

SITE USGS AND VICINITY MAP
U.S.G.S. 7.5 TOPOGRAPHIC MAP, "O'FALLON" QUADRANGLE, "MO", DATED "2021"
SCALE 1" = 4000'

BENCHMARKS (NAVD88)

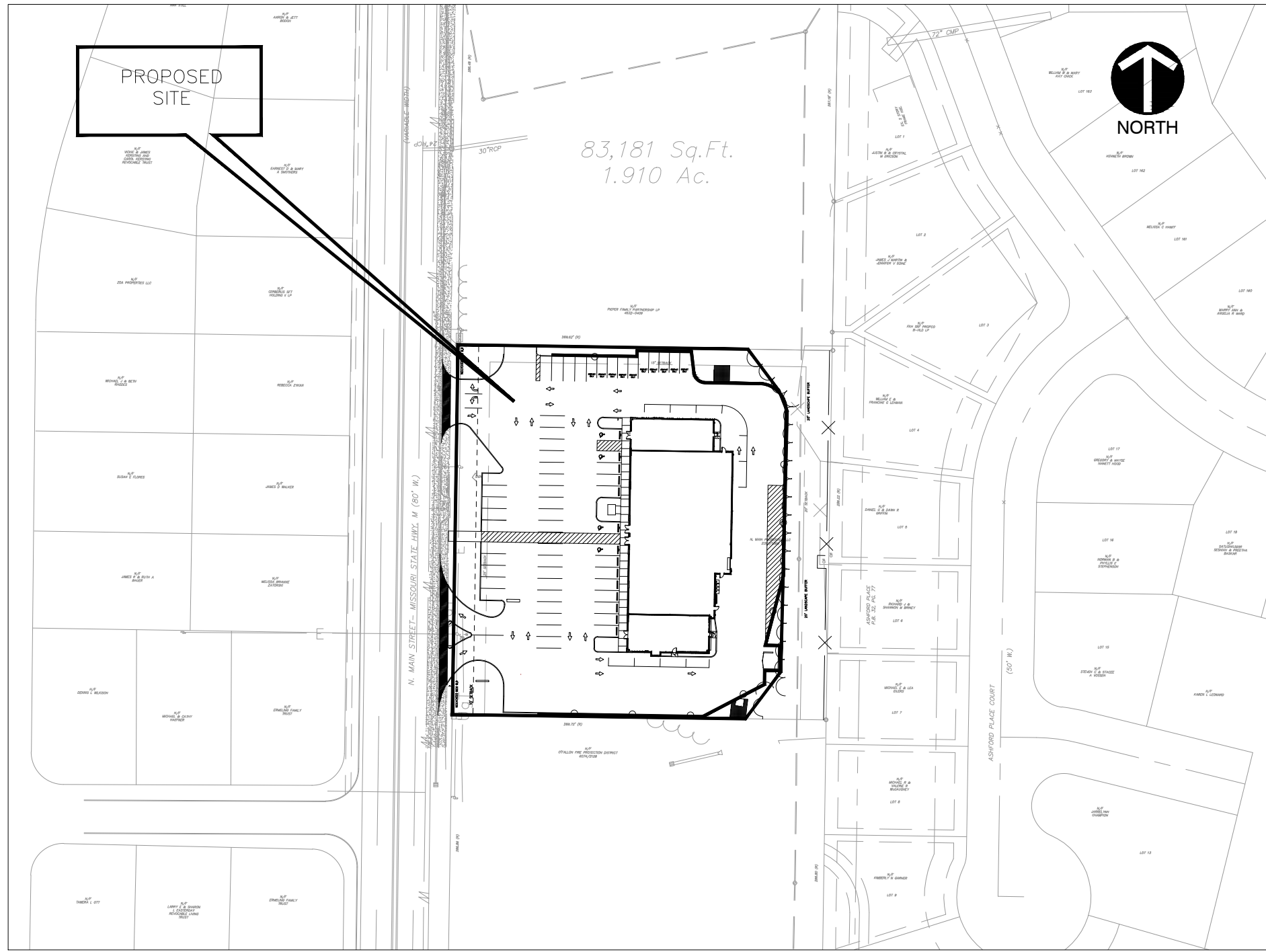
SOURCE BENCHMARK: MISSOURI GEOGRAPHIC REFERENCE SYSTEM, SC-53
NORTHING: 332550.094(M) EASTING: 231838.580(M)
GRID FACTOR = 0.99999201
ELEVATION = 142.0 (M) = 465.88 FEET
1 METER = 3.28083333 FEET

THE STATION AND AZIMUTH MARK ARE MISSOURI DNR GRS ALUMINUM DISKS STAMPED "SC-53 2000" AND "SC-43A 2000", EACH SET IN A 12 INCH DIAMETER CONCRETE MONUMENT ABOUT 30 INCHES LONG AND FLUSH WITH THE GROUND.

SITE BENCHMARK: NAIL SET IN POWER POLE 1' OFF GROUND LEVEL ON SOUTHEAST SIDE OF POWER POLE.
ELEV. = 499.68 FEET

CONSTRUCTION PLANS FOR North Main Properties

A Tract of Land Being a Part of Fractional Section
16, Township 47 North Range 3 East, City of O'Fallon,
St. Charles, Missouri.



SITE MAP
SCALE: 1"=100'

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General Notes:

- Gross Acreage of Subject Tract: 1.9 Acres (82,971 sq ft)
- Parcel ID: 2-0041-0516-00-0000-1400000
- Current Zoning of Subject Tract: R-4, Apartment House District
- Proposed Zoning: C-2, General Business
- Property Owner: North Main Properties LLC
1833 Lake St. Louis Blvd.
Lake Saint Louis, MO 63367
- Proposed Development of Subject Tract:
 - Restaurants
 - General Retail
- Particular Data:
 - Min. front yard Setback: 25 feet
 - Min. Sideyard Setback: 15 feet adjacent to residential
 - Min. Rearyard Setback: 10 feet adjacent to residential
 - Landscape Buffer (East): 20 feet
- Utilities:
 - School District: Fort Zumwalt School District
 - Water District: City of O'Fallon Water District
 - Fire District: O'Fallon FPD
 - Sewer District: City of O'Fallon Sewer District
 - Gas Company: Spire Gas
 - Electric Service: Ameren MO
 - Telephone: CenturyLink
- Per FEMA Flood Insurance Rate Map 29183C0230G dated January 20, 2016, none of this development is within FEMA Floodplain.
- Perique Creek Base Flood Elevation = 464.0'
- Parking calculations:

Convenience Store w/o fuel: One (1) space per 250 sq. ft. of floor area
9,960 sq. ft. = 40 spaces / 250 sq. ft. = 40 PS

Restaurants (carry-out and delivery): One (1) space per 250 sq. ft. of floor area
3,380 sq. ft. = 14 spaces per 250 sq. ft. = 14 PS

54 PS Required

Parking Provided: 43 parking spaces
10 compact parking spaces
4 ADA parking spaces including 4 van accessible spaces
57 PS provided.
- Sanitary flow calculation:

Restaurants (40 units): 40 Units * 30 GPD / Unit = 1,200 GPD
Retail Shops (1,625 sq. ft.): 1,625 Units * 0.2 GPD / Unit = 325 GPD
Convenience Store (9,960 sq. ft.): 9,960 Units * 0.3 GPD / Unit = 2,988 GPD
Total = 4,513 GPD
- All sanitary sewers shall be constructed to the specifications of the City of O'Fallon.
- The layout of all sanitary and storm sewers shown on this plan are preliminary only. Final locations and design will be shown on detailed improvements to be approved by City prior to recordation of the Record Plat. All sewers will be installed in a 12" wide easement dedicated to the City of O'Fallon and the appropriate utility.
- Grading and the handling of all storm water runoff and station control will be per City of O'Fallon standards.
- Street signs, landscaping in all common areas, street lights and sidewalks shall be provided and approved by the City of O'Fallon.
- Final location and design of proposed entry monument/signage shall be approved through the Planning Division via a subsequent and separate review & permitting process.
- Proposed development does comply with the Land Use designation of the City of O'Fallon's Comprehensive Plan.
- There are no platlines within 500 feet of this site.
- All signage shall be approved through Planning and Development via a separate permitting process.
- Lot Coverage:

Total Area: 82,971 sq. ft.
Area of Pavedment: 47,285 sq. ft.
Area of Buildings: 14,955 sq. ft.
Entire Lot Coverage: 62,240 / 82,971 = 75%

TREE PRESERVATION

EXISTING TREE MASS = 47,790 SQ. FT.
TREE MASS REMAINING = 12,285 SQ. FT.
PERCENT OF TREE MASS PRESERVED = 25.7%

CONDITIONAL USE PERMIT NOTE

DRIVE THRU ORDER FACILITY AND OTHER OUTDOOR SPEAKERS SHALL NOT PRODUCE ANY SOUND EXCEEDING 60 dB AT A STRAIGHT LINE DISTANCE OF 100 FEET OR GREATER OR AT ANY PROPERTY LINE ABUTTING A RESIDENTIAL USE, UP TO A HEIGHT OF EIGHT FEET ABOVE THE GROUND AT SUCH PROPERTY LINE.

Conditions of Approval From Planning and Zoning

- Clarify the labeling on the drive aisle stub to the property to the north and work with staff to provide additional separation between the nearest parking space and the drive aisle.
- Provide approval from MDNR and Amry Corps of Engineers for enclosing the creek.
- Stabilize the creek bank in the area of both the flared end sections.
- Provide a sign at the southern access point onto North Main Street that identifies it as "NO TRUCK ACCESS"
- A contribution equal to the cost of the addition of half of a roadway lane across the site's Main Street frontage shall be part of the Construction Site Plans.

Utility Contacts

Sanitary Sewers

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-240-2000

Water

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-240-2000

Storm Sewer

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-240-2000

Electric

Ameren Missouri
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

Gas

Spire Gas
6400 Graham Road
St. Louis, MO. 63134
314-532-2297

Telephone

CenturyLink
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261

Fire District

O'Fallon Fire Protection
District
111 Laura K Dr.
O'Fallon, MO. 63366
636-272-3493

**NORTH MAIN
PROPERTIES**
COVER SHEET



Civil & Environmental Consultants, Inc.
3000 Little Hills Expressway · Suite 102 · St. Charles, MO 63301
314-656-4566 · 866-250-3679
www.ccecinc.com



**MBR MANAGEMENT
NORTH MAIN PROPERTIES
201 N. MAIN STREET, SUITE 300
ST. CHARLES, MO**

Revision Date: 9/6/2023

P+Z No.
Approval Date: 1/6/2022
Permit No.: 21-008100

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C000