

INTERSECTION PLAN'S FOR: BELLEAU CROSSING

Several Tracts being part of US Survey 1766 and Section 33,
Township 47 North, Range 3 East
St. Charles County Missouri

SHEET INDEX

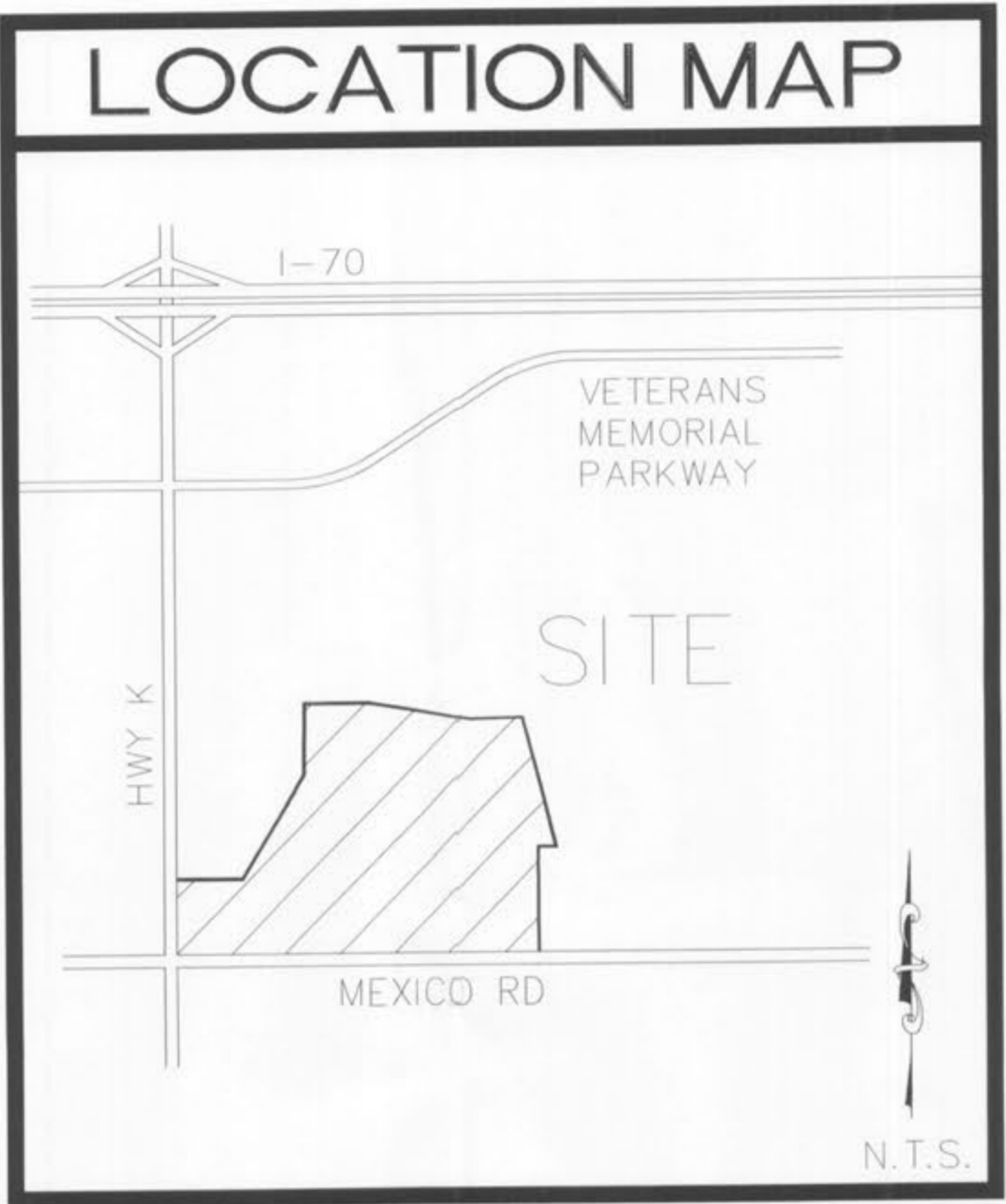
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DEVELOPMENT NOTES:

- Area of Tract: 13.08 Acres more or less
- Present Zoning: R-4 Apartment House District
- Proposed Zoning: R-4 Apartment House District
- Minimum R-4 Zoning Standards
Minimum Site Area: One (1) acre
Minimum Lot Size: 1,800 Sq Ft per dwelling unit for Multi-family developments
Maximum Lot Coverage: Forty (40%) percent
Minimum Lot Width: Seventy (70) Feet
Maximum Building Height: Fifty (50) Feet
Minimum Front Yard: Thirty-five (35) feet
Side Yard: fifteen (15) feet
Rear Yard: Thirty (30) feet
- Distance between grouped buildings:
Front to Front: 60 feet
Front to Back: 60 feet
Front to Side: 45 feet
Side to Side: 30 feet
Back to Side: 35 feet
Back to Back: 60 feet
Corner to Corner: 20 feet
- Total Units Proposed:
20 - 12 Unit Buildings
240 Total Units
Allowable Density:
13.08 Acres x 24 units/Acre = 314 Units
Proposed Density:
240 units / 13.08 Acres = 18.3 Units/Acre
- Off street parking: One and one-half (1.5) spaces required per one bedroom dwelling unit, plus one (1) additional space for each additional bedroom. One (1) parking space per dwelling unit is required to be covered. One (1) space required per 10 units for pool amenity.
Parking Required: 240 Two Bedroom Units = 240 * 2.5 = 600 Total Parking Spaces
240 Units / 10 = 24 parking spaces for pool
240 Required to be Covered
240 Covered Parking Spaces
385 Un-Covered Parking Spaces
Handicap Spaces Provided: 20 Handicap Spaces
4 Van Accessible Handicap spaces
- Storm Water Detention shall comply with City of O'Fallon Standards. Detention pond shall be a dry basin. Detention basin shall be sized to handle a 200 year storm. 2 year microdetention and stormwater filtration shall be provided for this site and detailed on the improvement plans. Detention basin shall be sited up to the 200 year high water mark.
- Proposed development to be served by:
Water City of O'Fallon 636-240-5555
Sewer City of O'Fallon 636-240-5555
Telephone Century Tel 636-332-3011
Gas LaCade Gas 636-658-5417
Electric Ameren UE 636-925-3216
O'Fallon Fire Protection District
Port Zumwalt School District
- All streets to be constructed to City of O'Fallon Standards.
- All Proposed utilities to be located underground.
- This site will address the Soil and Water Conservation Service Comments with the improvement Plan set.
- According to the FEMA Flood Insurance Rate Map 29183C0237 E Dated August 2, 1996, part of this development is located within the 100 year flood plain. Flood plain issues will be dealt with as part of the improvement plan set.
- Sidewalks shall be installed as per City Ordinances as shown on this plan.
- Per Ordinance, public sanitary sewers and water service will be extended to this project.
- Developer:
Bramblett Development LLC
913 Lafayette Landing Place
St. Charles, MO 63303
(314) 452-5000
- Property Owners:
1 Carl Hoerman 4 Jack & Sandra Reynolds
725 Riverview Lane 1208 Bramblett Rd
St. Charles, MO 63301 O'Fallon, MO 63366
2 Torkington Trl, James A Preston 5 Gerald & Joyce Bathon
4 Roseanna Acres 1100 Bramblett Road
Wentzville, MO 63385 O'Fallon, MO 63366
3 David L. Stewart 6 Harrison and Dixie Yeakley
2092 S Lohman Rd 1070 Bramblett Rd
Wright, MO 63390 O'Fallon, MO 63366
- This plan complies with the City of O'Fallon Comprehensive Plan.
- Tree Protection and Preservation shall be met on this plan.
- Stormwater Storage Area and creek realignment shall be submitted for review and approval to FEMA, MDNR, and the Army Corp of Engineers.
- All creek Crossings shall be permitted through the Army Corp of Engineers.
- Access to any structure on proposed Lot 1 would be via the new Loop Road. No access to the site will be provided off of the existing Bramblett Road.
- Photometric Lighting plans in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all exterior lighting with improvement plans.
- Downcast lighting fixtures shall be used to reduce the light pollution in the rear of the commercial facilities.
- Landscaping shall be provided to meet or exceed the city of O'Fallon Tree Preservation Ordinances.
- A twenty (20) foot wide no disturbance area shall be provided from the east to the west contiguous to the boundary line between Bramblett Hollow and Bramblett Crossing. The developer shall take reasonable efforts to preserve the mature trees in this corridor.
- Gates shall be provided at both entrances to site per City Code. Knock boxes shall be located at gates.
- Mail boxes will be located on the wall in the common hall in each building.
- All Common Ground shall be maintained by Subdivision Association.
- Crosswalks, pedestrian crossing signals and Concrete Handicap ramps shall be provided where applicable. The final design plans for the signalized intersection shall show all required pedestrian safety devices.
- A Flood plain development permit shall be obtained from the City of O'Fallon before any work is done within the special flood hazard zone. The lowest floor of any proposed structure will be at least one (1) foot above the Flood Plain Elevation. An equal volume of ground will be excavated within the Special Flood Hazard Zone to maintain the overall volume of flood storage.
- A Detailed study will be submitted to FEMA for review and approval to more accurately show the existing flood plain and floodway limits. No Buildings shall be located within the revised floodway. Fill within the flood way shall be demonstrated that it is not causing an increase in the flood plain elevation.
- Bicycle parking requirements:
One (1) Bicycle parking space per every 15 car parking spaces.
Condo Building - 30 parking spaces required per building.
30/15 = 2 bicycle parking spaces required.
Pool - 8 bicycle parking spaces provided.
- All HVAC and mechanical units on site shall be properly screened as required by City Code. Rooftop units shall be screened by a parapet wall that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof; ground mounted HVAC and mechanical units shall be screened by fencing, vegetation or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit on the ground.
- Prior to Construction Site plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting.
- The five (5) foot wide sidewalk along Mexico Road will be built when the Commercial Outlots develop in the future.
- This site will be in compliance with Phase II Illicit Storm Water Discharge guidelines per Ordinance 5082.
- All Sanitary laterals shall be 6" PVC at 2% slope minimum.
- All roadways and driveways, except Bramblett Road are to be Private.
- All improvements to Bramblett Road shall meet current City Standards.
- All utilities existing and proposed shall be covered by easements. The eight (8') foot trail easement shown shall be granted to the City for public use as a multi-purpose trail. Existing easements will be vacated where necessary.
- All siltation control devices (silt fences and sedimentation basins) shall follow "St. Charles County Soil and Water Conservation District Erosion and Sediment Control" guidelines.
- A flood plain development permit, a "no-rise" certification and a LOMR will be required for this development.
- Sanitary Calculations
Existing: 5 single family homes
5 Homes * 3.7 People/Home * 100 GPD/Person = 1,850 GPD
Proposed: 240 2 Bedroom Condos
240 Condos * 300 GPD/Unit = 72,000 GPD
- Per the ACoE 404 Permit toe slopes on outside bends in the creek channel will be monitored for erosion and stabilized with rip-rap or plantings.
- Construction of the retaining walls and associated Fabric Tie backs will need to co-ordinated with the construction of all utilities (storm sewer, sanitary sewer, water line, etc.).
- Traffic Control is to be per MODOT or MUTCD whichever is more stringent.
- The Common Ground shall be maintained by the homeowners association, unless it is taken over by another entity and developed as a park, including the eight (8') foot wide trail.
- The Covenants, Codes and Restrictions shall establish that the homeowners association will be responsible for maintaining the common ground, unless it is taken over by a private entity and turned into a public park. Then the entity will take ownership of the ground and will be responsible for the maintenance of the trail.

DEVELOPMENT NOTES (cont):

- Trail along the north and south side of the creek through common ground "A" shall be graded as part of this plan set. Eight (8') foot wide trail easements shall be established on the record plat along the graded trail. The trail along both sides of the creek will be constructed by the City of O'Fallon or another Park Entity. Bramblett Development is only responsible for the clearing and grading associated with the trail.
- Box culvert design not part of this plan set. To be reviewed and approved for construction under a separate permit.
- Signalized interchange at Bramblett Road and Mexico, across from Lowes entrance is not part of this plan set. To be reviewed and approved for construction under a separate permit.
- Retaining walls shown for clarity. Structural design of walls not part of this plan set.
- Existing fiber optic lines to be moved as per Century Tel, before the box culvert and headwalls are constructed.
- Existing Sanitary lines to be abandoned are to be capped in place and grouted full. Existing sanitary manholes to be abandoned shall be completely removed. Sanitary sewer service shall not be interrupted during construction.
- Design and construction of Bramblett Road north from Station 8+65 shall be done by others.
- All streets, public or private, shall be constructed to current City of O'Fallon Standards and Specifications.
- All storm and sanitary sewers will be public and dedicated to the City of O'Fallon. A record plat will be provided to the city that will establish easements over all existing and proposed utilities.
- Pool will be drained into the sanitary sewers for maintenance. Chlorinated water will not be discharged into the storm sewers or creek.
- Per variance (BA-V-08-23) approval dated August 14, 2008 gates will not be required of the entrances to the residential development.
- Pool swimming pool must be under construction prior to thirty (30%) of the building permits for the total condominium site are issued and must be completed prior to fifty (50%) of the building permits being issued of the Condominium Lot.
- The Landscaping buffer along the Northern Property line must be planted prior to any buildings being built in Phase Two of the development.
- The Detention Basin and off site storm water storage must be completed as part of Phase One of the development.



LEGEND

(S)	SANITARY STRUCTURE	(CO)	CLEAN OUT
(SH)	STORM STRUCTURE	T.B.R.	TO BE REMOVED
(TH)	TEST HOLE	T.B.R.&R.	TO BE REMOVED & RELOCATED
(P)	POWER POLE	T.B.P.	TO BE PROTECTED
(L)	LIGHT STANDARD	T.B.A.	TO BE ABANDONED
(CI)	CURB INLET	B.C.	BASE OF CURB
(DC)	DOUBLE CURB INLET	T.C.	TOP OF CURB
(GI)	GRATE INLET (EXISTING)	T.W.	TOP OF WALL
(AI)	AREA INLET (EXISTING)	TYP	TYPICAL
(DAI)	DOUBLE AREA INLET	U.N.O.	UNLESS NOTED OTHERWISE
(FE)	FLARED END SECTION	U.I.P.	USE IN PLACE
(EP)	END OF PIPE	(---)	EXISTING CONTOUR
(ED)	ENERGY DISSIPATOR	(---)	PROPOSED CONTOUR
(MH)	MANHOLE	(---)	TREE LINE
(RCP)	REINFORCED CONCRETE PIPE	(---)	SAN. SEWER (EXISTING)
(CMP)	CORRUGATED METAL PIPE	(---)	SAN. SEWER (PROPOSED)
(CIP)	CAST IRON PIPE	(---)	STORM DRAIN (EXISTING)
(PVC)	POLYVINYL CHLORIDE PIPE	(---)	STORM DRAIN (PROPOSED)
(VCP)	VITRIFIED CLAY PIPE	(---)	PHONE BOX
(GW)	GUY WIRE	(---)	IRON PIPE
(S)	SIGN	(---)	WATER LINE
(P)	POST	(---)	HYDRANT
(WM)	WATER METER	(---)	CONCRETE PAVEMENT
(WV)	WATER VALVE	(---)	PLACED RIP-RAP W/UNDERLAIN FABRIC
(WSO)	WATER SHUT OFF	(---)	GENERAL SURFACE DRAINAGE
(GV)	GAS VALVE	N.T.S.	NOT TO SCALE
(OHE)	OVERHEAD ELECTRIC LINE	ROW	RIGHT-OF-WAY
(CL)	CLEARING LIMITS	T.B.C.	TOP BACK CURB
(E.O.A)	EDGE OF ASPHALT	D.I.P.	DUCTILE IRON PIPE
(E.O.C)	EDGE OF CONCRETE	D.N.D.	DO NOT DISTURB
(A.T.G)	ADJUST TO GRADE	T.P.	TOP OF PAVEMENT
(F.G)	FINISHED GRADE	(TE)	RASH ENCLOSURE
(C.P.S)	COVERED PARKING SPACE	(E.R.S)	EMERGENCY RELIEF SWALE
(B.R)	BICYCLE RACK		
(H)	HANDICAP PARKING SPACE		

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DEVELOPER

BRAMBLETT DEVELOPMENT LLC
913 LAFAYETTE LANDING PLACE
St. CHARLES, MO 63303
314-452-5000



The responsibility for the professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthenticated.

O'FALLON P+Z NO. 380505
APPROVED AUGUST 16, 2007
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ORDER NO.	04-1419-01
DATE	I-1

INTERSECTION PLAN'S FOR:
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 801 S. FIFTH STREET, SUITE 202
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 TEL: (636) 947-0607 FAX: (636) 947-2448

RECEIVED
 JUL 17 2009
 BUILDING DEPARTMENT

08-03-09
 08-25-09
 REVISED
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RECEIVED JUL 17 2009