

LANDSCAPE TREE CALCULATIONS:
 FRONTAGE TREES 1 PER 40' 11
 1 TREE PER 3,000sf OPEN SPACE 37
 TREES REQUIRED(LANDSCAPE) 49
 EXISTING TREES THAT WILL EXIST 232
 (THEREFORE NO ADDITIONAL TREES ARE
 REQUIRED FOR LANDSCAPE REQUIREMENT)

TREE PRESERVATION CALCULATIONS:
 PRIOR TREES REMOVED 15
 PROPOSED TREES TO BE REMOVED 24
 TREES TO BE REPLACED 39
 (8'WHITE PINES)

TREE NOTE:
 TREES TO BE PRESERVED AND IN CLOSE
 PROXIMITY TO THE GRADING SHALL HAVE
 THEIR ROOT ZONES PROTECTED.

SITE & CONSTRUCTION PLAN
VEHICLE SALES LOT & OFFICE
BELLEAU CREEK MOTORS

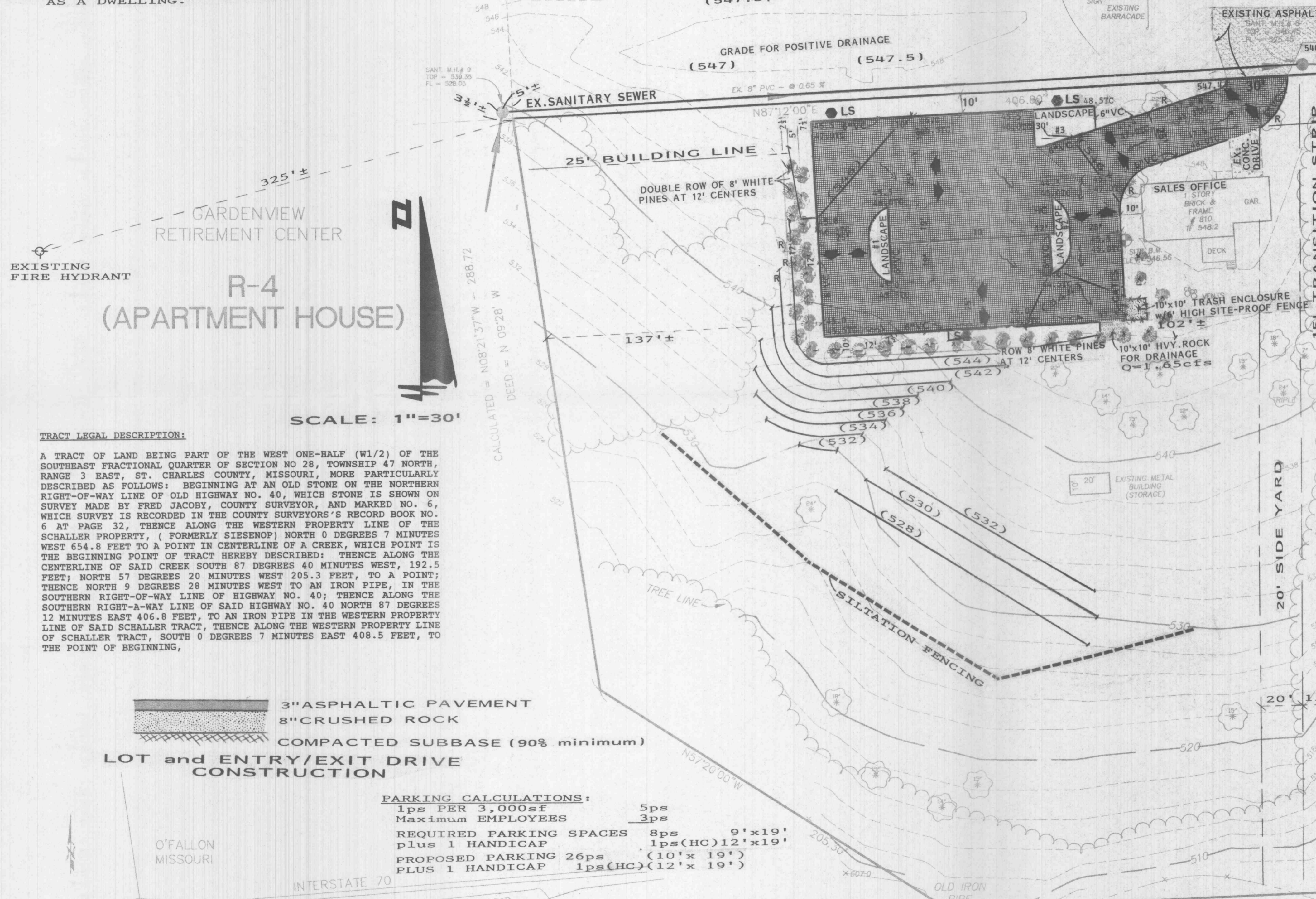
A TRACT OF LAND IN THE WEST 1/2, OF THE SOUTHEAST FRACTIONAL 1/4,
 OF SECTION 28, TOWNSHIP 47 NORTH, RANGE 3 EAST,
 CITY OF O'FALLON, MO., ST.CHARLES COUNTY, MO.

- NOTES:**
- 1) AREA IN FRONT OF SALES OFFICE SHALL BE FOR TEMPORARY USE OF BUSINESS RELATED VEHICLES ONLY. ALL VEHICLES FOR SALE SHALL BE PARKED ON SALES LOT.
 - 2) THE CONDITIONAL USE PERMIT WILL BE REVIEWED 90 DAYS AFTER THE VEHICLE SALES LOT OPENS.
 - 3) ONCE THE BUSINESS OPENS THE EXISTING HOME CAN NOT BE USED AS A DWELLING.

PARKING LOT LANDSCAPE CALCULATIONS:
 107'x 150' = 16,050sf
 16,050sf x 6% = 963sf REQUIRED
 #1/310sf+#2/260sf+#3/480sf = 1050sf

TRASH ENCLOSURE NOTE:
 A 10'x 10' CONCRETE PAD, 6"THICK WITH A 6' HIGH SITE-PROOF FENCE (2 GATES ON WEST SIDE) SHALL BE CONSTRUCTED USING COMMERCIAL MATERIALS.

MISSOURI STATE HIGHWAY NOTE:
 THE COMMERCIAL ENTRY OFF SOUTH OUTER ROAD (DUBLIN DRIVE) TO SITE SHALL BE APPROVED BY THE MISSOURI STATE HIGHWAY DEPARTMENT.



SOUTH SERVICE ROAD (DUBLIN DRIVE)

LS Light Standard 25' High (MAX)
 (547) PROPOSED GRADES

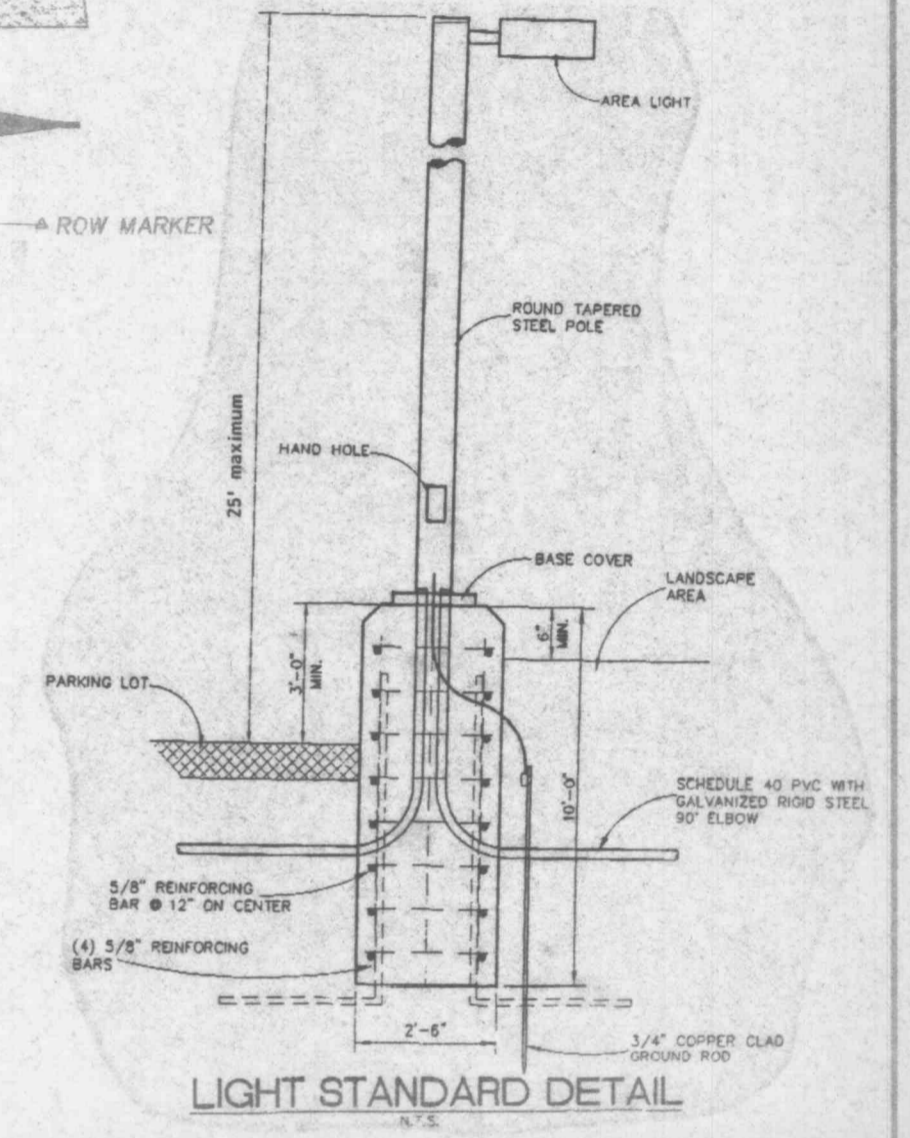
- UTILITIES:**
- TELEPHONE SERVICE ON SITE
 - LACLEDE GAS
 - ELECTRIC SERVICE ON SITE
 - EXISTING WELL WATER
 - CITY OF O'FALLON SEWERS
 - CITY OF O'FALLON FIRE PROTECTION

- NOTES:**
- ZONED: C-2 (GENERAL BUSINESS)
 - THIS TRACT IS OUTSIDE THE 100 YEAR FLOOD PLAIN
 - THIS TRACT HAS NO WETLANDS.
 - TRACT AREA IS 3.31 ACRES.
 - BUILDINGS AND PAVED AREAS WILL BE 15% OF SITE

BENCH MARK:
 M.S.H.D. #27-83 SQUARE CUT ON THE NORTHWEST CORNER OF CONCRETE HEADWALL, 130' ± LEFT OF STATION 814+30 ±, IN FRONT OF ANIMAL CLINIC. ELEVATION = 501.37' U.S.G.S. DATUM

SITE BENCH MARK:
 TOP OF STEEL VENT ON THE WEST SIDE OF EXISTING HOUSE AT # 810 SOUTH SERVICE ROAD. ELEVATION 546.56' U.S.G.S. DATUM

THIS IS TO CERTIFY THAT AT THE REQUEST OF RANDY INDELICATO, WE HAVE PREPARED A SITE PLAN ON A TRACT OF LAND IN THE WEST 1/2, OF THE SOUTHEAST FRACTIONAL 1/4, OF SECTION 28, TOWNSHIP 47 NORTH, RANGE 3 EAST, CITY OF O'FALLON, ST. CHARLES COUNTY, MO. AND THE RESULT IS CORRECTLY REPRESENTED.



TRACT LEGAL DESCRIPTION:
 A TRACT OF LAND BEING PART OF THE WEST ONE-HALF (W1/2) OF THE SOUTHEAST FRACTIONAL QUARTER OF SECTION NO. 28, TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT AN OLD STONE ON THE NORTHERN RIGHT-OF-WAY LINE OF OLD HIGHWAY NO. 40, WHICH STONE IS SHOWN ON SURVEY MADE BY FRED JACOBY, COUNTY SURVEYOR, AND MARKED NO. 6, WHICH SURVEY IS RECORDED IN THE COUNTY SURVEYORS'S RECORD BOOK NO. 6 AT PAGE 32, THENCE ALONG THE WESTERN PROPERTY LINE OF THE SCHALLER PROPERTY, (FORMERLY SIESENOP) NORTH 0 DEGREES 7 MINUTES WEST 654.8 FEET TO A POINT IN CENTERLINE OF A CREEK, WHICH POINT IS THE BEGINNING POINT OF TRACT HEREBY DESCRIBED: THENCE ALONG THE CENTERLINE OF SAID CREEK SOUTH 87 DEGREES 40 MINUTES WEST, 192.5 FEET; NORTH 57 DEGREES 20 MINUTES WEST 205.3 FEET, TO A POINT; THENCE NORTH 9 DEGREES 28 MINUTES WEST TO AN IRON PIPE, IN THE SOUTHERN RIGHT-OF-WAY LINE OF HIGHWAY NO. 40; THENCE ALONG THE SOUTHERN RIGHT-A-WAY LINE OF SAID HIGHWAY NO. 40 NORTH 87 DEGREES 12 MINUTES EAST 406.8 FEET, TO AN IRON PIPE IN THE WESTERN PROPERTY LINE OF SAID SCHALLER TRACT, THENCE ALONG THE WESTERN PROPERTY LINE OF SAID SCHALLER TRACT, SOUTH 0 DEGREES 7 MINUTES EAST 408.5 FEET, TO THE POINT OF BEGINNING,

3" ASPHALTIC PAVEMENT
 8" CRUSHED ROCK
 COMPACTED SUBBASE (90% minimum)

LOT and ENTRY/EXIT DRIVE CONSTRUCTION

PARKING CALCULATIONS:
 1ps PER 3,000sf 5ps
 Maximum EMPLOYEES 3ps
 REQUIRED PARKING SPACES 8ps 9'x19'
 plus 1 HANDICAP 1ps(HC) 12'x19'
 PROPOSED PARKING 26ps (10'x 19')
 PLUS 1 HANDICAP 1ps(HC) (12'x 19')



UNZONED

OWNER:
 ALPHONSE INDELICATO
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NOTE: ALL CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, MISSOURI.

FEMA MAP #29183C0241E
 DATED 8/2/96 SHOW PROPERTY AS ZONE X (ABOVE THE 500 YEAR FLOOD ELEVATION).

PREPARED FOR:
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