

On August 5, 2021, the Planning and Zoning Commission approved the above referenced request.

The approval is conditional upon the following Staff recommendations being met:

1. Provide lot coverage calculations.
2. Provide a landscaping plan.
3. Provide a photometric lighting plan.
4. Any rooftop mechanical units shall be properly screened.
5. Provide a detail of the bike racks.
6. Provide a detail of the proposed pavement, ADA ramp, and ADA parking space.
7. Replace the right-in right-out signage in the existing entrance island.
8. The carwash that was converted to storage should be made to match the proposed building addition.

**Please Note:**

- The Site Plan Approval shall expire, and be of no effect, one (1) year after the date of issuance thereof, unless within such time Construction Plans or Building Permits for any proposed work authorized under the said site plan approval has been issued.
- Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by City Staff. The application is available on the City's website via [www.ofallon.mo.us](http://www.ofallon.mo.us) (City Departments, Public Works, Engineering) through the Ofallon Permitting, Licensing, and Enforcement (OPLE) system.
- The appropriate Fire District will need to review and approve the development.
- Any signage to be placed on the subject property requires a separate Sign Permit.
- Any business occupying the site requires approval of a Business License.
- All Conditions of Approval shall be noted on the Construction Site Plans.

NUMBER	DESCRIPTION	SIZE	TYPE	FRAME	HDWE	REMARKS
W	EXTERIOR WINDOW	4'-0"x7'-0"	A-1	AL-1A		FIXED NON TAMPERED
A	EXTERIOR GLASS DOOR	6'-0"x7'-0"	A-1	AL-1A	1	
B	EXTERIOR STEEL DOOR	3'-0"x7'-0"	A-2	AL-1A		SLIDER

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL INSURE THAT ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES AND OTHER FEDERAL, STATE AND LOCAL AGENCY REGULATIONS HAVING JURISDICTION OVER THE PROJECT. IN THE EVENT OF ANY DISCREPANCY BETWEEN AGENCY REQUIREMENTS, THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT REQUIREMENT. THE H.V.A.C., ELECTRICAL, AND PLUMBING SYSTEMS ARE TO BE A DESIGN AND BUILD CONTRACT BY THE CONTRACTOR.
2. LAYOUT WORK IN ADVANCE OF CONSTRUCTION. NOTIFY THE ARCHITECT OF SIGNIFICANT DIFFERENCES BETWEEN WORK INDICATED IN THE DOCUMENTS AND THE EXISTING CONDITIONS. SIGNIFICANT DIFFERENCES INCLUDE BUT ARE NOT NECESSARILY LIMITED TO DISCREPANCIES THAT WOULD PREVENT WORK FROM BEING PERFORMED AS INDICATED.
3. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL UTILITIES TO BE DONE BY OTHERS.
4. DUAL WATER FOUNTAIN ELKAY EZSTL8LC ADA COMPLIANT
5. CURRENT RESTROOM ADA COMPLIANT
6. WALLS R-19 INSULATION, ROOF INSULATION R-38 KRAFT FACED FIBERGLASS. WALL INSULATION TO THE BOTTOM OF ROOF DECKING
7. 1" R-3.85 INSULATING SHEATING UNDERNEATH THE CONCRETE SLAB

**STORM WATER POLLUTIN CONTROL:**

The Permittee shall assume complete responsibility for controlling all siltation and erosion of the project area. The Permittee shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with the clearing operations and be maintained throughout the project until acceptance of the work by the City of Ofallon and as necessary by MoDOT. The Permittees responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The City of Ofallon and as required by MoDOT may at their option direct the Permittee in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement shall be removed immediately. Any depositing of silts or mud in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the City of Ofallon and as required by MoDOT.

All erosion control systems are inspected and corrected weekly, especially within 48 hours of any rainstorm resulting in one-half inch of rain or more. Any silt or debris leaving the site and affecting public rights-of-ways or storm water drainage facilities shall be cleaned up within 24 hours after the end of the storm.

**ACCESSIBILITY:**

Sidewalks, curb ramps and accessible parking spaces shall be constructed in accordance with currently approved Americans with Disabilities Act Accessibility Guidelines along with the required grades, signage, specifications and construction materials. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall be followed and the contractor, prior to any construction, shall notify the Project Engineer drainage facilities shall be cleaned up within 24 hours after the end of the storm.

**UTILITIES SERVING THE PROJECT:**

- AMEREN UE - POWER - 877-215-5752
- PUBLIC WATER SUPPLY DISTRICT 2 - WATER MAIN AND WASTE WATER - (636) 561-3737
- SPIRE - NATURAL GAS - 800-887-4173
- CENTURY LINK - COMMUNICATION/TELEPHONE - 866-476-9909

**SOIL TESTING REQUIREMENTS:**

Developer must supply City construction inspectors with an Engineer's soil reports prior to and during site soil testing. The soils report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:

1. Maximum dry density.
2. Optimum moisture content.
3. Maximum and minimum allowable moisture content.
4. Curve must be plotted to show density from a minimum of 90% as determined by the "Modified AASHTO T-180 Compaction Test" (A.S.T.M.-D-1157) or from a minimum of 95% as determined by the "Standard Proctor Test AASHTO T-99, Method C" (A.S.T.M.-D-698). Proctor type must be designated on the document.
5. Curve must have at least 5 density points with moisture content and sample locations listed on document.
6. Specific gravity.
7. Natural moisture content.
8. Liquid limit.
9. Plastic limit.

Information is not provided to the City's Construction Inspector the City will not allow grading or construction activities to proceed on any project site.

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4. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL UTILITIES TO BE DONE BY OTHERS.
5. PER CITY ORDINANCE 3429, SEC. 500.420 OF THE MUNICIPAL CODE OF THE CITY OF OFALLON, CONSTRUCTION WORK SHALL ONLY BE ALLOWED DURING THE FOLLOWING HOURS: OCT. 1 - MAY 31 - 7:00AM - 7:00 PM, MONDAY TO SUNDAY, JUNE 1 TO SEPT 30: 6:00AM - 8:00PM, MONDAY TO FRIDAY, AND 7:00AM - 8:00PM, ON SATURDAY AND SUNDAY. THE CONTRACTOR SHALL REQUEST FOR PERMISSION FROM THE CITY ADMINISTRATOR FOR ANY CONSTRUCTION WORK OUTSIDE OF THESE HOURS.
6. CITY APPROVAL OF THE CONSTRUCTION PLANS DOES NOT MEAN THAT ANY BUILDING CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODE.
7. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, he/she shall make such changes at his/her own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City inspectors
8. All traffic signals, street signs, sign post, backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by the City of Ofallon and MoDOT).
9. Lighting values will be reviewed on site prior to the final occupancy inspection."
10. No graded areas are to remain bare for over 14 days without being seeded and mulched
11. The asphalt surface shall be compacted to 98% maximum density

**CURRENT APPLICABLE CODES:**

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2009 ICC A117.1 ACCESSIBLE & USABLE FACILITIES

**USE & OCCUPANCY GROUP:**

USE GROUP (M)  
PER IBC 309  
CONSTRUCTION TYPE VB

**FIRE RESISTIVE RATING REQUIREMENTS FOR BUILDING ELEMENTS:**

BEARING WALLS		
INTERIOR WALLS		0 HR
EXTERIOR WALLS		0 HR
NON-BEARING WALLS		
INTERIOR WALLS		0 HR
EXTERIOR WALLS		0 HR
FLOOR CONSTRUCTION		0 HR
ROOF CONSTRUCTION		0 HR

**BUILDING HEIGHT AND AREAS:**

ALLOWABLE FLOOR AREA PER (T506.2)	(9000 SQ. FT. ALLOWED)
	6905 SQ. FT. PROVIDED
	3460 SQ. FT. EXISTING
	3445 SQ. FT. ADDITION
BUILDING HEIGHT PER (T504.3)	(+/- 17'5") 1 STORY (40FT.) OR 1 STORY ALLOWED
OCCUPANT LOAD (79 MAX)	70 MAX (4200 SQ. FT. @ 60' GROSS - AREAS ON THE FLOOR)
	4 MAX (1045 SQ. FT. @ 300' GROSS - STORAGE)
	3 MAX (720 SQ. FT. @ 300' GROSS - W.I.C. - 1)
	2 MAX (600 SQ. FT. @ 100' GROSS - W.I.C. - 2)

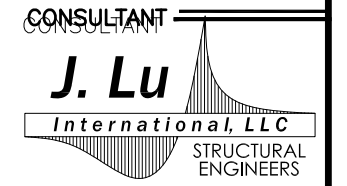
**MEANS OF EGRESS:**

EGRESS WIDTH 79 X 0.2' / OCCUPANT = 15.8" MIN REQUIRED (116" MIN. PROVIDED) PER (IBC 2015 SEC. 1010.1.1) 32" MIN. DOOR CLEAR OPENING  
TRAVEL DISTANCE TO EXIT = 110' MAX (200' MAX. ALLOWED)  
NO. OF EXITS : (2 REQUIRED) PER IBC 2015 T1006.2.1 = 2 PROVIDED



Certificate of Authority: A-3010014621  
JIE LU  
118 S. MAIN STREET  
ST. CHARLES, MO 63301  
314.426.5129

Jie Lu - Structural Engineer  
No. A-3010014621  
NOT VALID FOR SIGNING PROJECTS UNLESS PROJECTS ARE REGISTERED WITH THE MISSOURI BOARD OF PROFESSIONAL ENGINEERS  
E-29327  
01/03/2022



11415 Oxbridge Ct.  
St. Louis, MO 63146  
(314) 692-8625  
Fax: (314) 692-8625  
Missouri State Certificate of Authority: 0200400097

**PROJECT:**

**STORE ADDITION**  
1228 BRYAN ROAD  
OF FALLON, MO 63376

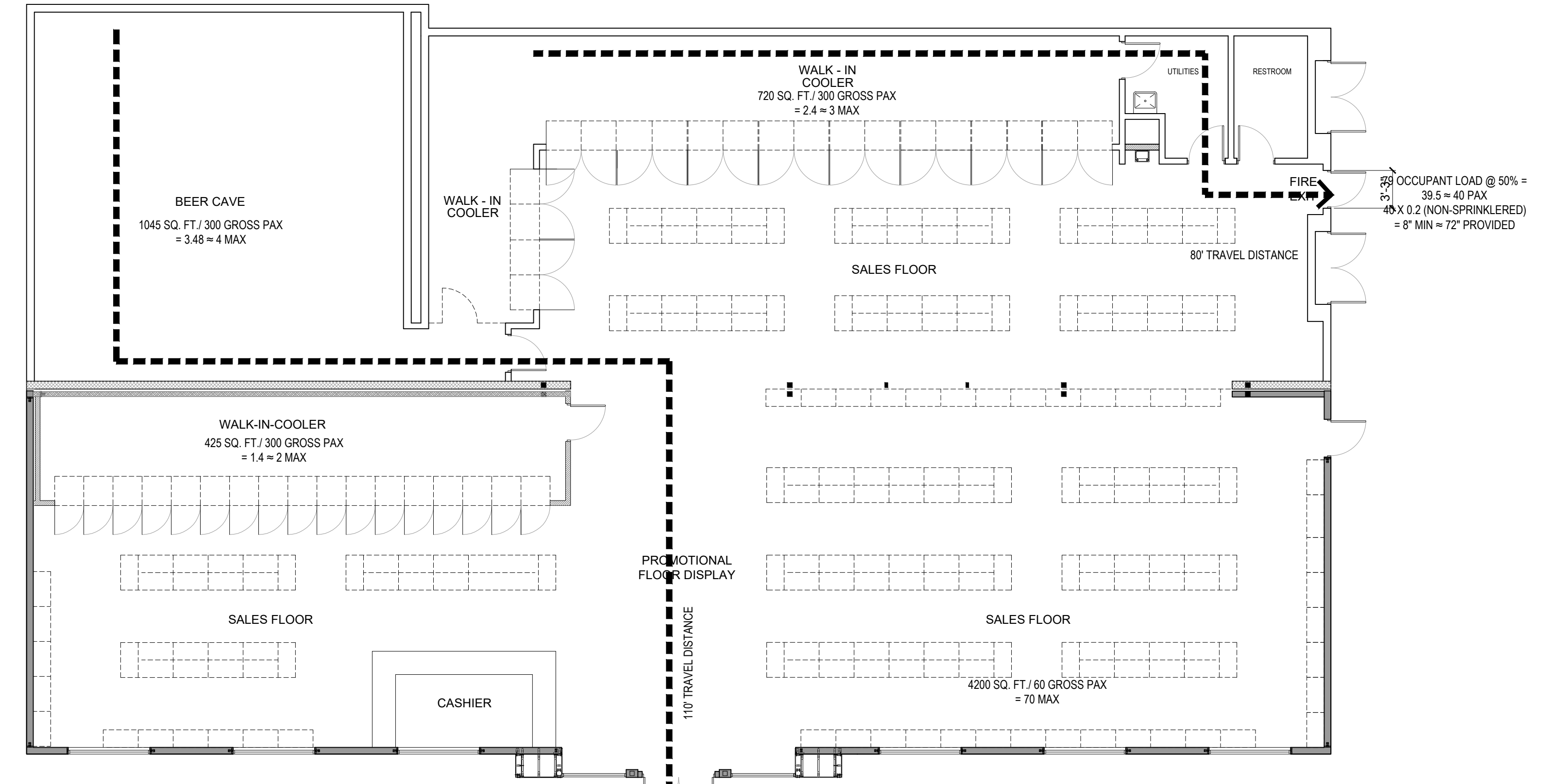
**FOR:**  
SHREE GAYATRI  
1687 REMBRANDT DRIVE  
OF FALLON, MO 63366

REVISION  
12-13-2021

DATE: AUGUST 04, 2021  
JOB NUMBER: 210724  
DRAWING TITLE:

**CODE BLOCK**  
HEALTH & SAFETY

DRAWN BY / CHECKED BY: RAS RAS  
DRAWING NUMBER: A0.1  
COMMENTS:  
FOR BUILDING PERMIT APPLICATION  
6/2013



**APPROVED**

Jeannie Greenlee 02/24/2022

1 EXIT TRAVEL DISTANCE SCALE: 1/8" = 1'-0"

Permit #: COM21-000175  
Project #: 21-007457  
21-005926 - 8-6-2021