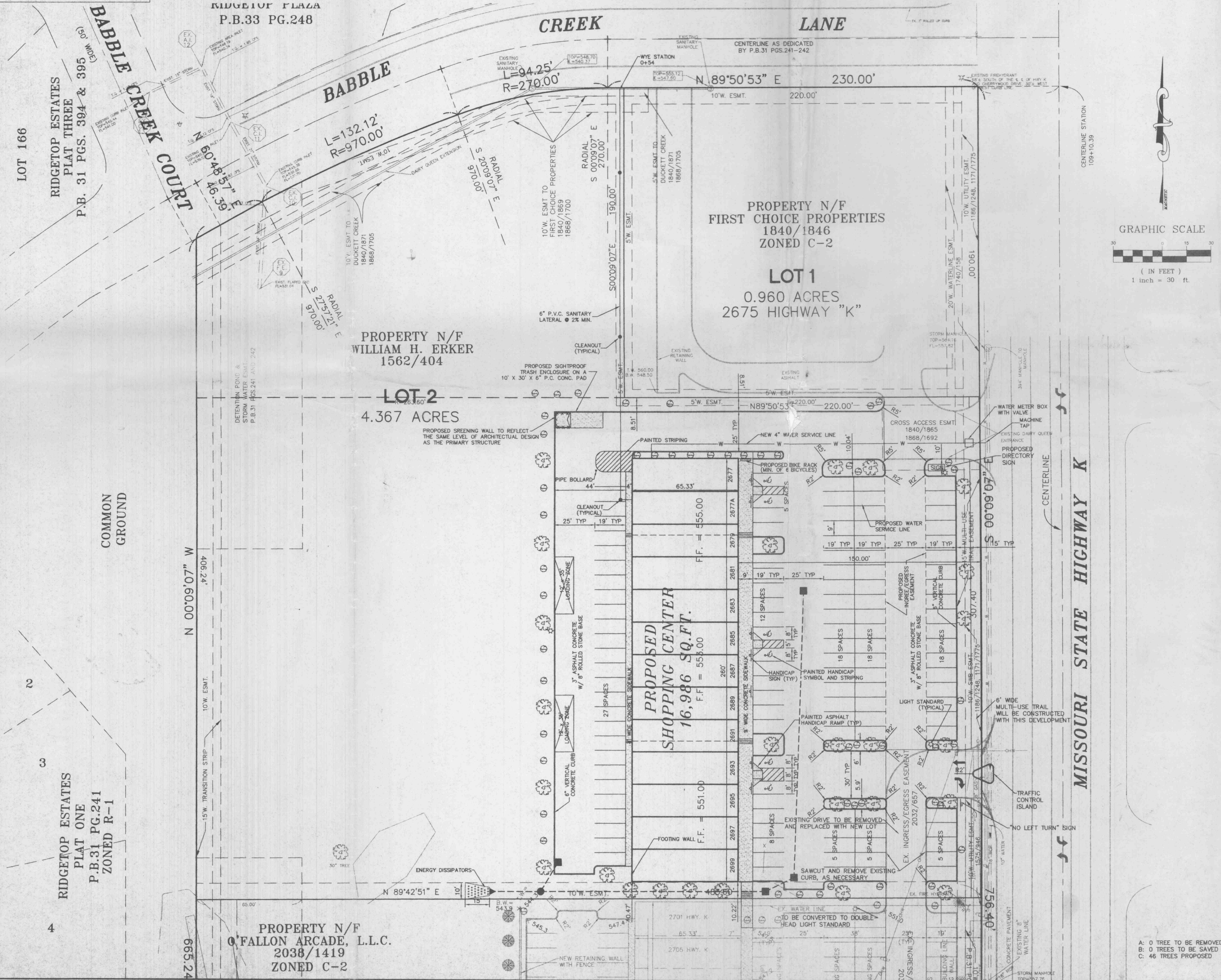
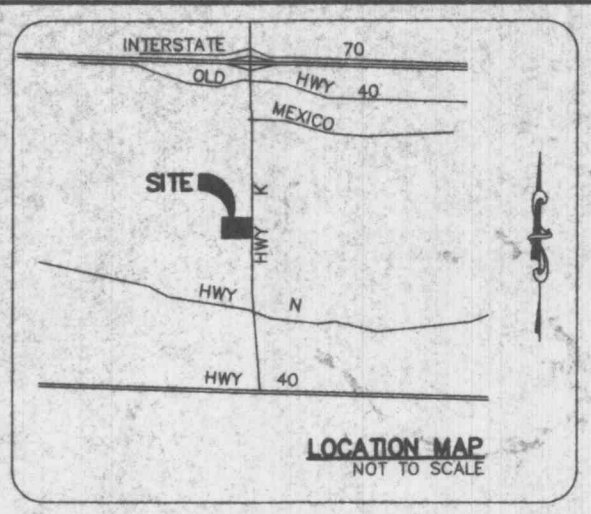
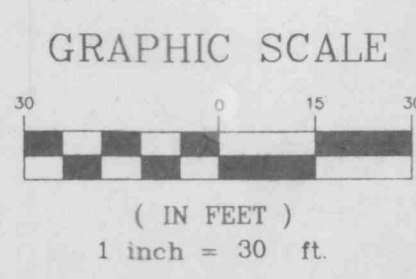


A SITE PLAN FOR
BABBLE CREEK PLAZA
 A TRACT OF LAND BEING PART
 PART OF U.S. SURVEY 3180
 TOWNSHIP 46 NORTH, RANGE 3 EAST
 OF THE FIFTH PRINCIPAL MERIDIAN
 CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI



GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:
 STREET TREES: 1 TREE / 40 L.F. = 8 TREES
 ADDITIONAL TREES: 115,119 SQ.FT. = 38 TREES
 1 TREE / 3,000 SQ. FT. = 38 TREES
 TOTAL TREES REQUIRED: 46 TREES
- TOTAL TREES PROPOSED: 46 (SEE TREE INVENTORY & LANDSCAPE LEGEND)
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCES.
- THE DEVELOPER SHALL COMPLY WITH ARTICLE 26 PERFORMANCE STANDARDS.
- DETENTION FOR THIS SITE ALREADY PROVIDED BY EXISTING BASIN TO THE WEST.
- THE DEVELOPER SHALL CONFORM WITH THE CURRENT COMPREHENSIVE PLAN FOR THE CITY OF O'FALLON.
- ALL OUTSIDE TRASH CONTAINERS, HVAC UNITS, ELECTRIC, TELEPHONE AND GAS METERS, SATELLITE DISHES, AND ROOFTOP MECHANICAL APPARATUS SHALL BE THOROUGHLY SCREENED WITH MATERIALS AND/OR LANDSCAPING TO CONCEAL THE VISIBILITY OF SUCH ITEMS FROM THE VIEWS OF RIGHTS-OF-WAY AND/OR ADJACENT PROPERTIES AS REVIEWED AND APPROVED BY THE PLANNING DIVISION.
- DEVELOPER SHALL PROVIDE ONE "U" STYLE BIKE RACK CAPABLE OF HOLDING A MINIMUM OF SIX BICYCLES ON-SITE AS APPROVED BY THE PLANNING DIVISION.
- A PHOTOMETRIC LIGHTING PLAN WILL BE PROVIDED BY THE ELECTRIC CONTRACTOR.



DEVELOPMENT NOTES

- Area of Tract: 4.367 Acres
- Existing Zoning: C-2 GENERAL BUSINESS
- Proposed Use: RETAIL CENTER
- Area of Building: 16,986 Sq. Ft.
- The required height and building setbacks are as follows:
 Minimum Front Yard: 25 feet
 Minimum Side Yard: 6 feet
 Minimum Rear Yard: 10 feet
 Maximum Height of Building: 50 feet
- Owner under contract: STEVE NOLES
 11527 OLIVE STREET RD.
 ST. LOUIS, MO 63141
 (314) 997-3292
- Site is served by:
 Duckett Creek Sanitary District
 Union Electric Company
 St. Charles Gas Company
 Water District #2
 GTE Telephone Company
 Fort Zumwalt School District
 O'Fallon Fire Protection District
- Flood Plain Note:
 Per the flood insurance rate map (F.I.R.M.) map number 2903160239e, effective date august 2, 1995, the surveyed tract lies in an area designated as zone "X" (area determined to be outside the 500-year floodplain.)
- Topographic information is per Topographic Survey By BAX Engineering.
- Parking Required:
 Shopping center - 16,986/1000 x 5.5 = 94 parking spaces required
 Total = 94 parking spaces required
 parking provided = 119 spaces with 6 handicap spaces
- Loading Zone Requirements:
 1 zone required for 5,000 sq.ft. and 1 additional per extra 20,000 sq.ft. or portion thereof
 Total = 2 loading spaces required
 Loading spaces provided = 2 provided
- SITE COVERAGE CALCULATIONS:
 BUILDING = 16,986 SQ. FT.
 PAVEMENT = 58,578.5 SQ. FT.
 GREEN SPACE = 114,774 SQ. FT.
- INTERIOR LANDSCAPING CALCULATIONS:
 95 SPACES ON PAVED AREA WIDER THAN 65 FEET) X 270 SQ. FT. X 0.06 = 1,539 SQ. FT. REQUIRED INTERIOR LANDSCAPING
 2,223 SQ. FT. INTERIOR LANDSCAPING PROVIDED

LANDSCAPE LEGEND

- QTY. (50) ~ INDICATES PROPOSED EVERGREEN SHRUB (mugho pines, yews, junipers, hollies, boxwoods) EVERGREENS IN REAR PROPERTY AREA TO BE A MINIMUM OF SIX FEET TALL
 - QTY. (26) ~ INDICATES PROPOSED HARDWOOD TREE (ashes, oaks, maples, birches, sweet gum)
- LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER

REVISED 4-27-99
 BLDG. CENTER INSP
APPROVED
 AS NOTED
 4-30-99
 CHAS. LUNEMAN

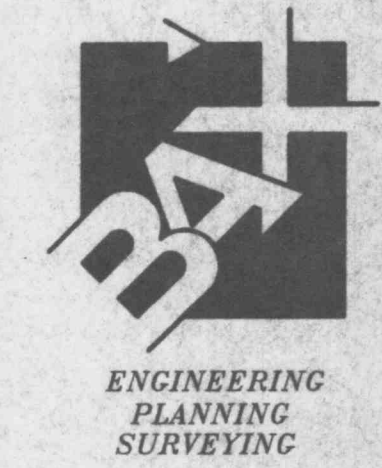
PREPARED FOR:
 STEVE NOLES
 11527 OLIVE STREET RD.
 ST. LOUIS, MO 63141
 (314) 997-3292

DISCLAIMER OF RESPONSIBILITY
 I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



Copyright, 1998
 BAX Engineering Company, Inc.
 All Rights Reserved.

| REVISIONS | CITY COMMENTS |
|-----------|---------------|
| 4/22/99 | |



1052 South Cloverleaf Drive
 St. Peters, MO. 63376-6445
 314-928-5552
 FAX 928-1718

3-10-99
 DATE
 97-9423A
 PROJECT NUMBER
 1 OF 4
 SHEET OF
 9423ACON.DWG
 FILE NAME
 GJD RLF
 DRAWN CHECKED

F:\WORK\9400PL\US\9423acon.dwg Thu Apr 22 11:11:04 1999 station 21 GJD