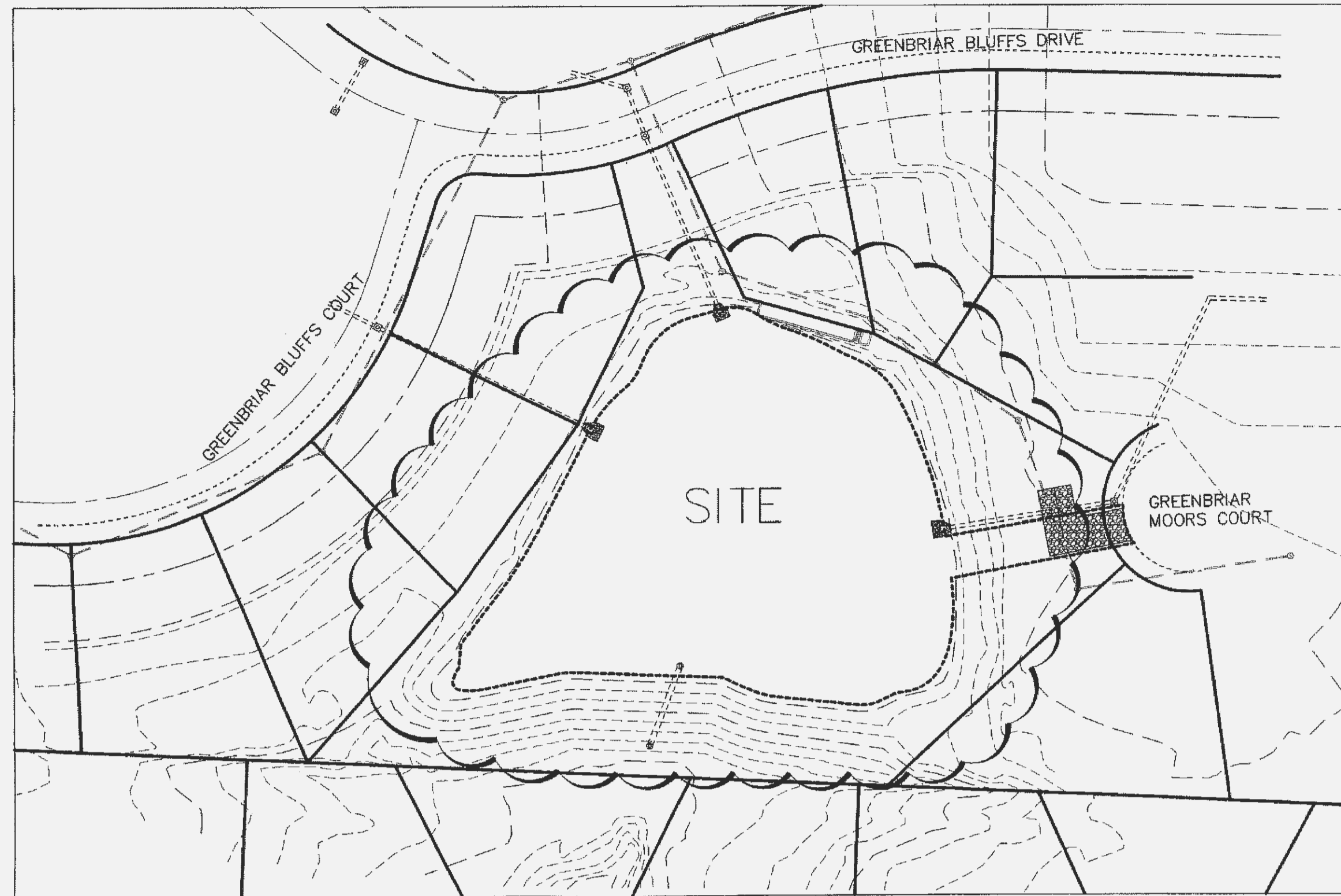
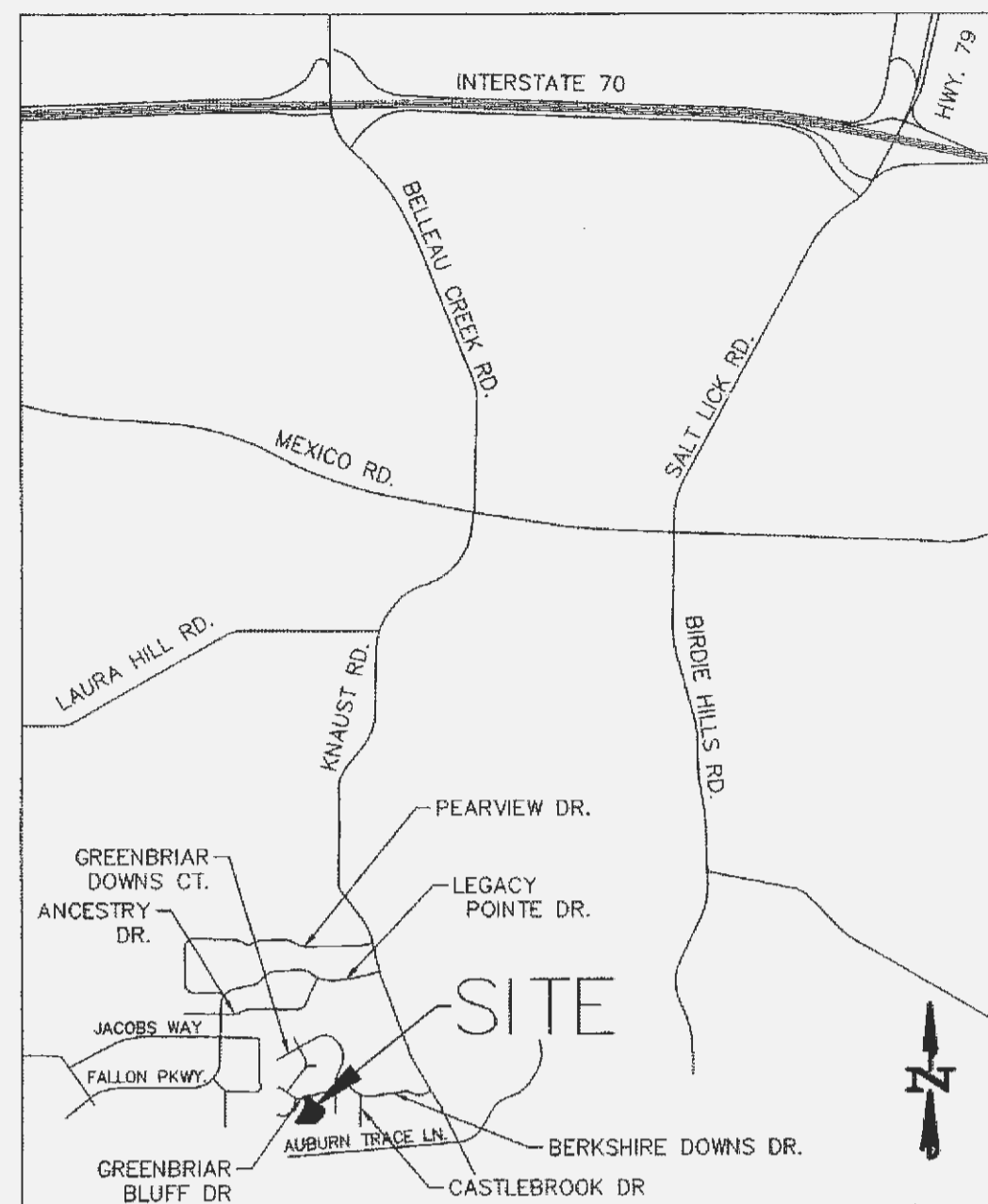


A SET OF DREDGING PLANS FOR BERKSHIRE DOWNS RETENTION BASIN 'A'

A TRACT OF LAND BEING PART OF THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 46 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

Legend

EX. CURB/AREA INLET	FLARED END SECTION	WATER FAUCET
EX. DOUBLE CURB/AREA INLET	CURB/AREA INLET	WATER SPRINKLER
EX. STORM SEWER MANHOLE	DOUBLE CURB/AREA INLET	CABLE TV BOX
EX. SANITARY SEWER MANHOLE	GRATE INLET	ELECTRIC BOX
EX. ELECTRIC MANHOLE	DOUBLE GRATE INLET	ELECTRIC TRANSFORMER
EX. GAS MANHOLE	GRATE MANHOLE	TRAFFIC CONTROL BOX
EX. TELEPHONE MANHOLE	STORM SEWER MANHOLE	TELEPHONE CABLE PEDESTAL
EX. WATER MANHOLE	SANITARY SEWER MANHOLE	ELECTRIC METER
EX. PIPELINE MARKER	ELECTRIC MANHOLE	GAS METER
EX. FIBER OPTIC MARKER	GAS MANHOLE	WATER METER
EX. GAS DRIP	TELEPHONE MANHOLE	PAY TELEPHONE
EX. GAS VALVE	WATER MANHOLE	MAILBOX
EX. WATER VALVE	PIPELINE MARKER	SATELLITE DISH
EX. FIRE HYDRANT	FIBER OPTIC MARKER	TRAFFIC SYMBOL
EX. YARD DRAIN	GAS DRIP	BUSH
EX. CLEANOUT	GAS VALVE	TREE STUMP
EX. DOWNSPROUT	WATER VALVE	GRATE INLET
EX. BOLLARD	FIRE HYDRANT	DOUBLE CURB INLET
EX. FOUND PIPE	YARD DRAIN	DOUBLE AREA INLET
EX. SET PIPE	CLEANOUT	DOUBLE GRATE INLET
EX. ROW MARKER	DOWNSPROUT	MANHOLE
EX. BENCHMARK	BOLLARD	GRATE MANHOLE
EX. TEST HOLE	WATER WELL	FLARED END SECTION
EX. BORE HOLE	MONITORING WELL	END PIPE
EX. MONUMENT	UTILITY BOX	CONCRETE PIPE
EX. CONTROL	GAS TANK	REINFORCED CONCRETE PIPE
EX. AXLE	SIGN	CORRUGATED METAL PIPE
EX. CROSS	HANDICAP PARKING	CORRUGATED PLASTIC PIPE
EX. RR SPIKE	POWER POLE	POLY VINYL CHLORIDE (PLASTIC)
EX. COTTON PICKER SPINDLE	GUY WIRE	CLEANOUT
SWALE ARROW	LIGHT STANDARD	DOWNSPROUT
	YARD LIGHT	TO BE REMOVED
	SEPTIC TANK	TERMINAL TO BE REMOVED & REPLACED
		TERMINAL TO BE REMOVED & RELOCATED
		USE IN PLACE
		TEMPORARY CONSTRUCTION EASEMENT
		PERMANENT DRAINAGE EASEMENT
		PERMANENT UTILITY EASEMENT
		CROSS-ACCESS EASEMENT
		PERMANENT WALL EASEMENT

Drawing Index

- COVER SHEET
- GRADING PLAN
- BASIN CROSS-SECTIONS
- DETAILS

Site Benchmark

TOP OF OVERFLOW STRUCTURE
O.S. 2. ELEVATION = 559.21

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:

PERMANENT:
Tall Fescue - 150 lbs./ac.
Smooth Brome - 100 lbs./ac.
Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.

TEMPORARY:
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

SEEDING PERIODS:
Fescue or Brome - March 1 to June 1
August 1 to October 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

MULCH RATES:
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

FERTILIZER RATES:
Nitrogen - 30 lbs./ac.
Phosphate - 30 lbs./ac.
Potassium - 30 lbs./ac.
Lime - 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.



CALL BEFORE
YOU DIG!
1-800-DIG-RITE

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31	7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30	6:00 A.M. To 8:00 P.M. Monday Through Friday
	7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 1.18 Acres.
The area of land disturbance is 1.18 Acres
Building setback information. Front N/A
Side N/A
Rear N/A

* Tree preservation calculations
No trees being removed with this plan.

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.
All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: DATE: Sept 16, 2015
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

- #### GENERAL NOTES
- GN # 5 The Contractor is responsible to call Missouri One Call and The City of O'Fallon for the location of utilities. Contact the City of O'Fallon (636) 379-3814 for the location of City maintained cable for street lights and traffic signals, all other utilities call Missouri One Call 1-800-DIG-RITE. 1-800-344-7483
- GN #11 Materials such as trees, organic debris, rubble, foundations, and other deleterious material shall be removed from the site and disposed of in compliance with all applicable laws and regulations. If the material listed previously are reused, a letter from a soil Engineer must clarify amount, location, depth, etc. and be approved with the construction plans. Landfill tickets for such disposal shall be maintained on file by the developer. Burning on site shall be allowed only by permit from the local fire district. If a burn pit is proposed the location and mitigation shall be shown on the grading plan and documented by the soils engineer.
- GN #12 Twenty-four (24) hours prior to starting any of the work covered by the above plans and after approval thereof, the developer shall make arrangements with the Construction Inspection Office to provide for inspection of the work, sufficient in the opinion of the City Engineer, to assure compliance with the plans and specifications as approved.
- GN #13 The City Engineer or their duly authorized representative shall make all necessary inspections of City infrastructure, escrow items or infrastructure located on the approved plans.

- #### Erosion Control Notes
- EN # 1 The Permittee shall assume complete responsibility for controlling all siltation and erosion of the project area. The Permittee shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with the clearing operations and be maintained throughout the project until acceptance of the work by City of O'Fallon and as needed by MoDOT. The Permittee's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The City of O'Fallon and as required by MoDOT may at their option direct the Permittee in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement shall be removed cleaned immediately. Any depositing of silts or mud in new or existing storm sewers and/or swales shall be removed after each rain and affected areas to the satisfaction of the City of O'Fallon and as required by MoDOT.
- EN # 2 All erosion control systems are to be inspected and corrected weekly, especially within 48 hours of any rain storm resulting in one-half inch of rain or more. Any silt or debris leaving the site and affecting public right of way or storm water drainage facilities shall be cleaned up within 24 hours after the end of the storm.
- EN # 3 Erosion control devices (silt fence, sediment basin, etc.) shall be in accordance with St. Charles County Soil and Water Conservation District Erosion and Sediment Control guidelines.
- EN #5 Graded areas shall be seeded and mulched (strawed) within 14 days of stopping land disturbance activities. Unless it can be shown to the City Engineer that weather conditions are not favorable, vegetative growth is to be established within 6 weeks of stopping grading work on the project. The vegetative growth established shall be sufficient to prevent erosion and the standard shall be as required by EPA and DNR. (70% coverage per square foot) Ord. 5242, Section 405.070

- #### Grading Notes
- GRN # 5 When grading operations are complete or suspended for more than 14 days, permanent grass must be established at sufficient density to provide erosion control on site. Between permanent grass seeding periods, temporary cover shall be provided according to St. Charles Soil and Water Conservation District - Model Sediment and Erosion Control Regulations. All finished grades (areas not to be disturbed by improvements) in excess of 20% slopes (5:1) shall be mulched and tacked at a rate of 100 pounds per 1000 square feet when seeded.
- GRN # 6 No slopes shall exceed 3 (horizontal): 1 (vertical) unless otherwise approved by the soils report and specifically located on the plans and approved by the City Engineer.

BAX DEVELOPMENT NOTES:

- Current Zoning: R-1 (City of O'Fallon)
- Proposed Use: Common Ground (Retention Pond)
- Current Owner of Property: Berkshire Downs Homeowners Assoc. 7283 Hwy. N. O'Fallon, MO 63368
- Site is within Zone "X", areas determined to be outside of the 500 year Floodplain per F.I.R.M. Map 29183C0243E dated Aug. 2, 1996.
- Any contaminated soil encountered during excavation shall be hauled and placed as directed by the owners environmental engineering representative.
- Underground utilities have been plotted from available information and there-fare locations shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
- The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sewer system.
- All construction and materials shall conform to the current construction standards of the City of O'Fallon.
- The contractor is responsible for following the City of O'Fallon Ordinance for the installation of sediment and erosion control devices.
- Sediment and erosion control shall not be limited to the measures shown on the plans. The contractor, with the approval of the City Inspector, shall utilize best management practices to prevent sediment from entering adjacent properties, roadways, storm sewers, and drainageways.
- All wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the City of O'Fallon.
- All trash and debris on-site, either existing or from construction, must be removed and properly disposed of off-site.
- Temporary siltation control measures (structural) shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
- Where natural vegetation is removed during operations, vegetation shall be reestablished in such a density as to prevent erosion.
- Roadway must be kept clean and free of all mud, dirt and debris at all times.
- It is recommended that the owner consults with a Geotechnical Engineer about the excavation to ensure the integrity of the retention basin during excavation.
- When retention pond water is pumped out prior to excavation, the intake of pump shall be suspended above the pond bottom so it will not pick up and discharge sediment into storm sewer. The discharge end of the pump is to be protected by Flexstorm Inlet Filter to prevent pollutants from entering the storm sewer, see detail on sheet 4.
- Approximately 5,000 C.Y. of material to be excavated per these plans. Quantity is approximate and contractor to verify quantities prior to construction. Contractor to provide city with haul route prior to construction and location where dirt is going. A grading permit will be required if in the City of O'Fallon.
- The streets within the subdivision that are utilized for the haul route will need to be inspected prior to construction and after all material is hauled off to determine the extent of any damage to the streets and any required repairs that may be necessary.
- All disturbed areas above the normal pool shall be seeded and mulched at the minimum rates defined in the "Appendix A" on this Cover Sheet or said areas to be sodded.
- All surrounding property owners shall be notified a minimum of 24 hours prior to the start of grading activities.
- The City of O'Fallon will not be responsible for the removal and/or replacement of any trees that are damaged and/or destroyed during the grading operations and beyond.
- Access to the site anywhere else other than the proposed construction entrance is strictly prohibited.
- The construction access from Greenbriar Moors Court to the construction area shall be stabilized with vegetation or other approved means immediately upon completion of work to prevent future erosion due to construction traffic.

Utility Contacts

Sanitary Sewer
Duckett Creek Sanitary District
3550 Highway K
O'Fallon, MO. 63368
636-441-1244

Water
Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO. 63366
636-561-3737 Ext. 131

Electric
Ameren UE
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO. 63134
314-522-2297

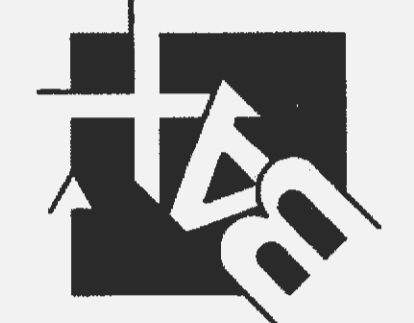
Telephone
Century Tel
1151 Century Tel Dr.
Wentzville, MO. 63385
636-332-7261

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO. 63366
636-272-3493

PROJECT TITLE:
BERKSHIRE DOWNS
DETENTION BASIN #2

ENGINEERING
DRAWING
SURVEYING

221 Point West Blvd.
St. Charles, MO 65001
636-928-5656
FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

STATE OF MISSOURI
LARRY DAVID WALKER
2007020343
7/17/12
LARRY DAVID WALKER
CIVIL ENGINEER
2007020343
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Authority No. 000665
All Rights Reserved.

Developer / Owner:
NEAL MERCILLE (BERKSHIRE DOWNS HOMEOWNERS ASSOC.)
7 GREENBRIAR DOWNS CT.
ST. PETERS, MO 63376
(636) 240-1338

P+Z No. #
City No. #
Page No.
1 of 4

5/21/2012 - SUBMITTAL
6/14/2012 - CITY COMMENTS
7/17/2012 - CITY COMMENTS

COVER SHEET

Bax Project #11-15186A