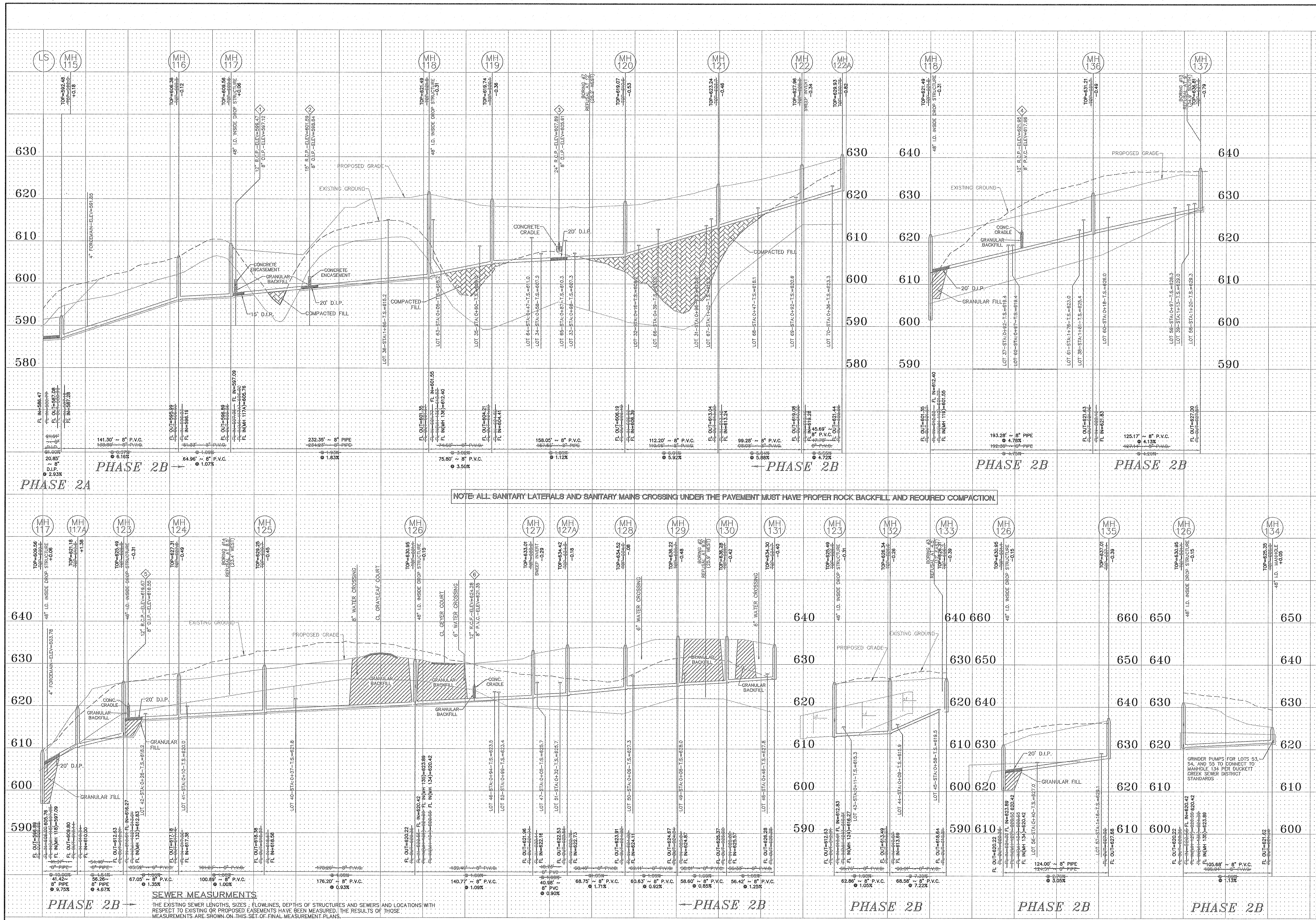
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SANITARY SEWER PROFILES

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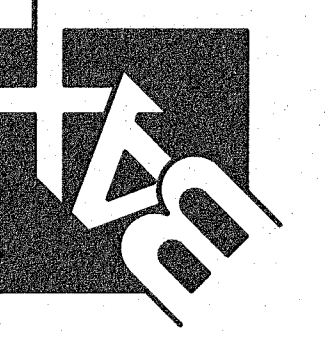
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SEE WILLOW WALK ESTATES PHASE 2A AS BUILT PLANS FOR ANY INFORMATION PERTAINING TO WILLOW WALK ESTATES PHASE 2A.

SCALE: VERTICAL = 1"=10'
HORIZONTAL = 1"=50'

PROJECT TITLE:
**WILLOW WALK
ESTATES
PHASE 2**

ENGINEERING
PLANNING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-929-5552
FAX 636-1718



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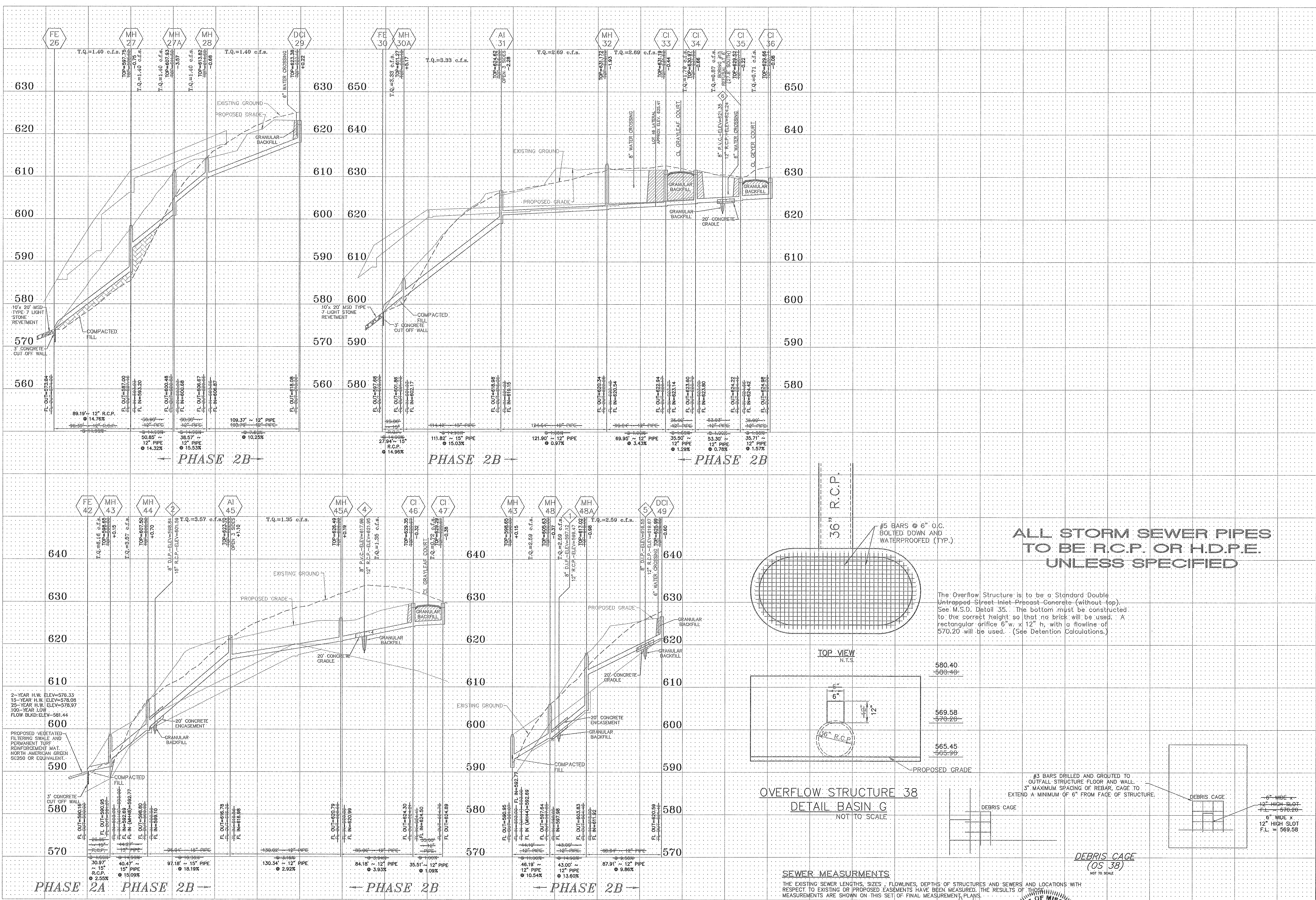
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07/14/16	CITY COMMENTS
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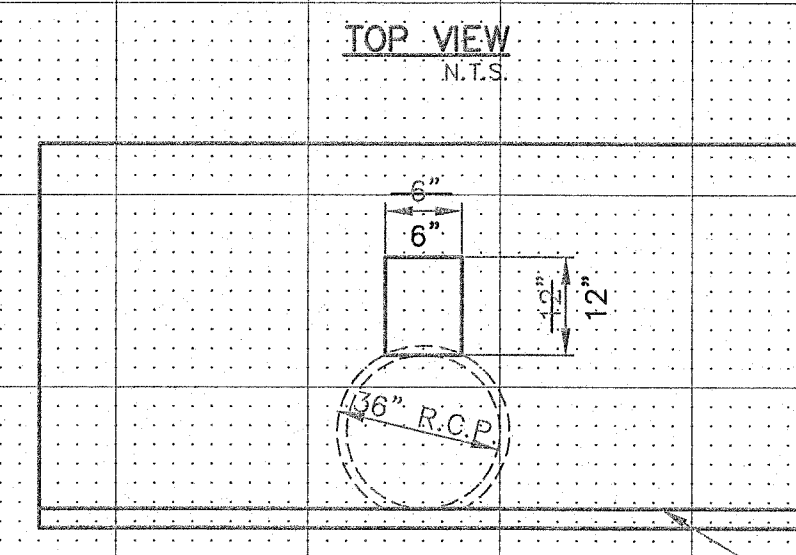
Page No.

STORM SEWER PROFILES



**ALL STORM SEWER PIPES
TO BE R.C.P. OR H.D.P.E.
UNLESS SPECIFIED**

The Overflow Structure is to be a Standard Double Untrapped Street Inlet Precast Concrete (without top). See M.S.D. Detail 35. The bottom must be constructed to the correct height so that no brick will be used. A rectangular orifice 6" x 12" h, with a flowline of 570.20 will be used. (See Detention Calculations.)

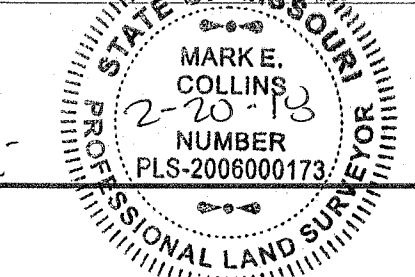


**OVERFLOW STRUCTURE 38
DETAIL BASIN G
NOT TO SCALE**

SEWER MEASUREMENTS

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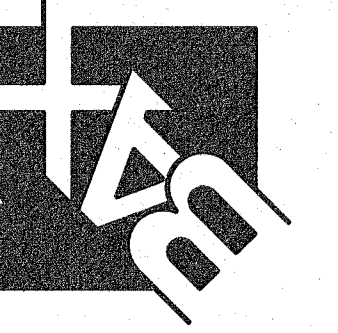


SCALE: VERTICAL = 1"=10'
HORIZONTAL = 1"=50'

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PROJECT TITLE:
**WILLOW WALK
ESTATES
PHASE 2**

ENGINEERING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63301
636-928-5862
FAX 636-1718



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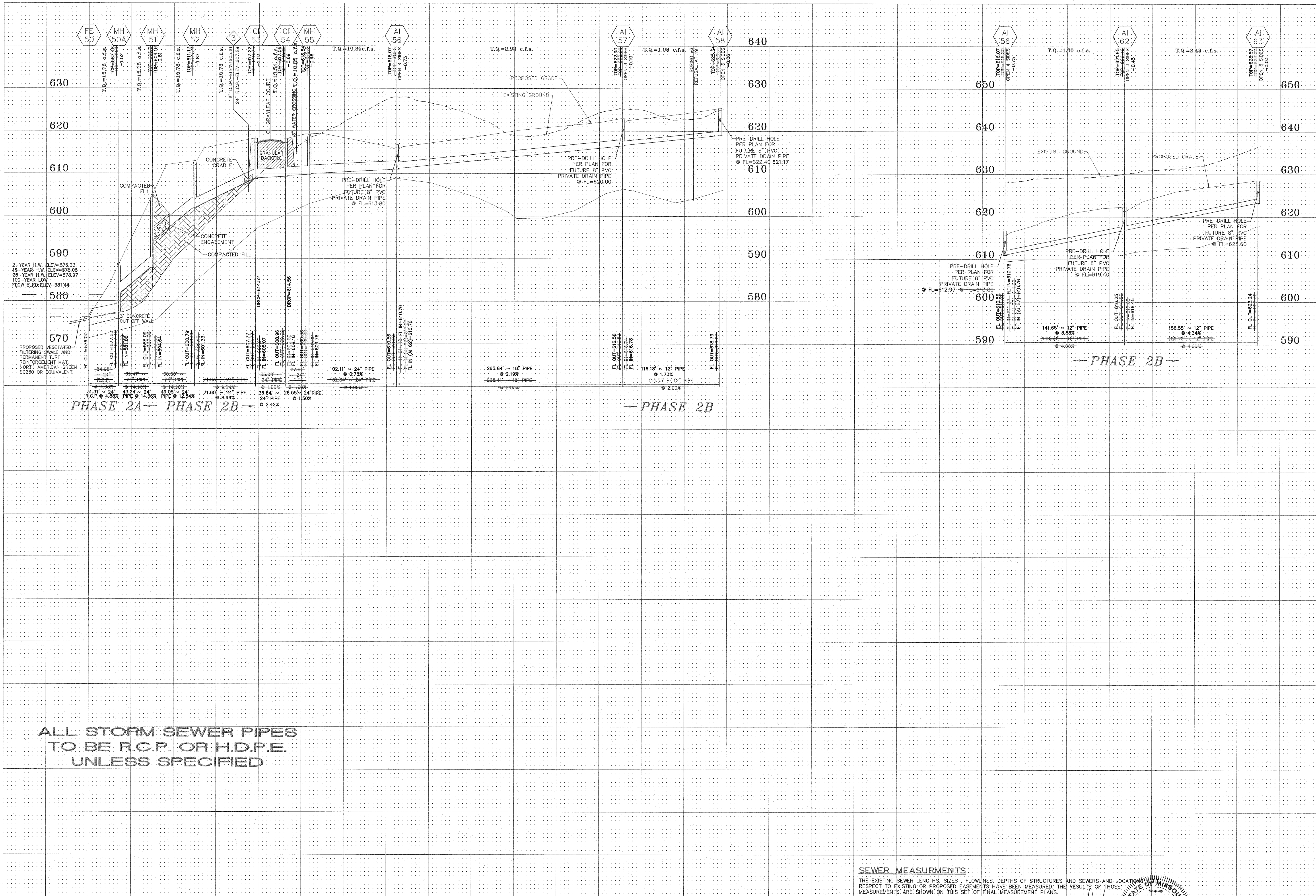
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12/20/16	CITY COMMENTS
02/20/18	CITY COMMENTS

Developer / Owner:
**PAYNE FAMILY HOMES
10407 BAUER BLVD., SUITE B
ST. LOUIS, MO 63132**

P+Z No. #5104.01
Approved 02/03/2006
City No. #14-427-AB

Page No.
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STORM SEWER PROFILES

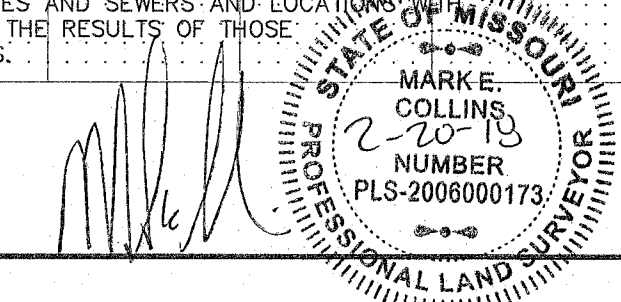


**ALL STORM SEWER PIPES
TO BE R.C.P. OR H.D.P.E.
UNLESS SPECIFIED**

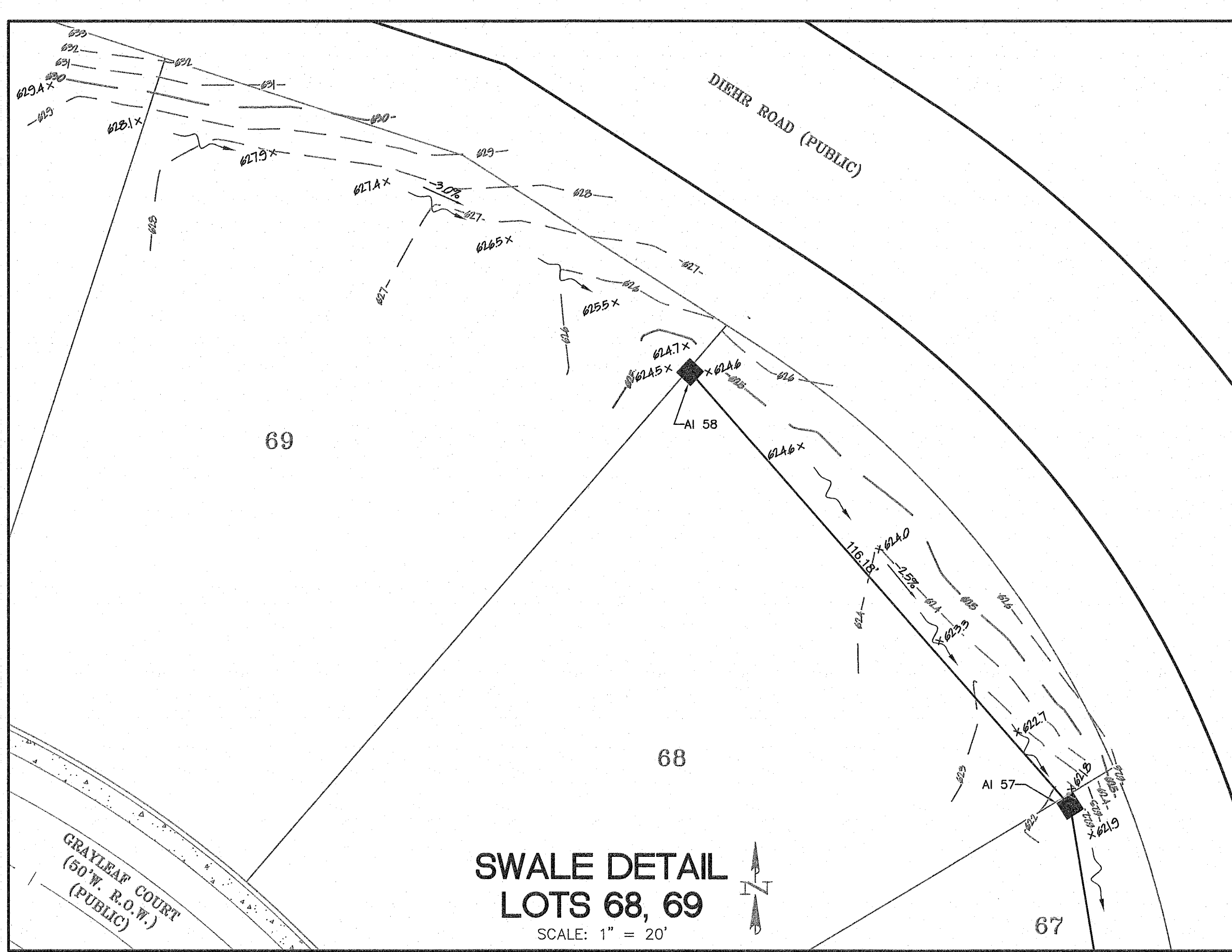
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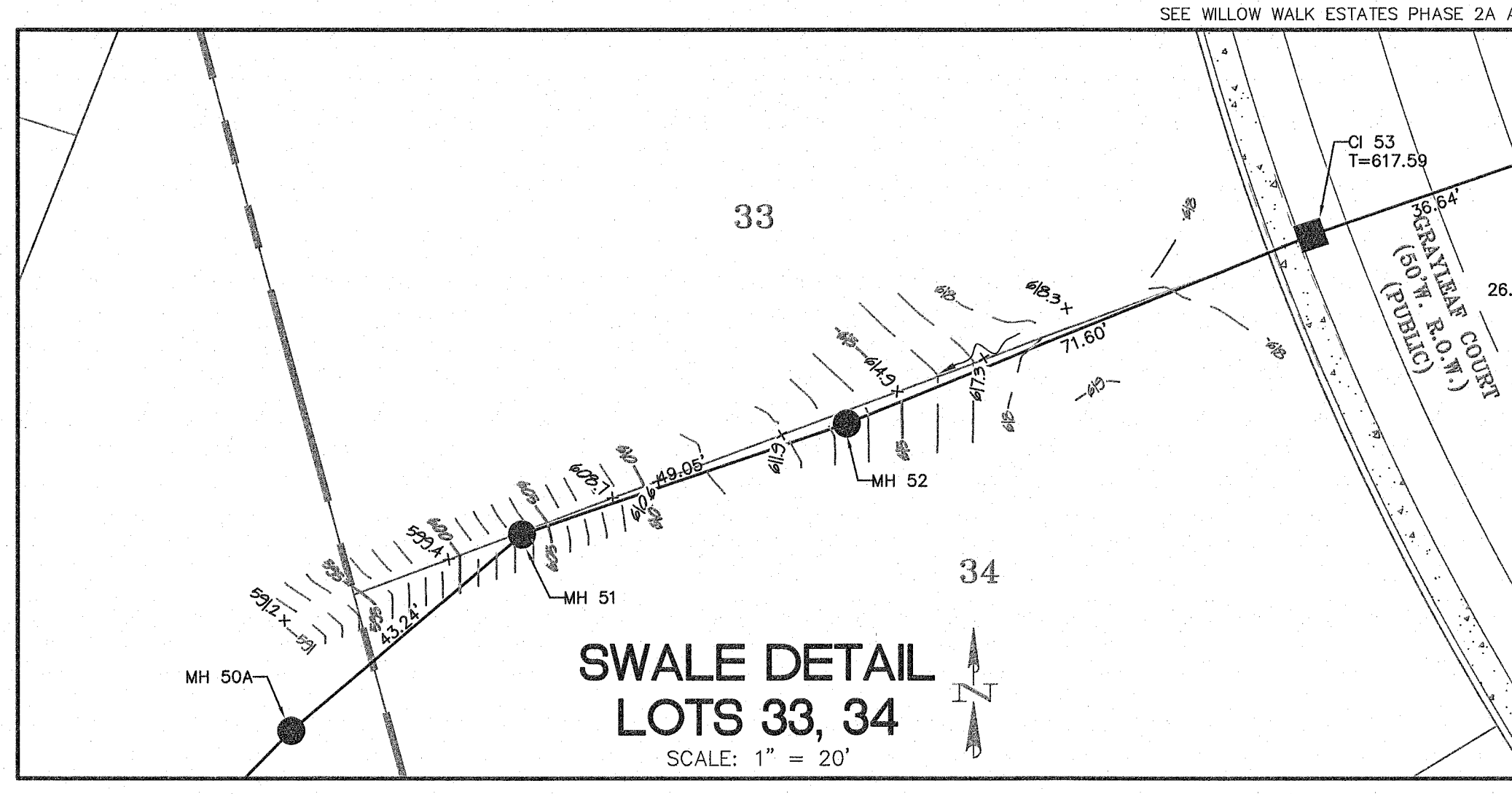
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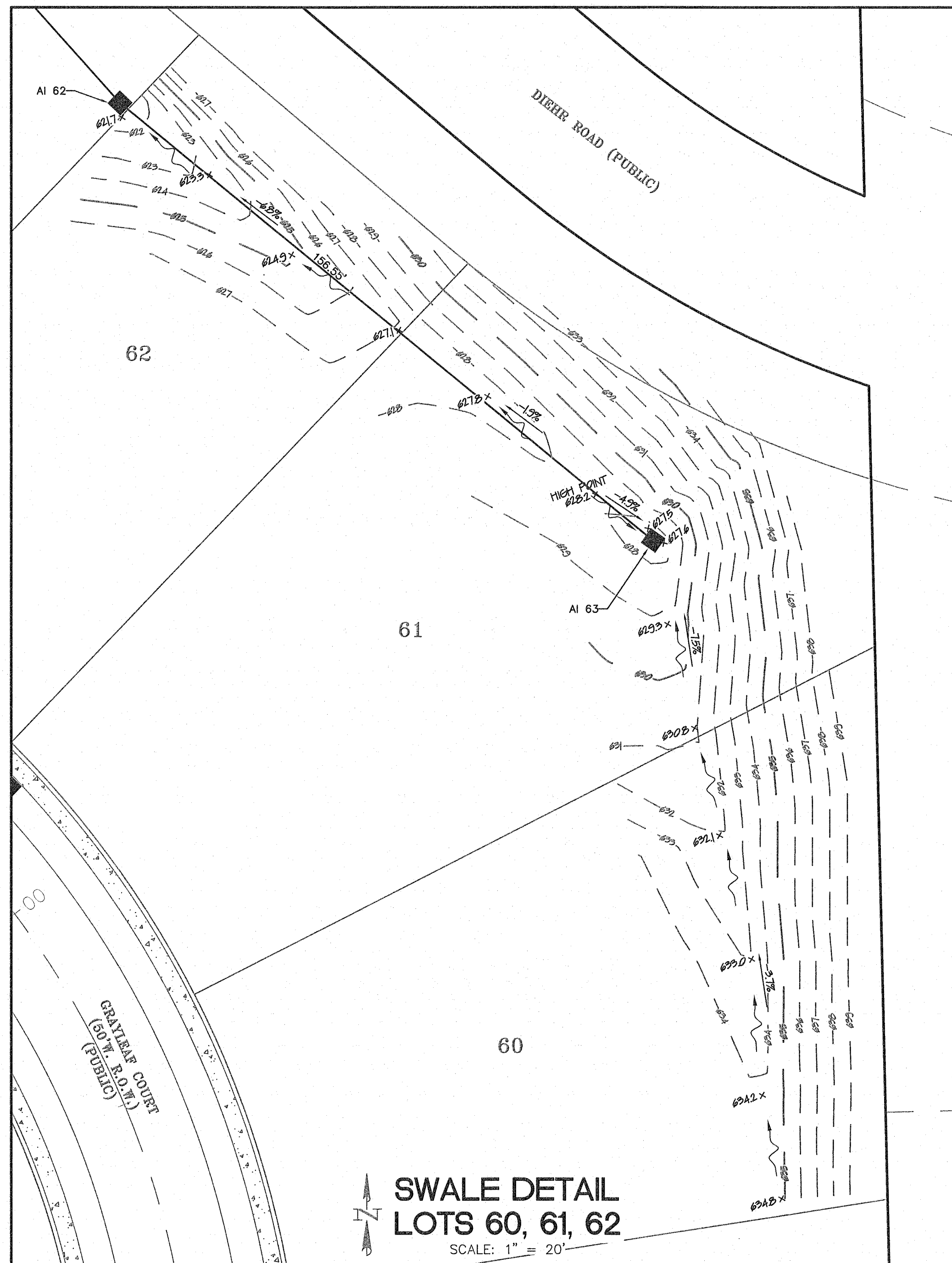
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HORIZONTAL = 1"=50'



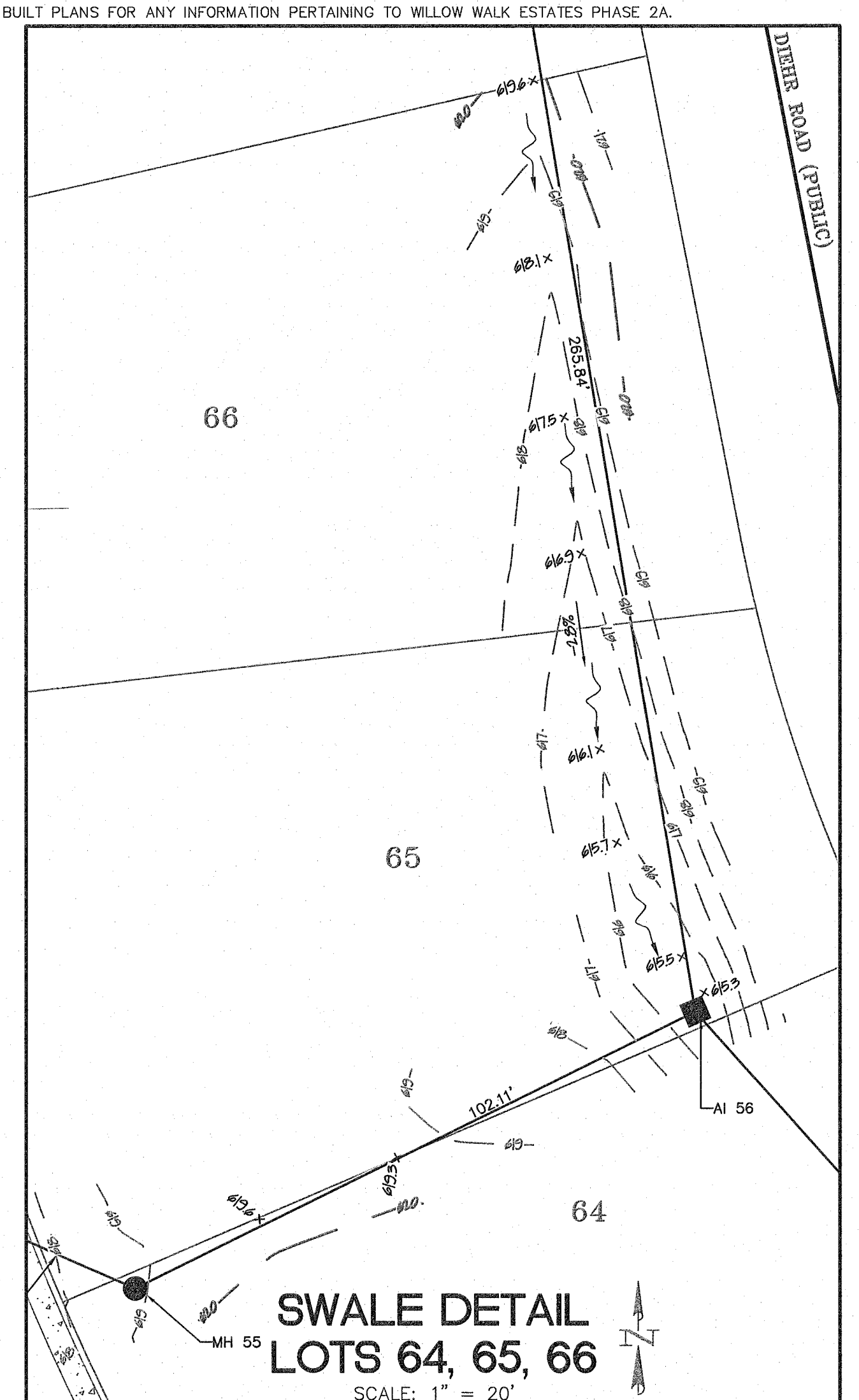
**SWALE DETAIL
LOTS 68, 69**
SCALE: 1" = 20'



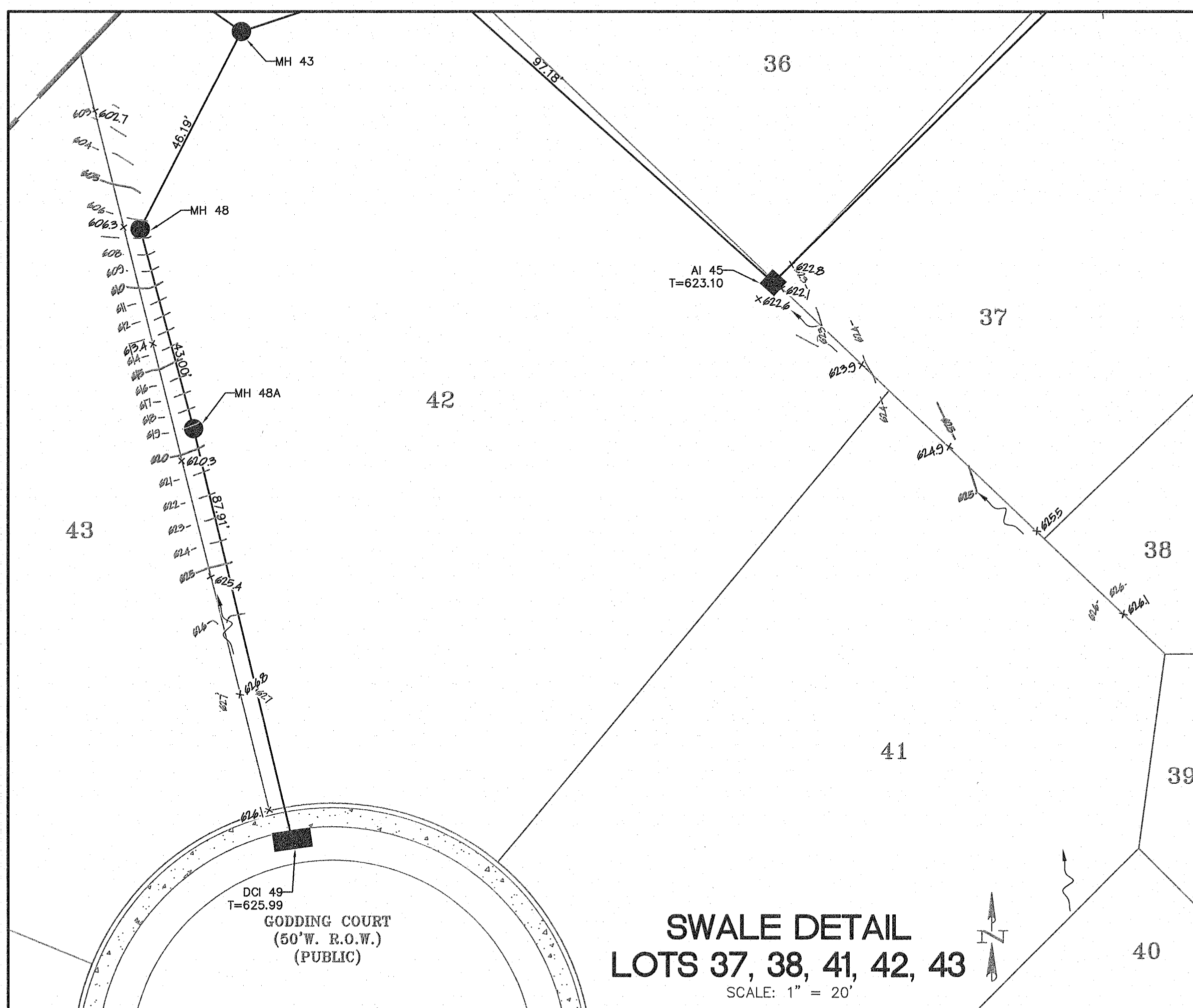
**SWALE DETAIL
LOTS 33, 34**
SCALE: 1" = 20'



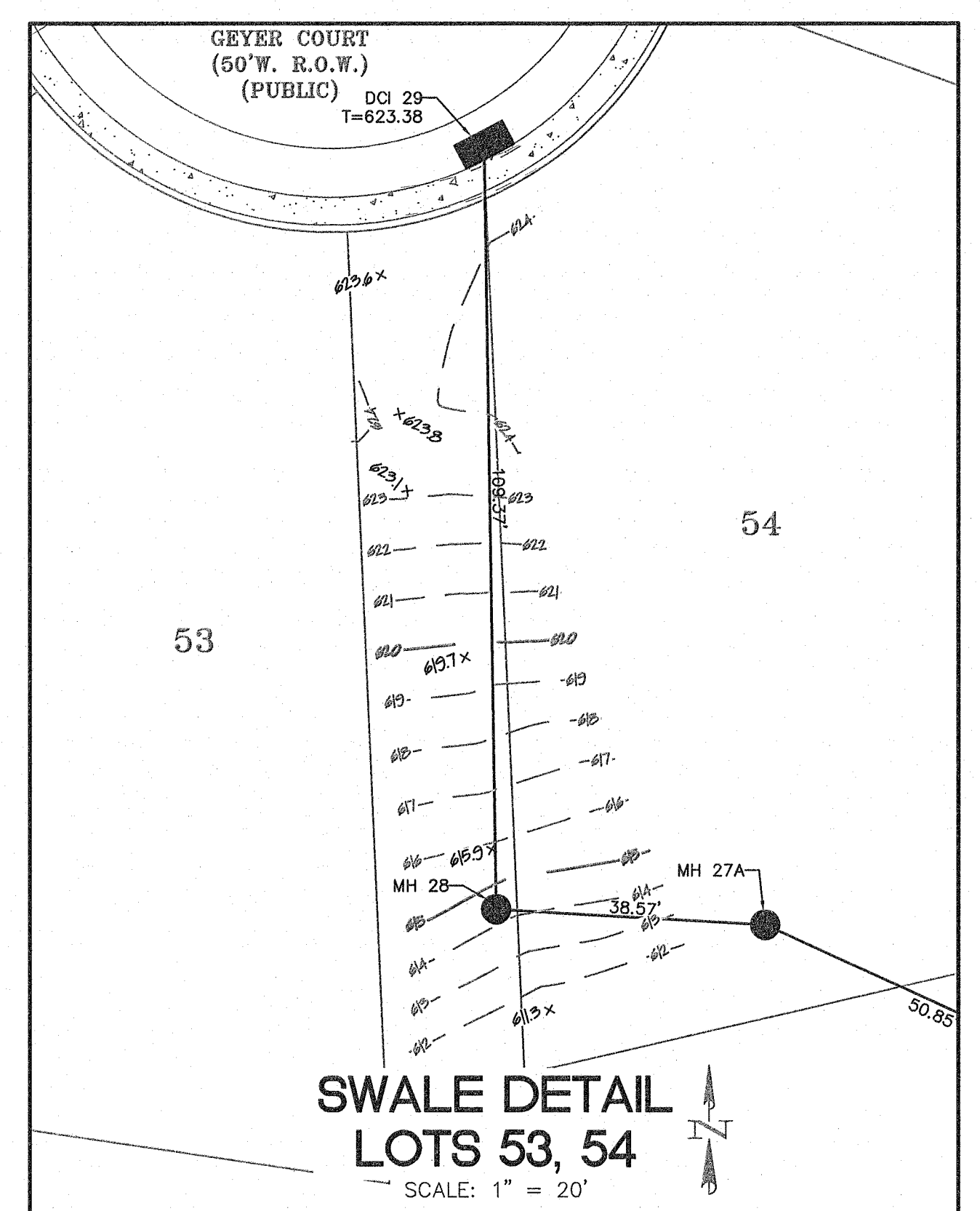
**SWALE DETAIL
LOTS 60, 61, 62**
SCALE: 1" = 20'



**SWALE DETAIL
LOTS 64, 65, 66**
SCALE: 1" = 20'



**SWALE DETAIL
LOTS 37, 38, 41, 42, 43**
SCALE: 1" = 20'

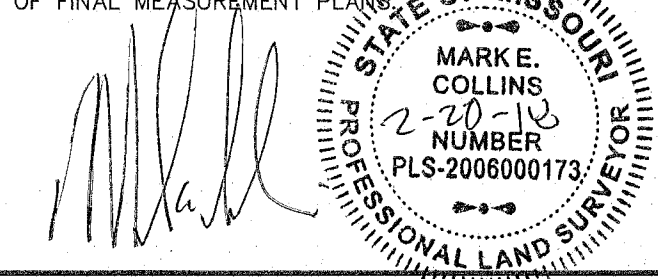


**SWALE DETAIL
LOTS 53, 54**
SCALE: 1" = 20'

SEWER MEASUREMENTS

THE EXISTING SEWER LENGTHS, SIZES, FLOWLINES, DEPTHS OF STRUCTURES AND SEWERS AND LOCATIONS WITH RESPECT TO EXISTING OR PROPOSED EASEMENTS HAVE BEEN MEASURED. THE RESULTS OF THOSE MEASUREMENTS ARE SHOWN ON THIS SET OF FINAL MEASUREMENT PLANS.

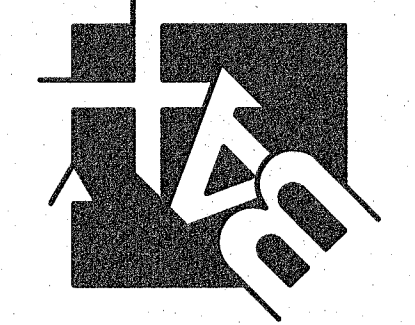
SIGNED _____
PE/LS



AS-BUILT

PROJECT TITLE:
WILLOW WALK
ESTATES
PHASE 2

**ENGINEERING
SURVEYING**
221 Point West Blvd.
St. Charles, MO 63301
636-928-5662
FAX 636-928-1716



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Surveying Authority No. 000144
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REVISIONS

02/18/16	DCSD COMMENTS
03/09/16	CITY COMMENTS
07/14/16	CITY COMMENTS
12/20/16	CITY COMMENTS
02/20/18	CITY COMMENTS

Developer / Owner:
PAYNE FAMILY HOMES
10407 BAUER BLVD., SUITE B
ST. LOUIS, MO 63132

P+Z No. #5104.01
Approved 02/03/2006
City No. #14-427-AB

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SWALE DETAILS