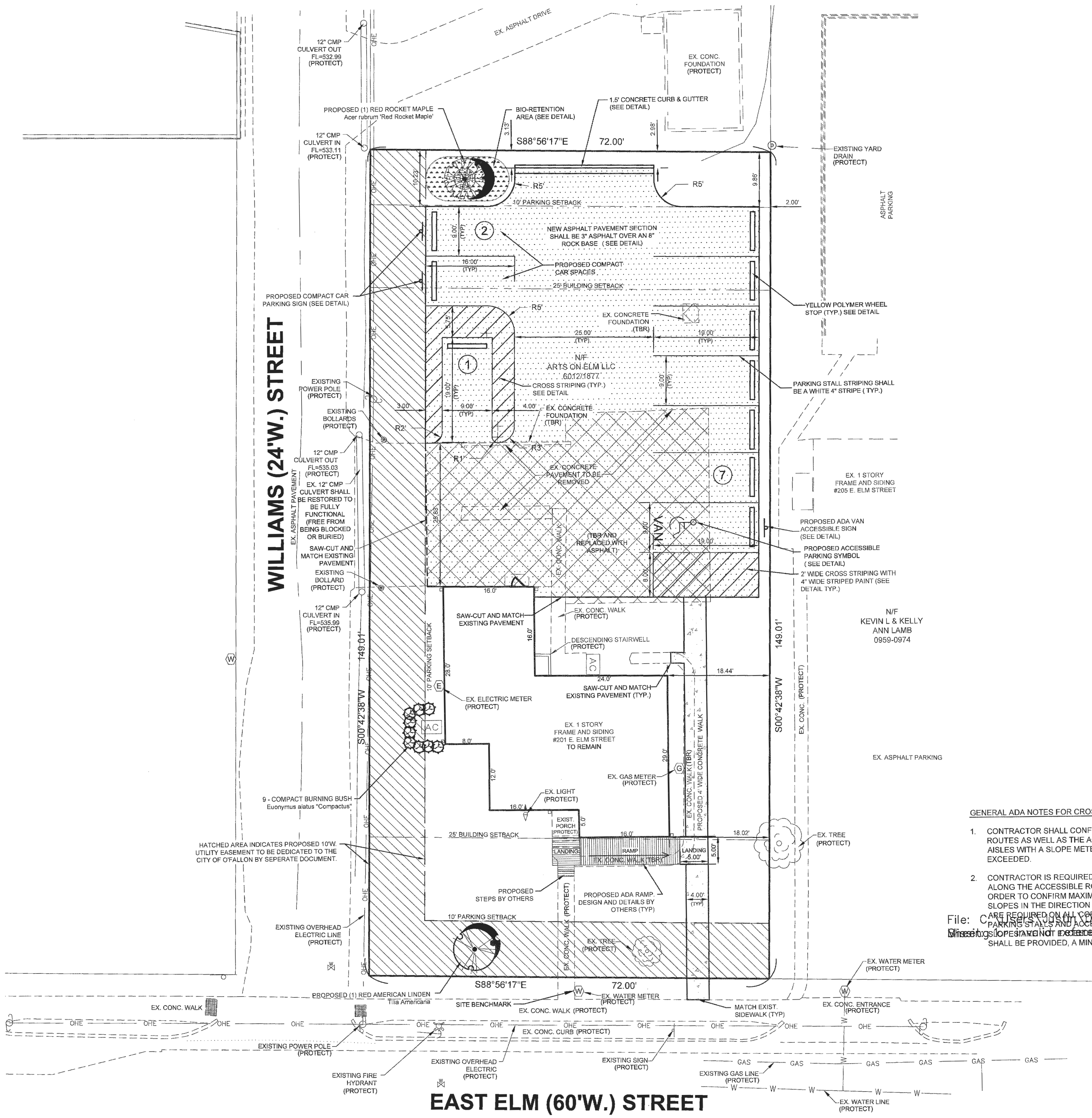


\\PREMIER\DRIVE\158\mfc\civil_3d\PROJECT\15107101.201 EAST ELM\CONSTRUCTION DOCUMENTS.dwg



NOTE: UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO NOTIFY THE UTILITY COMPANIES BEFORE ACTUAL CONSTRUCTION.

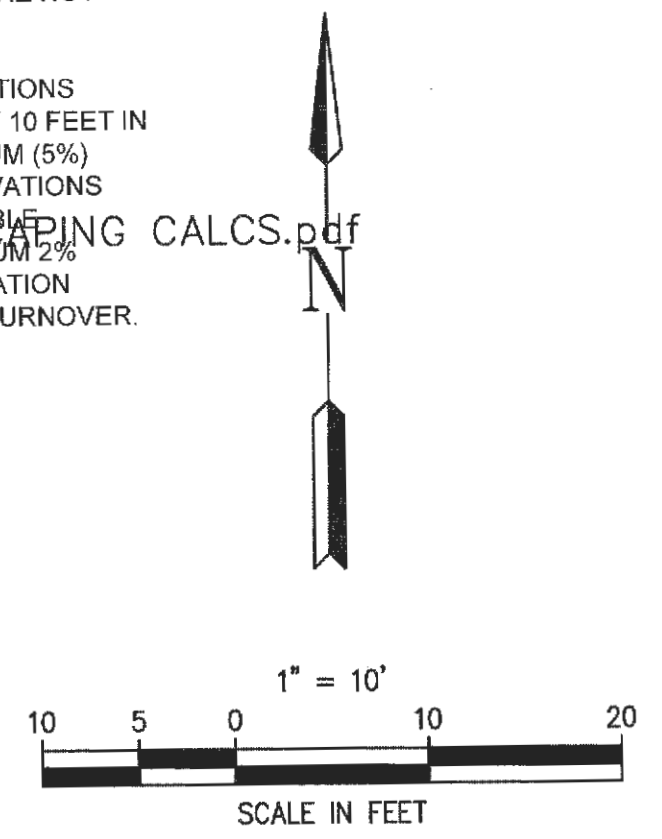


GENERAL NOTES

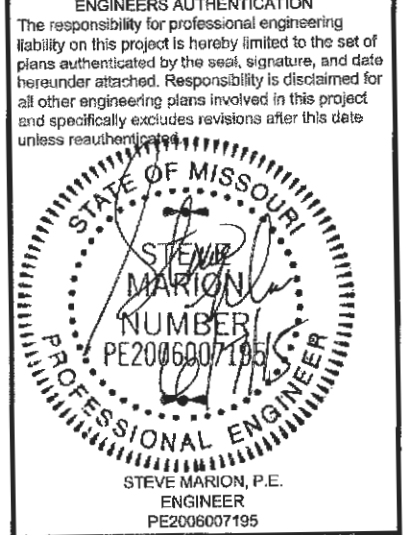
- 1. Present Zoning: C-1 Restricted Business District
2. Existing Use: Music and Art Academy
3. Area of Tract: 0.25 Acres
4. Project is Served By: A. O'Fallon Fire Protection District-636-272-3493
5. Electric service shall be located underground.
6. Sanitary and storm sewers shall be designed per City of O'Fallon specifications.
7. Building height, site lighting and signage shall be in accordance with City of O'Fallon requirements. No site lighting or signage is proposed with this project.
8. No building or structure shall exceed a height of thirty-five (35) feet or three (3) stories. The existing building height is 1-story.
9. Grading and drainage shall be per City of O'Fallon specifications.
10. Site shall comply with ADA and City of O'Fallon accessible regulations.
11. No slope shall be greater than 3:1 unless supported by a geotechnical report.
12. Lighting shall be installed so as not to cast light directly on public right-of-way or adjoining property. No lighting is proposed for this project.
13. Sidewalks along accessible route shall not have a slope exceeding 1:20. Slopes greater than 1:20 must be designed as a ramp.
14. All dimensions are to face of curb or building unless noted otherwise.
15. Parking Calculations:
Parking required:
1 space per 200 sq. ft. of Floor Area
1,215 sq. ft./200 = 6.08 x 1 = 6.08 spaces
Total Parking Required = 7 spaces
Parking provided:
Total Parking Spaces = 10 spaces (includes 1 Accessible Space)
Accessible Spaces Required:
Section 400.485 requires 1 Accessible Space for 1-25 parking spaces
Accessible Spaces Provided:
1 Van Accessible Space
Compact Parking Spaces Allowed:
20% of the required parking spaces are allowed to be Compact Parking Spaces.
7 required spaces x 20% = 1.4 (2 Compact Parking Spaces allowed)
Compact Parking Spaces Provided:
2 Compact Parking Spaces provided
16. Onsite structures are to be demolished unless noted otherwise on the plans.
17. All paving to be in accordance with St. Charles County Standards and Specifications except as modified by the City of O'Fallon ordinances.
18. Setback Requirements:
Front Yard - 25' Minimum
Side Yard - None required
Rear Yard - 25' Minimum
19. All rooftop units shall be screened in accordance with the City of O'Fallon Code of Ordinances. No rooftop units are proposed with this project.
20. No flood plain exists on this property per FEMA map 29183C0237 dated August 2nd, 1996.
21. City approval of the construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the Zoning Code.

Table with 2 columns: SITE DATA and values. Includes rows for SITE AREA, IMPERVIOUS AREA, BUILDING AREA, and BUILDING DENSITY.

- GENERAL ADA NOTES FOR CROSSWALK:
1. CONTRACTOR SHALL CONFIRM ALL EXISTING SLOPES FOR ACCESSIBLE ROUTES AS WELL AS THE ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES WITH A SLOPE METER TO CONFIRM MAXIMUM SLOPES ARE NOT EXCEEDED.
2. CONTRACTOR IS REQUIRED TO PROVIDE AS-BUILT SPOT ELEVATIONS ALONG THE ACCESSIBLE ROUTES SHOWN ON THIS PLAN EVERY 10 FEET IN ORDER TO CONFIRM MAXIMUM (2%) CROSS-SLOPE AND MAXIMUM (5%) SLOPES IN THE DIRECTION OF TRAVEL. IN ADDITION, SPOT ELEVATIONS ARE REQUIRED ON ALL CORNERS AND MIDPOINTS OF ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES TO CONFIRM MAXIMUM 2% SLOPES. SLOPES ARE NOT EXCEEDED IN ALL DIRECTIONS. THIS INFORMATION SHALL BE PROVIDED, A MINIMUM OF 2 WEEKS BEFORE STORE TURNOVER.



PROJECT TITLE: ARTS ON ELM, LLC



CONSULTANT: PREMIER CIVIL ENGINEERING
Developer / Owner Information: Justin Dobsch, 201 E. ELM STREET, O'FALLON, MO 63366

P4Z No. 12-14 APPROVED 2.06.14 CITY No. SHEET NUMBER: 4