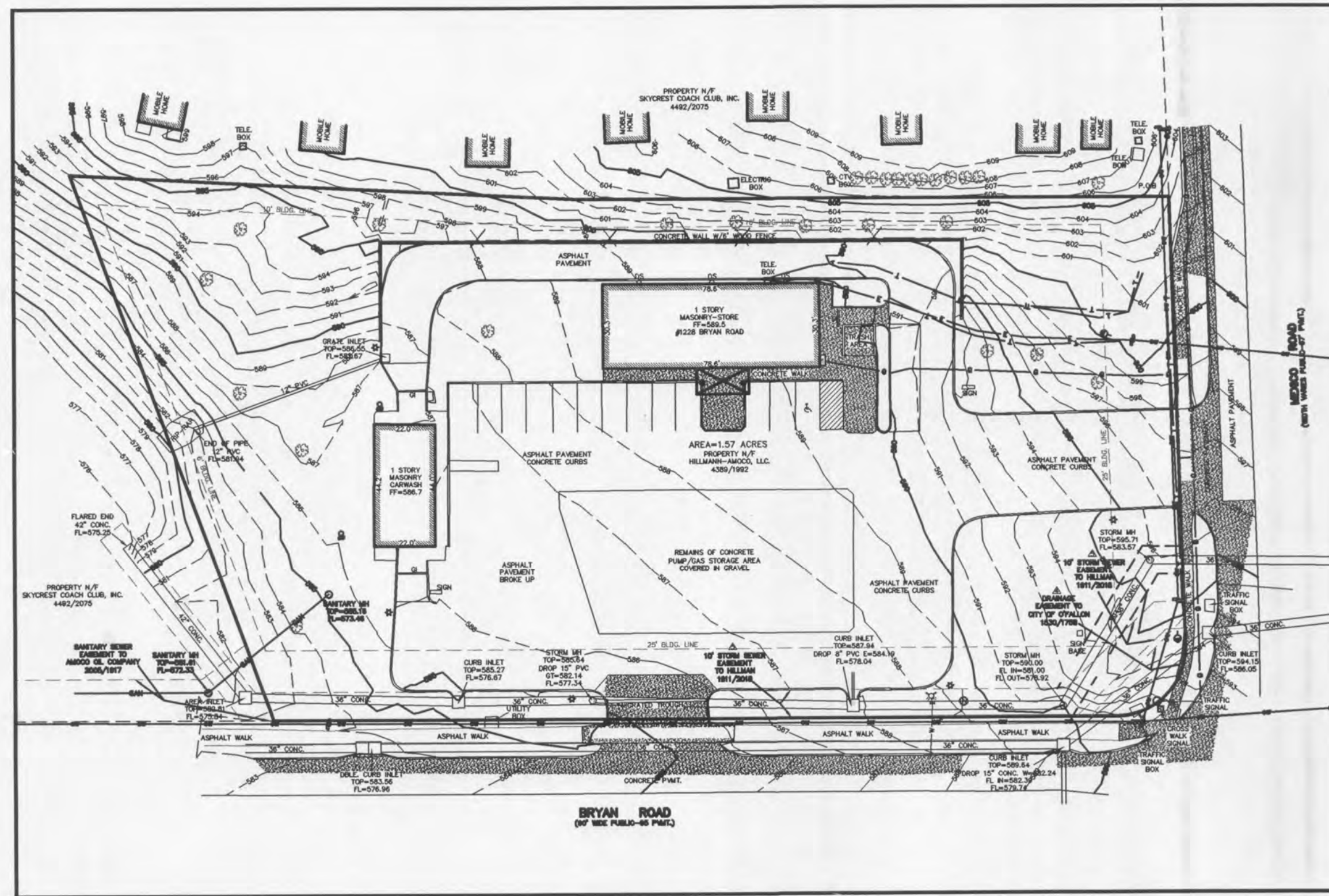


# A SET OF CONSTRUCTION PLANS FOR 1228 BRYAN RD.



PLAN VIEW



LOCATION MAP  
N.T.S.

## LEGAL DESCRIPTION

LAND DESCRIPTION  
A TRACT OF LAND IN THE NORTH HALF OF SECTION 31, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF THE MEXICO ROAD WEST EXTENSION ACCORDING TO THE DEED RECORDED IN BOOK 1530 PAGE 1760 OF THE ST. CHARLES COUNTY RECORDS WITH THE EASTERN PROPERTY LINE OF A TRACT OF LAND CONVEYED TO HILLSIDE MOBILE HOME PARK ACCORDING TO THE DEED RECORDED IN BOOK 1209 PAGE 1991, OF THE ST. CHARLES COUNTY RECORDS; THENCE NORTH 02 DEGREES 00 MINUTES 41 SECONDS EAST 215.34 FEET TO A POINT; THENCE NORTH 04 DEGREES 52 MINUTES 26 SECONDS EAST, 102.76 FEET TO A POINT; THENCE NORTH 05 DEGREES 04 MINUTES 09 SECONDS EAST 80.09 FEET TO A POINT; THENCE SOUTH 71 DEGREES 43 MINUTES 43 SECONDS WEST, 209.69 FEET TO A POINT ON THE EASTERN RIGHT-OF-WAY OF BRYAN ROAD; THENCE ALONG SAID RIGHT-OF-WAY SOUTH 02 DEGREES 00 MINUTES 58 SECONDS WEST, 305.71 FEET TO A POINT OF CURVATURE; THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET AND AN ARC LENGTH OF 40.11 FEET TO A POINT OF TANGENCY ON THE NORTHERN RIGHT-OF-WAY LINE OF THE MEXICO ROAD WEST EXTENSION; THENCE ALONG SAID RIGHT-OF-WAY SOUTH 89 DEGREES 55 MINUTES 09 SECONDS EAST, 161.55 FEET TO THE POINT OF BEGINNING.

## SHEET INDEX

- C1. COVER
- C2. CITY OF O'FALLON NOTES
- C3. SITE/GRADING PLAN
- C4. CITY OF O'FALLON DETAILS
- C5. CITY OF O'FALLON DETAILS
- C6. SITE/ENLARGED DETAILS

## PROJECT/SITE BENCHMARK

**PROJECT BENCHMARK**  
REFERENCE BENCHMARK: USGS BENCHMARK F-149, STANDARD TABLET STAMPED F 149 SET IN THE TOP OF A CONCRETE POST, LOCATED 40 FEET EAST OF MAIN STREET AND 45 FEET NORTH OF THE MAIN RAILROAD TRACKS, NEAR THE SOUTHWEST CORNER OF THE O'FALLON MISSOURI CITY HALL PROPERTY. ELEVATION=542.47(NAVD 88)

**SITE BENCHMARK**  
FOUND IRON ROD AT THE SOUTHEAST CORNER OF SUBJECT TRACT. ELEV.=602.92

## LEGEND NEW IMPROVEMENTS

	PROP. CONTOUR		FOUNDATION DRAIN TILE
	SPOT ELEVATION		SIGN
	STORM SEWER		PAINTED H.C. SYMBOL
	SANITARY SEWER		PAINTED DIRECTIONAL ARROW (WHITE)
	MANHOLE		CONCRETE PAVEMENT
	AREA INLET		ASPHALT PAVEMENT
	GRATE INLET		SWALE
	YARD DRAIN		SILTATION CONTROL
	CLEAN OUT		TO BE REMOVED
	STORM STRUCTURE DESIGNATOR		USE IN PLACE
	SANITARY STRUCTURE DESIGNATOR		ADJUST TO GRADE
	WATER LINE		TO BE ABANDONED
	FIRE HYDRANT		BACK OF CURB
	SERVICE VALVE		TOP OF WALL
	WATER METER		BOTTOM OF WALL

## CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

### STAFF RECOMMENDATIONS

- The construction site plans shall address the Municipal Code requirements listed above.
- Trim the overgrown vegetation along the existing fence and drive aisle behind the building.
- Remove excess debris from the storm water inlets and trash enclosure area.
- Repair the concrete walkway around the perimeter of the car wash.
- The applicant shall work with staff to determine the appropriate type of landscaping along the site's frontage.
- Convert the curb cut on Mexico Road to a right-in/right-out only entrance.

### MUNICIPAL CODE REQUIREMENTS

- The City of O'Fallon has created Construction Plan sheets which format shall be used when submitting Construction Plans for review.
- Provide an accessible parking sign on the building in accordance with Section 400.510.16.
- The parking lot will need to be paved.
- Replace the dead trees located along the south property line.
- An additional parking space must be striped to meet the City's minimum parking requirements.
- Provide a pedestrian connection from the multi-purpose trail and sidewalk to the entrance of the building.
- Any proposed and existing mechanical units must be screened in accordance with Section 400.278. Provide screening details.
- Wheel stops shall be added to the spaces facing the building.
- Provide a copy of the detention agreement indicating the basin to the north provides detention for this site.
- The accessible ramps at both entrances to the site will need to be reconstructed to current ADA Standards.
- Provide notes including the floodplain information, parking calculations, current zoning and site coverage.
- Provide details for the accessible ramps, accessible signage, bicycle rack, and paving standards.
- Show the proposed concrete walkway on the north and west sides of the proposed addition.

## UTILITY CONTACTS

**Sanitary Sewer**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

**Storm Sewer**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
636-281-2858

**Electric**  
Curve River Electric Co.  
P.O. Box 160  
Troy, MO. 63379-0160  
1-800-392-3709

**Water**  
PWSD #2  
P.O. Box 967  
O'Fallon, MO. 63366  
636-561-3737 Ext. 131

**Gas**  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO. 63134  
314-522-2297

**Fire District**  
O'Fallon Fire Protection District  
119 E. Elm St.  
O'Fallon, MO. 63366  
636-272-3493

**Telephone**  
Century Tel  
1151 Century Tel Dr.  
Wentzville, MO. 63385  
636-332-7261

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

Construction work shall only be allowed during the following hours:

- October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday through Sunday
- June 1 through September 30  
6:00 A.M. To 8:00 P.M. Monday through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

Construction work to be done outside of these hours requires prior written approval from the City Administrator or City Engineer.

\* The area of this phase of development is 0.02 Ac.

The area of land disturbance is 0.02 Ac.

Number of proposed lots is 1

Building setback information. North 6'  
East 10'  
South 25'  
West 25'

- \* Site coverage: 53%
- \* The estimated sanitary flow in gallons per day is exist., no change
- \* Tree preservation calculations: N/A
- \* Existing Zoning: C-2 General Business

Per F.I.R.M. Flood Insurance Rate Map of the City of O'Fallon, MO (Community Panel Number 29183C0240E Dated MARCH 17, 2003). This property is located in Zone X. Zone X is defined as an area outside the 500 year flood plain.

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON  
PUBLIC WORKS DIVISION  
ACCEPTED FOR CONSTRUCTION *as noted*  
BY: *[Signature]* DATE *10-16-13*  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE

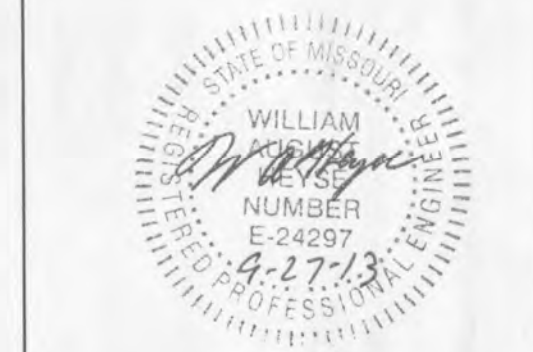
1228 BRYAN RD.

LAND PLANNING • CIVIL ENGINEERING

LDC ENGINEERING

1112 ROCK CREEK ELEMENTARY RD.

O'FALLON, MISSOURI 63366  
PH: (636) 240-9696  
MO. CERT. OF AUTHORITY FOR ENGINEERING FOR LAND SURVEYING  
SERIAL NO. LS-367-D



WILLIAM AUGUST HEISE P.E.  
PROFESSIONAL ENGINEER E-24297

Developer / Owner Information  
**SHREE GAYATRI**  
1687 REMBRANDT DR.  
O'FALLON, MO. 63366  
PH: 636-734-7812

City of O'Fallon Cover Sheet

P+Z No. 22-13

City No.

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