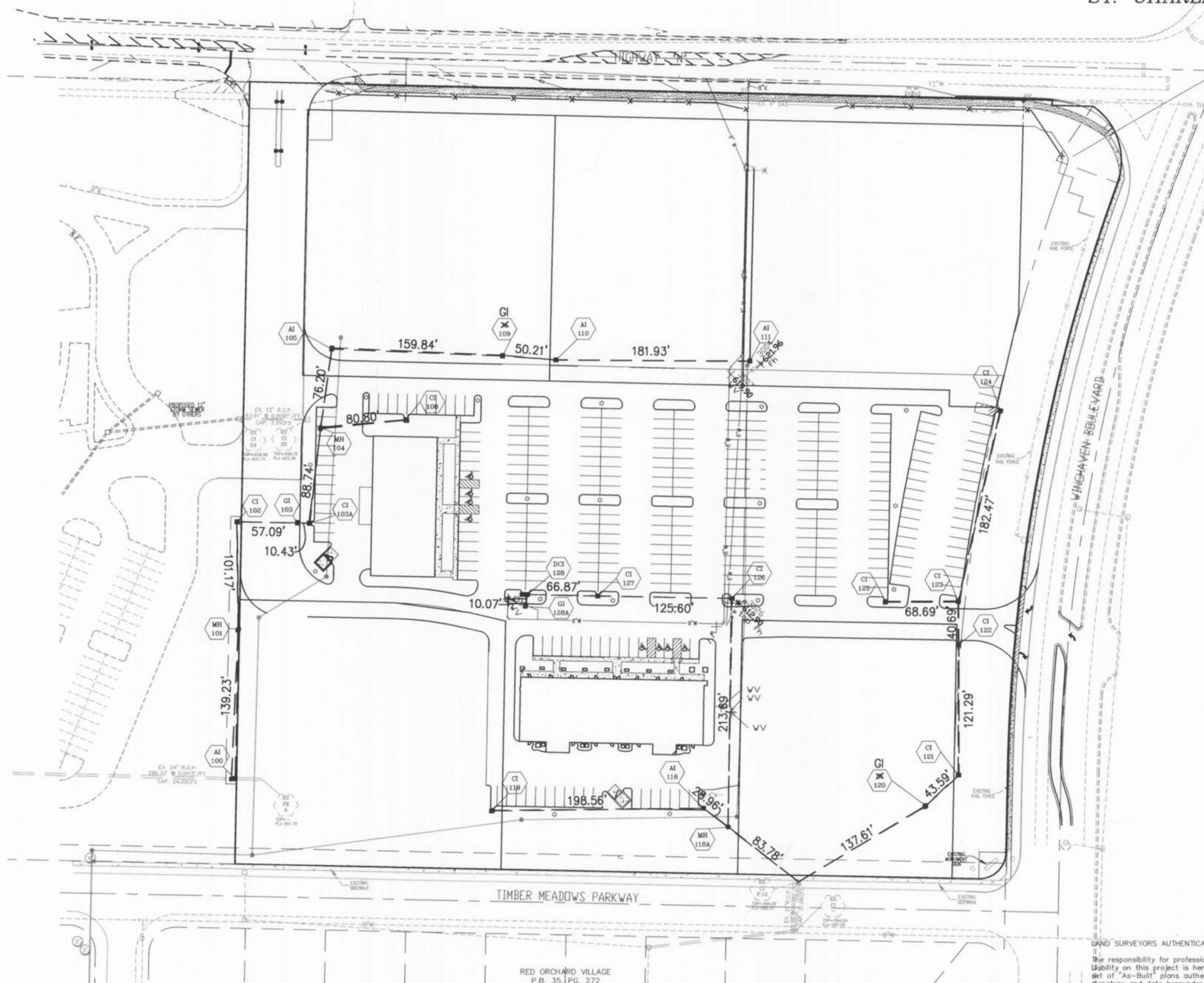


**STORM SEWER  
AS-BUILT PLANS OF  
WINGHAVEN CENTRE**  
A TRACT OF LAND BEING PART OF SECTION 12  
TOWNSHIP 46 NORTH, RANGE 2 EAST,  
ST. CHARLES COUNTY, MISSOURI

**General Notes**

1. Area of Site: 12.62 Acres.
2. Zoning: C2 General Commercial
3. This Site is served by the following utilities:  
 Water: St. Charles County Public Water No. 2 (636) 561-3737  
 Sanitary Sewer: Duckett Creek Sewer District (636) 441-1244  
 Electric: AmerenUE (636) 925-3235  
 Gas: St. Charles Gas Company (636) 946-6170  
 Telephone: Verizon Telephone (636) 332-7392
4. This Site is located in the following service areas:  
 Fire Protection: O'Fallon Fire Protection District  
 School District: Wentzville School District
5. Project Benchmark: At Dardenne Prairie, T46N, R2E, near approximate of Sections 1, 2, 11 & 12, 31' north and 20' west of Crossroads, the intersection of State Highway "N" with Post Road and Hanley Road, 49' south of S.E. Corner of Catholic Church, 2.0' north of sidewalk, and in concrete post, standard tablet stamped "TT 60 C 1966 616." Elevation = 616.50.
6. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
7. All proposed utilities to this site must be underground services.
8. All necessary utilities (Public or Private) will be available, functioning and usable at any stage of the project or when the total project is completed.
9. Prior to the issuance of an occupancy permit for the initial phase, the remaining undeveloped portion of the site shall be graded and planted with grass and maintained as lawn areas.
10. There is no Floodplain on this site as shown on the Flood Insurance Rate Map Number 29183C0240 E, dated August 2, 1996.
11. There is no known wetlands on this site.
12. Stormwater Detention provided by "Winghaven Global Detention Plan."
13. All sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with current approved "American with Disabilities Act Accessibility Guidelines" along with the required grades, construction materials, specifications and signage. If any conflicts occur between the Guidelines and the plans, the Guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
14. All sign locations and sizes must be approved separately through the City of O'Fallon Planning Division.
15. All proposed utility easements to be depicted on the record plat.
16. The required number of off-street parking spaces for this site is 143 spaces calculated as follows:  
 Retail 1: (10,320 sq. ft. per floor)(2 floors)(1 p.s./200 sq. ft.) = 104 p.s.  
 Retail 2: (7,800 sq. ft.)(1 p.s./200 sq. ft.) = 39 p.s.
17. The number of off-street parking spaces provided for this site is 310 spaces including 8 HDC spaces.
18. Photometric lighting plan to be submitted by others.
19. Present Owner  
 The Reding Company  
 Attn: Joseph S. Reding  
 2460 Executive Dr., Suite 110  
 St. Charles, MO 63303  
 (636) 477-8288



**LEGEND**

AS-BUILT	PROPOSED
●	●
■	■
■	■
AI 110	AI 110



NOTE: DUE TO EXISTING RECEIVING STORM SEWERS ON THE SCHOOL SITE TO THE WEST OF THE PROJECT, THE INVERT REQUIREMENT OF 0.2 FEET DIFFERENCE WAS WAIVED FOR ALL STORM SEWERS ON THE SITE DURING THE SITE IMPROVEMENT PLAN REVIEW PROCESS BY THE CITY OF O'FALLON.

RED ORCHARD VILLAGE  
P.B. 35, PG. 272

**INDEX OF SHEETS**

1	SITE PLAN
2-3	STORM SEWER PROFILES

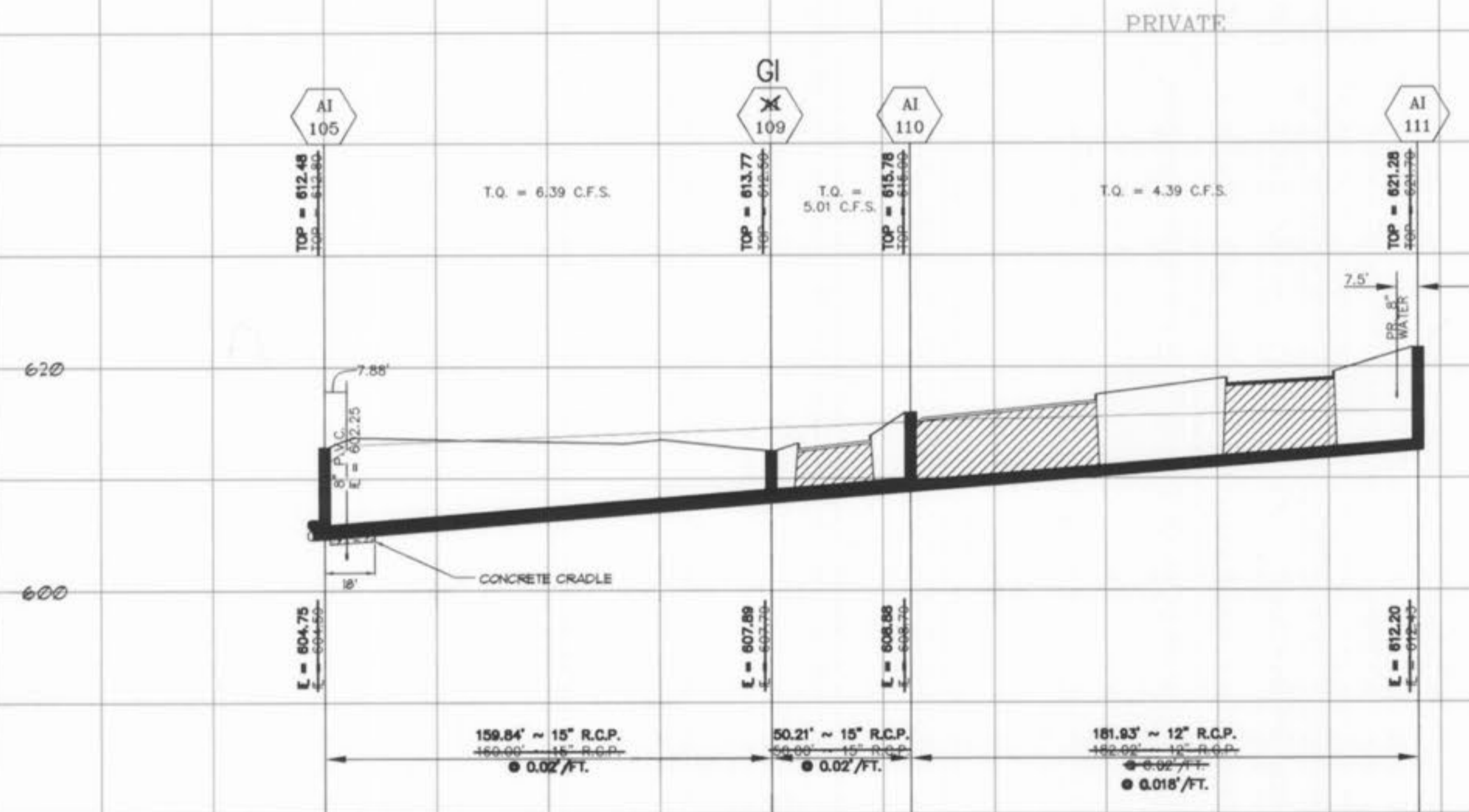
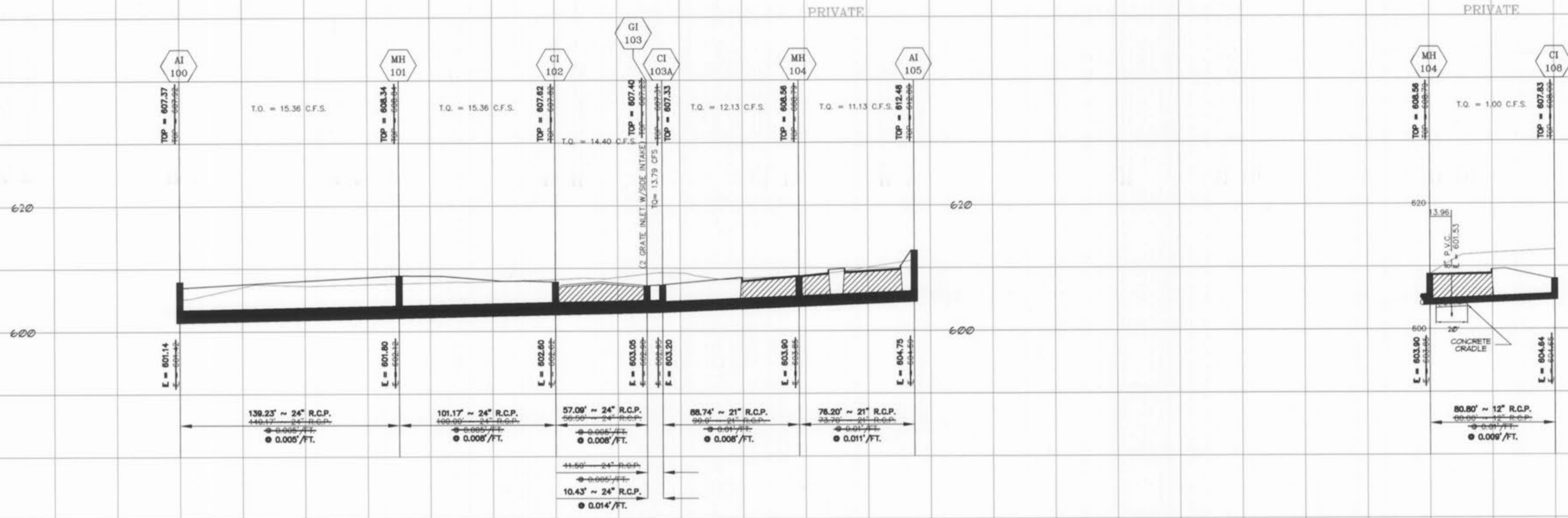
LAND SURVEYORS AUTHENTICATION  
 The responsibility for professional Land Surveying Liability on this project is hereby limited to the set of "As-Built" plans authenticated by the seal, signature and date hereunder. Responsibility is disclaimed for all other plans in this project.

4-30-04  
DATE

FRED VILIGRAM  
Missouri Cert. No. L.S. 2073

DATE:	NO.:	REVISION:
<b>MUSLER ENGINEERING COMPANY</b>		
CIVIL ENGINEERING - PLANNING - LAND SURVEYING		
32 Portwest Court, St. Charles, Missouri 63303		
Telephone: (636) 916-0444		
Fax: (636) 916-3444		
DATE:	DRAWN:	CHECKED:
MARCH 2003	J.R.S.	
PROJECT NO.:	SHEET NO.:	
02-620	1 OF 3	

NOTE: GRANULAR BACKFILL TO BE PROVIDED WITHIN THE 1 TO 1 SHEAR PLANE OF ALL PAVEMENT.  
NOTE: ALL INLETS ARE TO HAVE A 5/8" TRASH BAR



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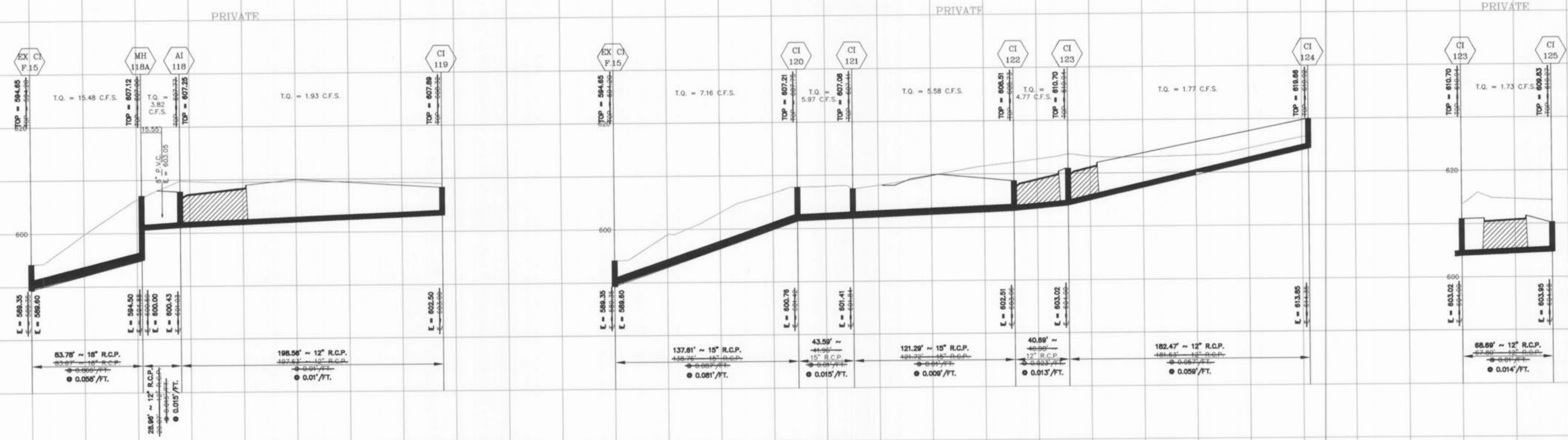
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*Fred Villigram*  
FRED VILIGRAM  
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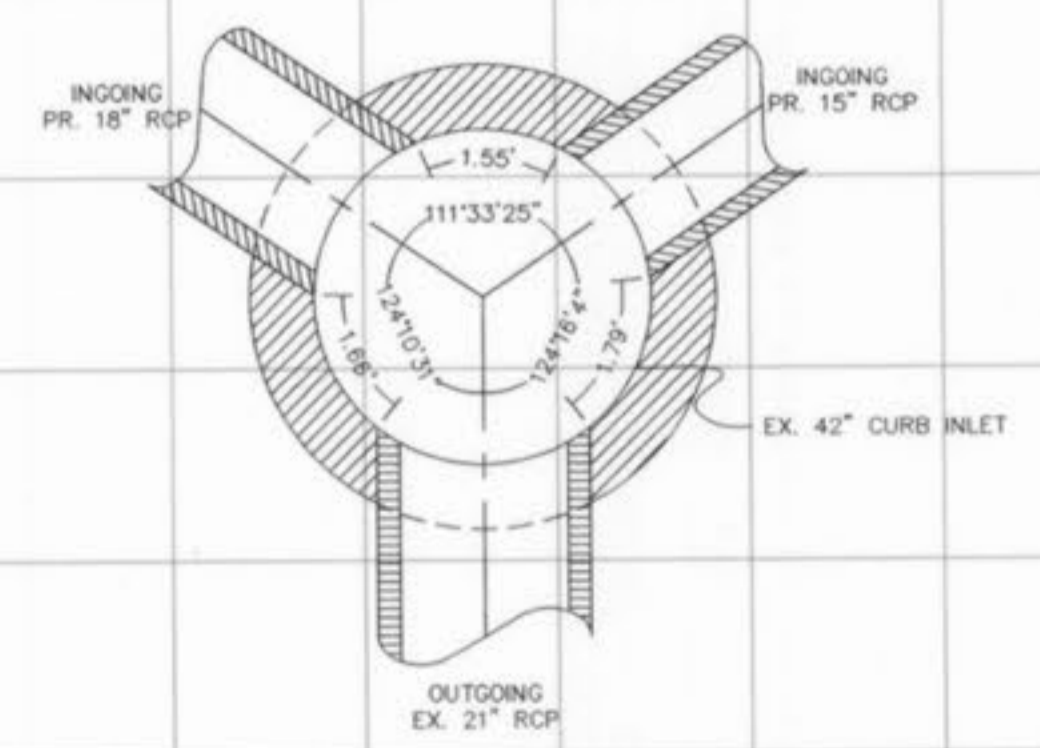
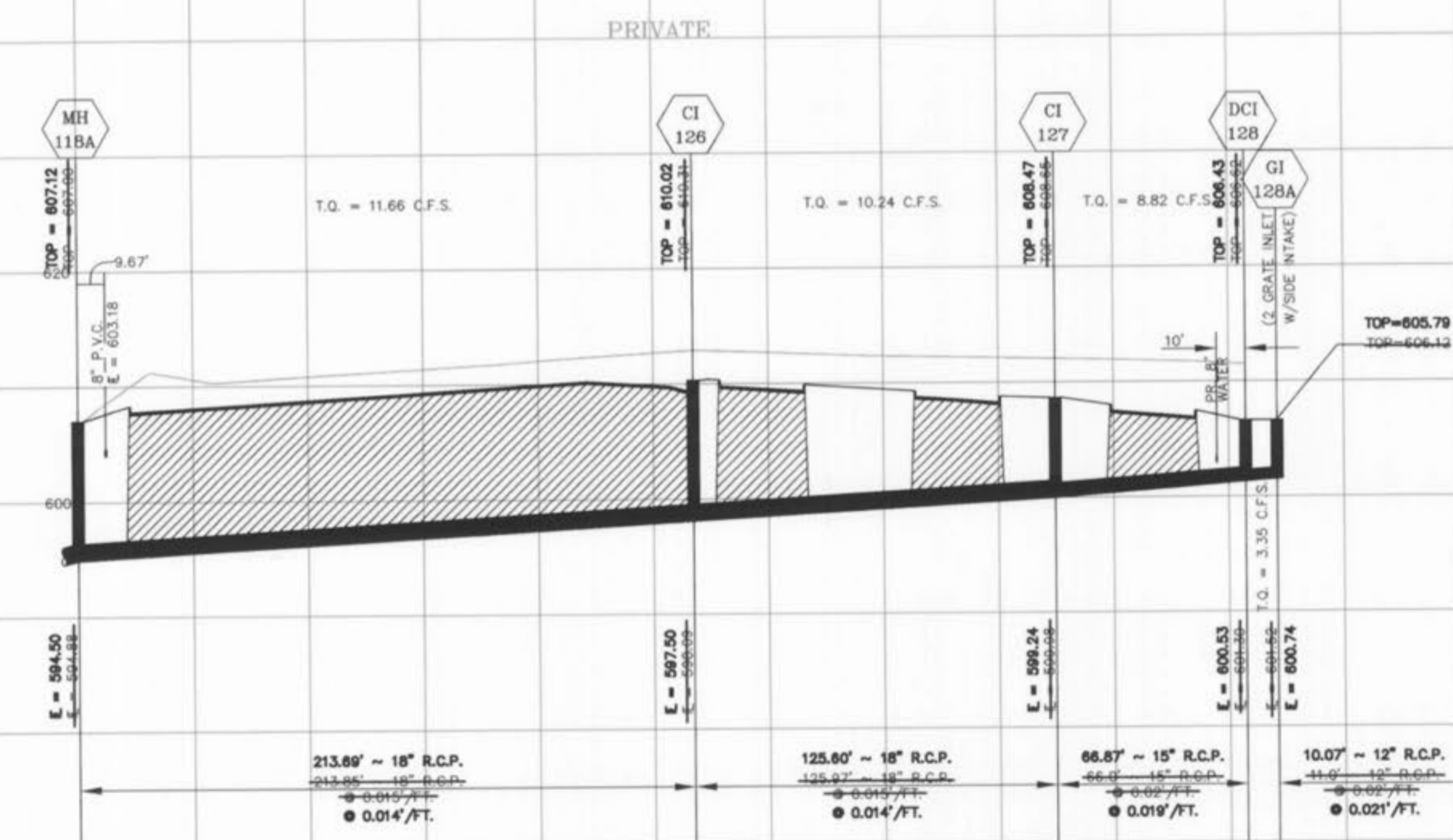
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SCALE: HORIZ. 1" = 40'  
VERT. 1" = 10'  
REV. 16 AUG. 2002  
REV. 27 AUG. 02



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EXISTING CURB INLET F15 DETAIL

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