



B.M. LOOP NOTES

U.S.G.S. DATUM BENCHMARK
(Provided by the Missouri Department of Transportation)

ELEVATION 616.50 AT DARDENNE PRAIRIE, T. 46N., R. 2E., NEAR APPROXIMATE CORNER SECTIONS 1, 2, 11 & 12, 31' N. AND 20' W. OF CROSSROADS, THE INTERSECTION OF STATE HIGHWAY "N" WITH POST ROAD AND HANLEY ROAD, 49' S. OF S.E. CORNER OF CATHOLIC CHURCH, 2.0' N. OF SIDEWALK, AND IN CONCRETE POST, STANDARD TABLET STAMPED "TT 60 C 1936 616."

WINGHAVEN

BOARDWALK COMMONS AT WINGHAVEN

PHASE 3-VILLAGE I

AS-BUILT PLANS

WINGHAVEN RESIDENTIAL L.L.C.

The existing sewer lengths, sizes, flowlines, depths of structures and sewers and locations with respect to existing or proposed easements have been measured. The results of those measurements are shown on this set of Final Measurement Plans. Since the wye locations have been plotted from information provided by the sewer contractor or other sources, I disclaim any responsibility for that specific information.

All public sewers are located within designated existing or proposed easements except as shown in this drawing.

The results of those measurements are shown on this drawing by lining out the planned number and indicating the measured number adjacent to the planned number. All other numbers shown have not been measured or verified.

The location of the sewers were determined by locating the manholes and traversing in a straight line between them.

#1 MCBRIDE & SON
CORPORATE CENTER DRIVE
ST. LOUIS, MISSOURI 63005
PHONE (636) 537-2000



VOLZ



10849 INDIAN HEAD IND'L BLVD.
ST. LOUIS, MO 63132
PHONE: (314)426-6212
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Roger G. Allen
Roger G. Allen
Mo. Reg. L.S. 2185

4/24/04
File Copy
APPROVED
[Signature]

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Engineers
Land Planners
Land Surveyors

VOLZ

AS-BUILT PLANS
AS-BUILT PLANS
BOARDWALK COMMONS AT WINGHAVEN

AS-BUILT PLANS

Design By: G.A.S.	Checked By: T.J.M.
Drawn By: K.L.A.	

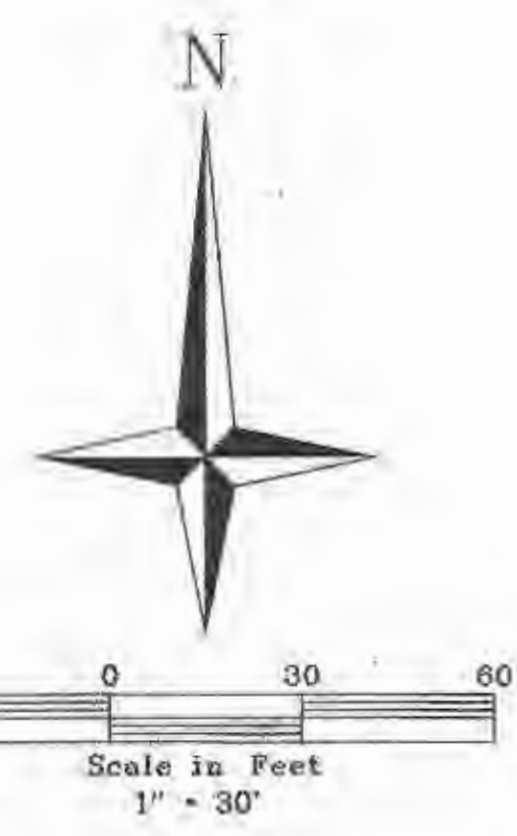
6500-35

WIND HILL VILLAGE

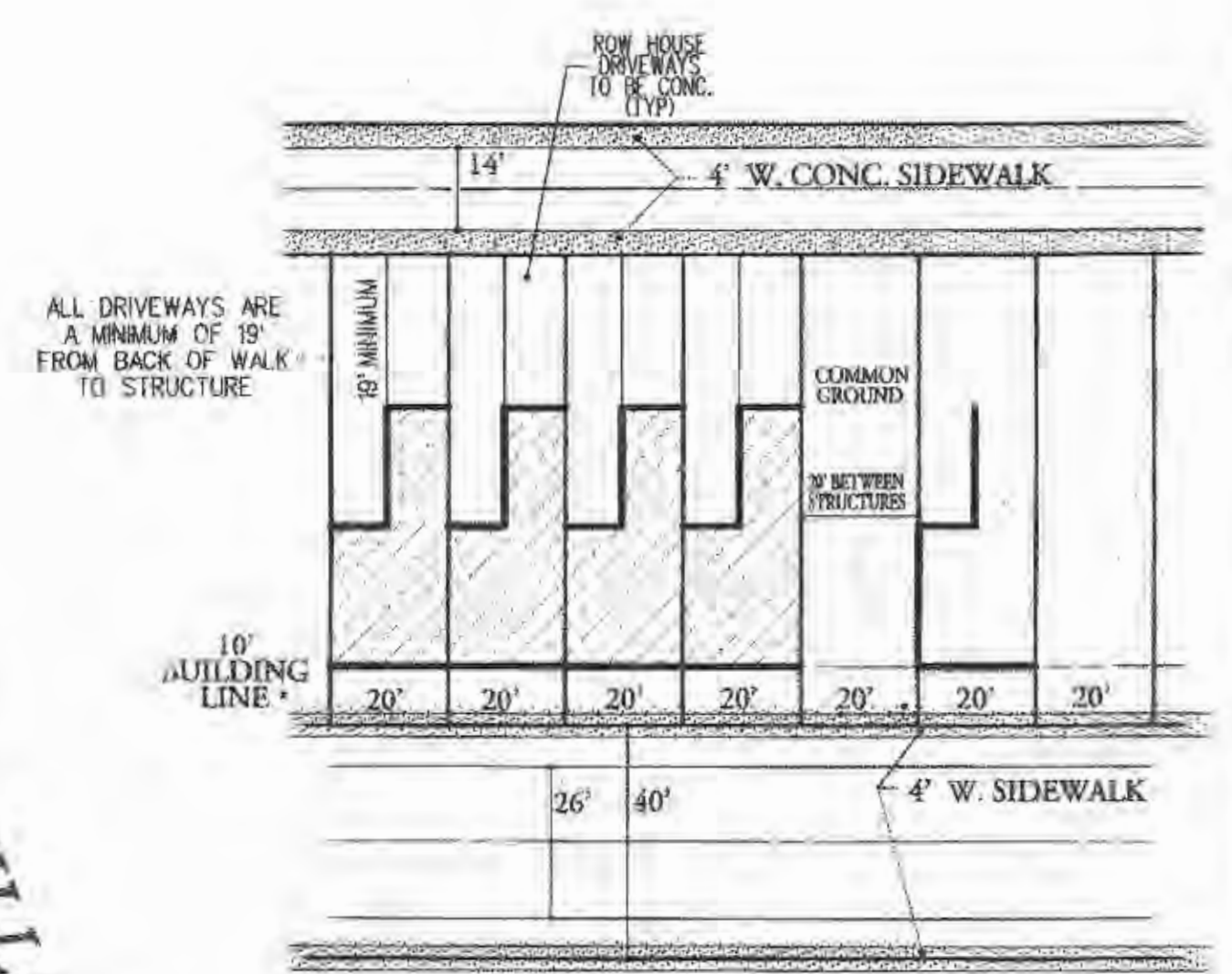
SUMMERSTONE VILLAGE

Red Hawk Parkway

THUNDER HILL VILLAGE



The underground utilities shown herein were plotted from available information and do not necessarily reflect the actual existence, or nonexistence, size, type, number, or location of these or other utilities. The general contractor shall be responsible for verifying the actual location of all underground utilities in the field, shown or not shown, prior to any grading, excavation, or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.



TYPICAL LOT
RESIDENTIAL LOTS FRONTING ROLLING THUNDER DRIVE HAVE 15' FRONT BUILDING LINE.

- * UNITS REQUIRE PIERING ALONG FRONT WALL TO BELOW 1:1 INFLUENCE OF SANITARY SEWER
- ⊗ UNITS REQUIRE PIERING WALL NEXT TO SANITARY SEWER TO BELOW 1:1 INFLUENCE OF SANITARY SEWER

	Δ	LENGTH	RADIUS	TANGENT
CURVE 1	221° 28' 21"	108.50'	28'	74.01'
CURVE 2	39° 39' 34"	20.77'	30'	10.82'
CURVE 3	9° 56' 42"	49.64'	286'	24.88'
CURVE 4	4° 10' 17"	35.20'	483.50'	17.61'
CURVE 5	83° 39' 50"	42.35'	29'	25.96'
CURVE 6	79° 09' 49"	53.89'	39'	32.24'
CURVE 7	13° 22' 40"	101.22'	433.50'	50.84'
CURVE 8	4° 48' 05"	43.58'	520'	21.80'

CONSTRUCT MWE ONLY. CAP W/VE AND BACKFILL WITH CONC. FILL

MASONRY BLOCK WALL (SEE DETAIL SHEET 181)

CONCRETE STEPS (SEE DETAIL SHEET 171)

8" VERTICAL CONCRETE CURB

CONCRETE DRIVE

TOTAL VILLAGE ACREAGE	7.215
TOTAL NUMBER OF BUILDINGS (INCLUDES RETAIL/RESTAURANT)	4
TOTAL NUMBER OF RESIDENTIAL UNITS	58
TOTAL SQUARE FOOTAGE OF RETAIL	27,211

Roger G. Allen
Mo. P.L.S. No. 2185

FINAL SEWER MEASUREMENTS

WINGHAVEN RESIDENTIAL L.L.C.
11 MCBRIDE & SON
CORPORATE CENTER DRIVE
ST. LOUIS, MISSOURI 63005
PHONE (630) 537-5000



AS-BUILT PLANS
BOARDWALK COMMONS AT WINGHAVEN

SITE PLAN

Design By: G.A.S.
Drawn By: K.L.A.
Checked By: T.A.M.

8500-35
1-29-02

	Δ	LENGTH	RADIUS	TANGENT
CURVE 8	4° 48' 05"	43.58'	520'	21.80'
CURVE 9	14° 03' 55"	77.33'	315'	38.86'
CURVE 10	28° 48' 07"	417.80'	831.12'	213.41'

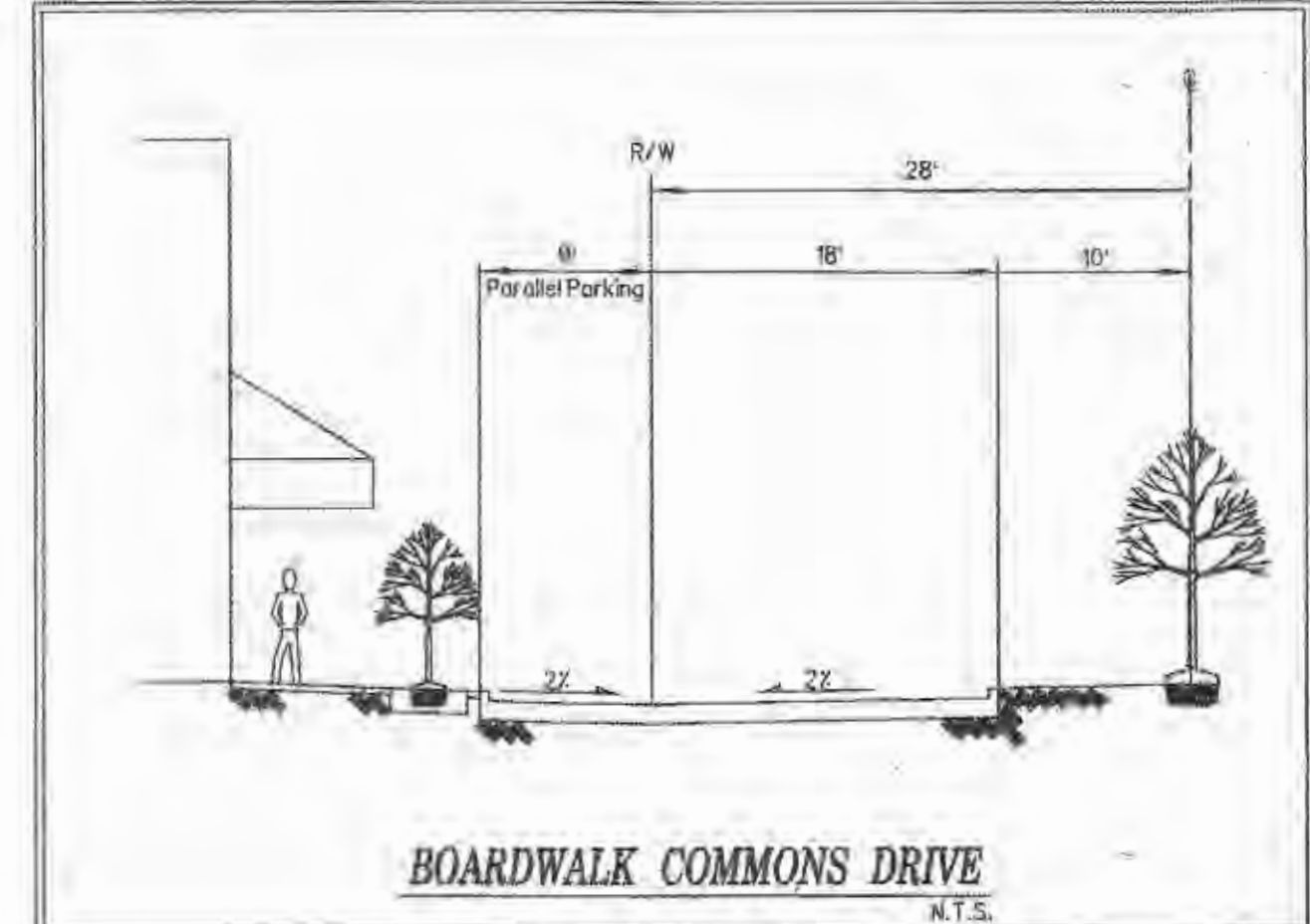
CONSTRUCT WYE ONLY
CAP WYE AND BACKFILL
WITH CONC. PLUG

MASONRY
R.O.W. WALL
(SEE DETAIL
SHEET 18)

CONCRETE
SLEEVES
(SEE DETAIL
SHEET 17)

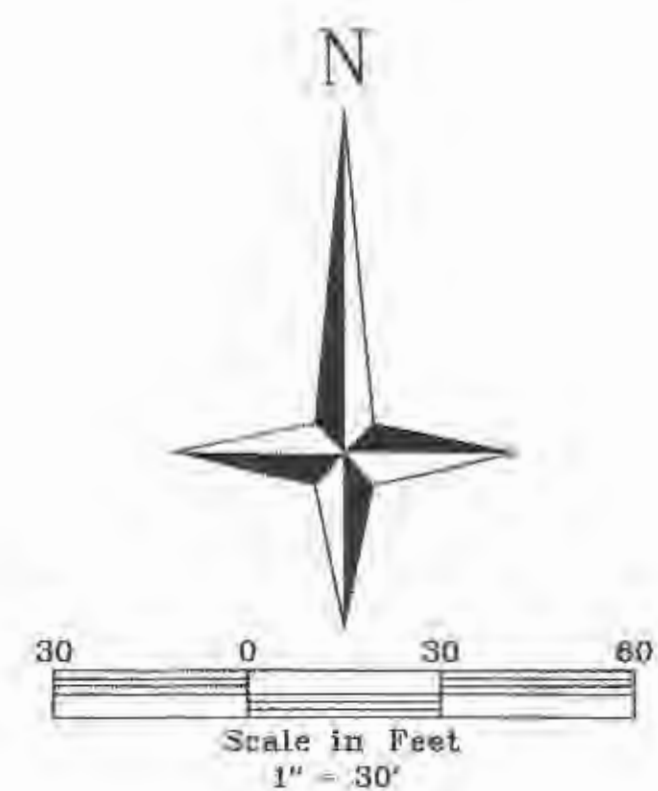
LANDSCAPING WITHIN THE ISLAND
WILL NOT ENCRUMB INTO THE
SIGHT TRIANGLE

Centerline @ Centerline
Station 0+00 @ 49+67.79



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- ⊗ UNITS REQUIRE PIERING WALL NEXT TO SANITARY SEWER TO BELOW 1:1 INFLUENCE OF SANITARY SEWER



FUTURE DEVELOPMENT

FINAL SEWER MEASUREMENTS

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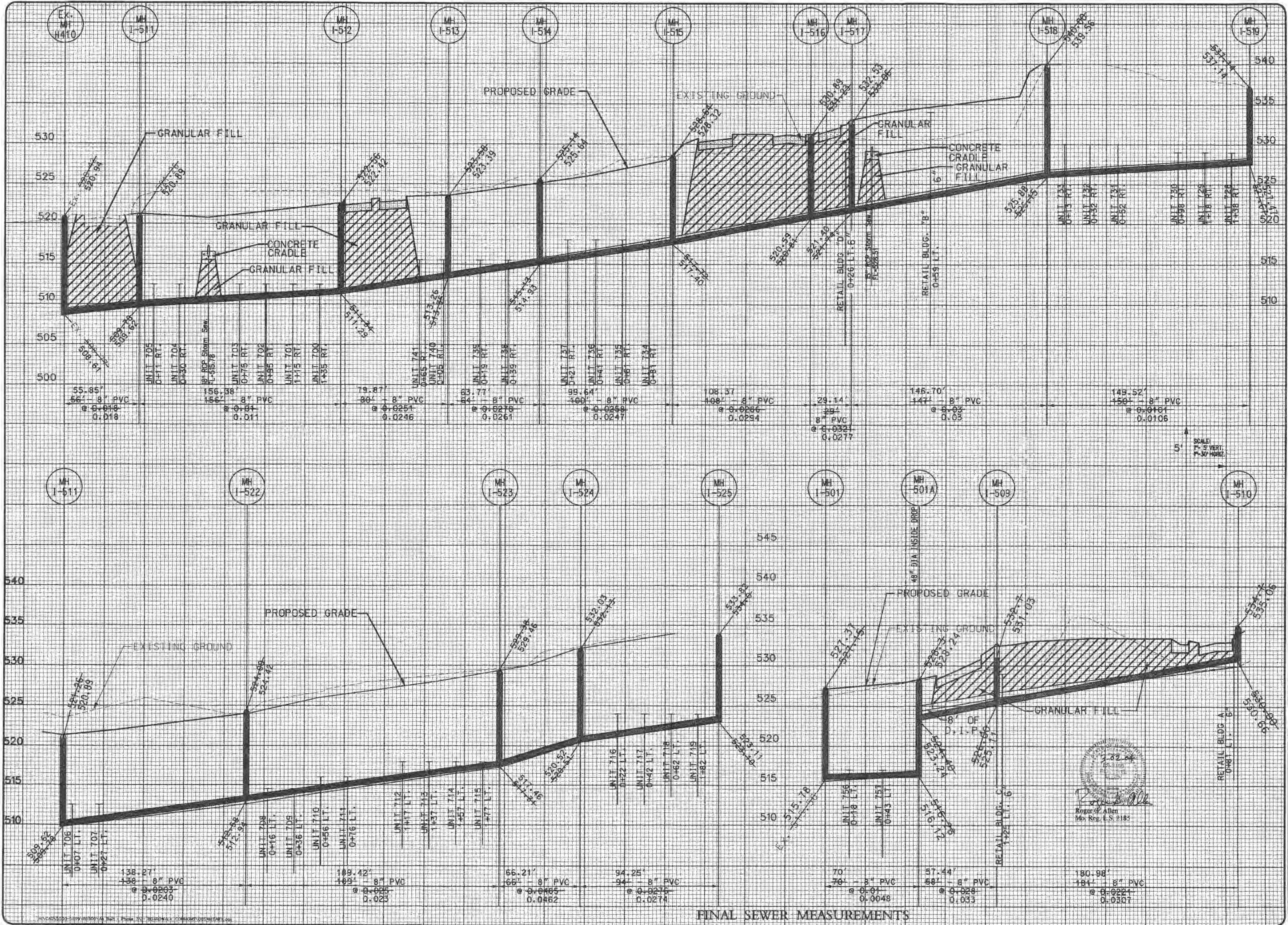


AS-BUILT PLANS
BOARDWALK COMMONS AT WINGHAVEN

SITE PLAN

Design By: G.A.S.
Drawn By: M.L.A.
Checked By: T.J.M.

8800-35
4-29-02



FINAL SEWER MEASUREMENTS

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AS-BUILT PLANS

BOARDWALK COMMONS AT WINGHAVEN

SANITARY SEWER PROFILE

Design By: C.A.S.
Drawn By: K.L.A.
Checked By: T.M.M.
Scale: 1" = 5' VERT., 1" = 30' HORIZ.
8500-35



\\P\0055001-PROP\050914-Build - Plan\132-BOARDWALK COMMONS\050914.DWG

