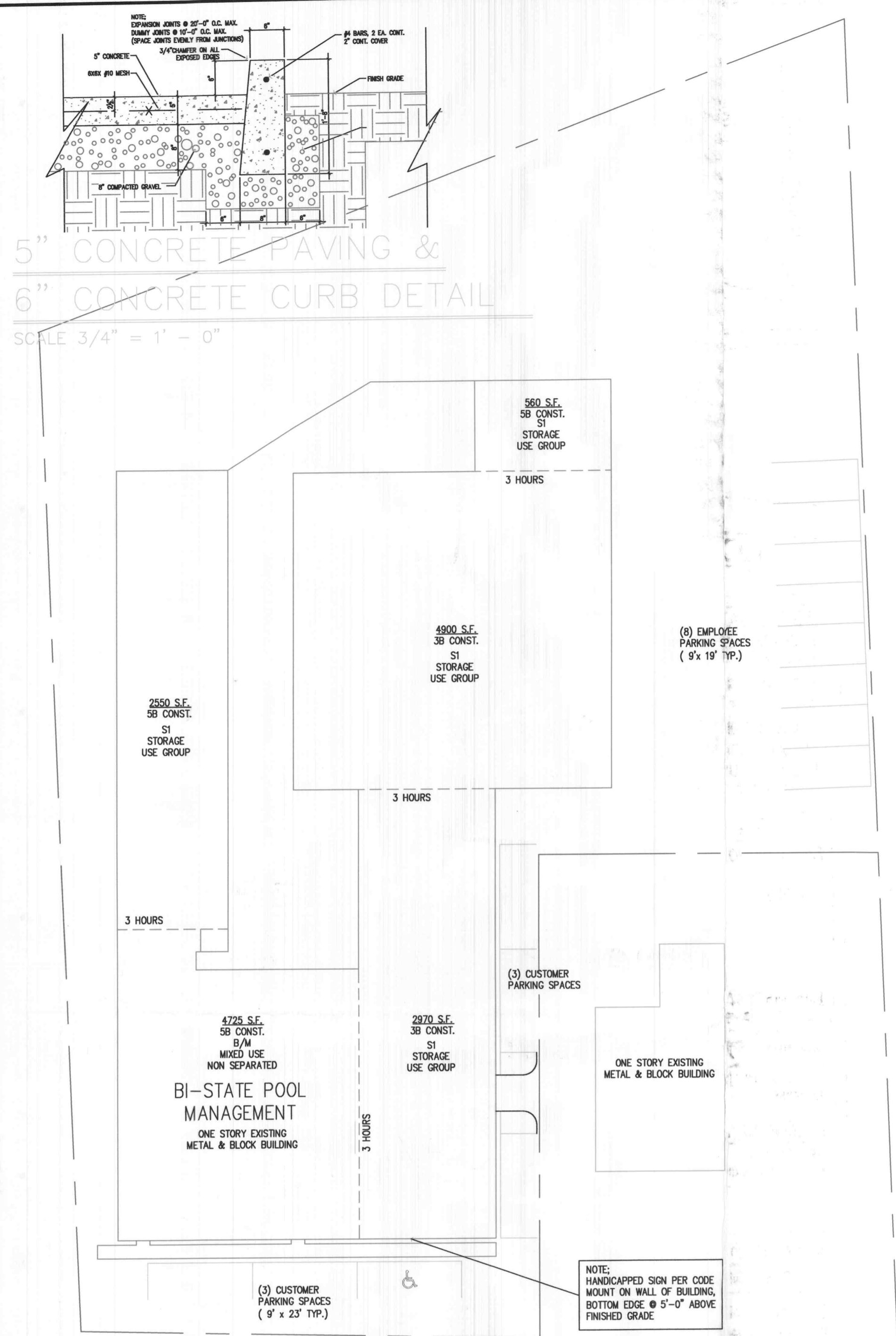


BI-STATE POOL MANAGEMENT

PART OF THE S.W. 1/4 OF THE S.E. 1/4 OF SECTION 20
TOWNSHIP 47 NORTH, RANGE 3 EAST
ST. CHARLES COUNTY, CITY OF FALLON, MO



GENERAL CONSTRUCTION NOTES:

- The General Contractor shall verify that all dimensions and elevations of existing structures are accurate as illustrated on the plans prior to commencing work. It is anticipated that during demolition some discrepancies will become obvious. This contractor shall notify the Architect immediately in writing of all discrepancies and resolve any discrepancies prior to commencing work. The contractor shall obtain and pay for all permits required for the execution of work.
- The contractor shall protect and maintain all existing conduits, pipes, ducts, wires, and cables.
- The General Contractor shall hold harmless and indemnify the Architect and Owner from all liability due to injury, death, or accident occurring to his employees on or about this job site.
- Each Sub-Contractor shall guarantee his work for a minimum period of one year beyond the completion of the construction.
- Each Sub-Contractor shall hold harmless and indemnify the Architect, Owner, and the General Contractor from all liability due to injury, death, or accidents to his employees on or about this job site.
- All changes to plans and specifications shall be verified with the Architect in writing prior to installation.
- Existing receptacles, exhausts, etc., shall be relocated, if required, as directed by owner.
- All materials removed as part of the demolition work shall become the property of this contractor, except as requested by the owner, or as indicated as to be reused.
- All walls shall be fire blocked at maximum 8'-0" o.c. Fire block all soffits and dropped ceilings.
- All dimensions are to face of foundation and face of stud, except at existing walls, where dimensions are to face of drywall or exterior finish.
- Gypsum board installation must be in accordance with the Gypsum Association recommended practices - thicknesses, and nailing.
- Use approved water resistant gypsum backer boards in all bathrooms.
- Smoke development rating of interior finish materials shall not exceed 450.
- All curtains, draperies, hangings and other decorative materials suspended from walls or ceiling shall be noncombustible or be maintained flame-resistant.
- The permissible amount of noncombustible decorative hangings shall not be limited.
- The permissible amount of flame-resistant decorative hangings shall not exceed 10 percent of the total wall and ceiling area.
- Two coats of owner selected paint and one coat of primer required for all interior and exterior walls.
- All fixtures (including bathroom), finish hardware, painting and electrical fixtures shall be provided by the contractor, owner to make final selection and approval.
- Sound batts shall be provided in all toilet rooms walls.
- Elevations must match color elevations approved by Development Services.
- Thermal and sound insulating materials where exposed as installed in rooms or spaces shall have a flame spread index of 25 or less and a smoke-developed index of 450 or less when tested in accordance with ASTM E84.
- All outside trash containers, HVAC units, electrical, telephone, gas meters, satellite dishes, and rooftop mechanical apparatus shall be thoroughly screened with materials and/or landscaping to conceal the visibility of such items from view of right-of-way and/or adjacent properties. Rooftop mechanical apparatus shall be screened by use of an architectural feature such as increased parapet wall height. City Code 400.278-C.
- Direct exit access shall be provided to required exits through continuous passageways, aisle access ways, aisles or corridors not less than 44 inches in width, which are conveniently available to all occupants and maintained free of obstructions. 2003 IBC, Section 1020.
- All exit signs and emergency lights are required to have a battery back-up. Exit signs and emergency lighting shall comply with Sections 1006 of the 2003 IBC. Battery back-up shall provide illumination for a duration of not less than one (1) hour in case of emergency or primary power loss. A final inspection may require additional lighting and/or exit signs.
- Plenums shall be constructed with noncombustible material. Combustible material shall not be exposed within a plenum except as permitted in 2003 IBC.
- Smoke detectors shall be installed in return air systems where indicated in Sections 606.2.1 through 606.2.3 of the 2003 International Mechanical Code.
- Showroom receptacle outlets are required at storefront windows.
- Fire extinguishers and fire hydrants will be installed as directed by the Fire District.
- A site final will need to be inspected and approved with Public Works prior to any occupancy being given. Schedule with Jay Herigott @ 636-379-5416.
- Contact Alliance Water & Sewer to schedule an inspection prior to any taps being made at @ 636-281-2858.
- The General Contractor shall coordinate locations of all utilities done by others.
- At the completion of this work, the contractor shall provide a final clean-up of the interior and exterior, including the site. All materials requiring polishing and touch-up or shall be free of spots, streaks or indentations, all construction materials not used and demolished items shall be removed from the site.
- The contractor shall discuss additional telephone line installations, with the owner, using CAT 5 cable. Location and routing to be approved by owner.

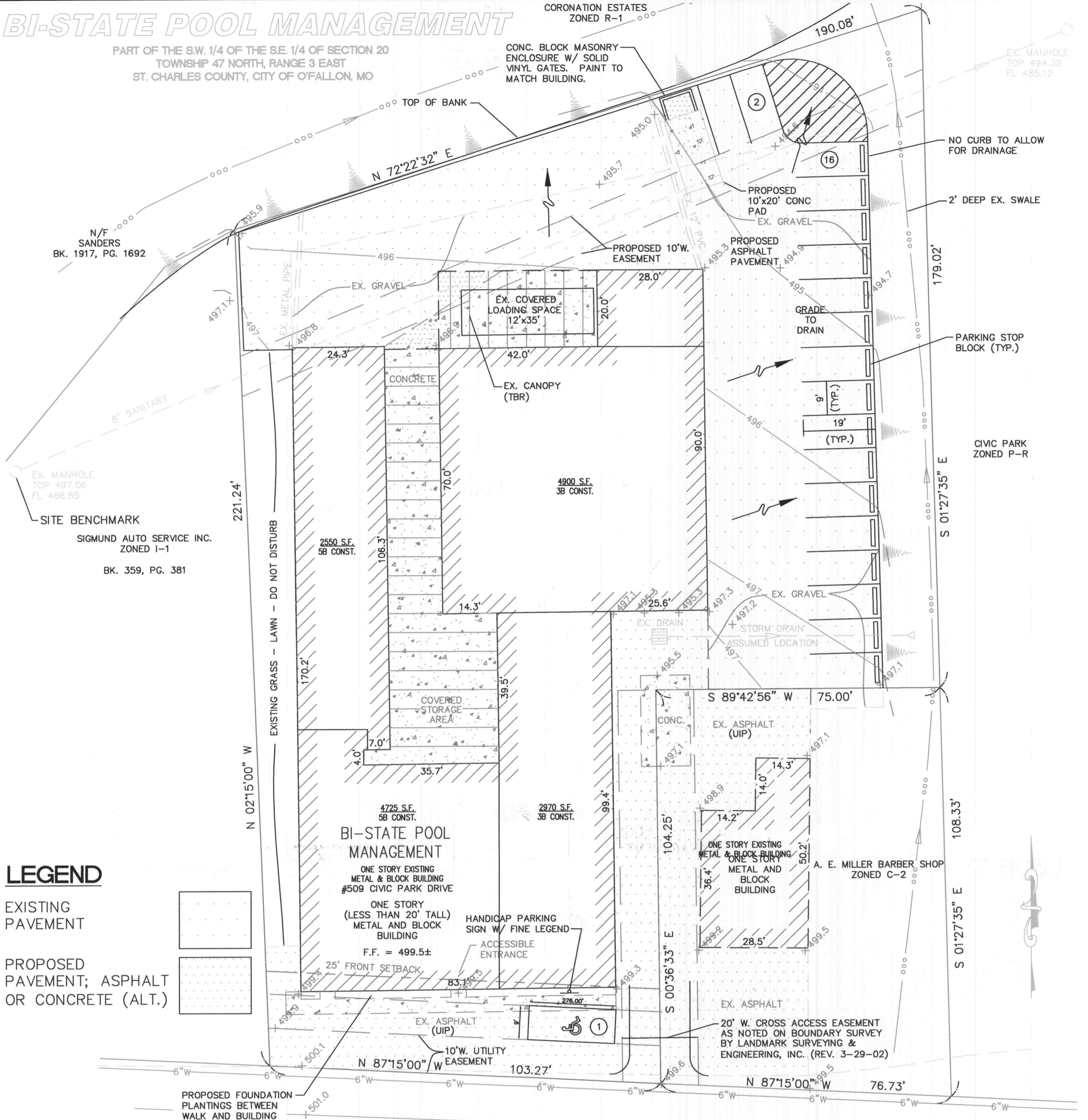
LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT; ASPHALT OR CONCRETE (ALT.)

NOTE: SITE PLAN WILL NEED TO BE APPROVED THROUGH PUBLIC WORKS BEFORE A PERMIT WILL BE ISSUED.



PLOT PLAN FOR REFERENCE ONLY REFER TO SITE PLAN BY VANCE ENGINEERING, INC.



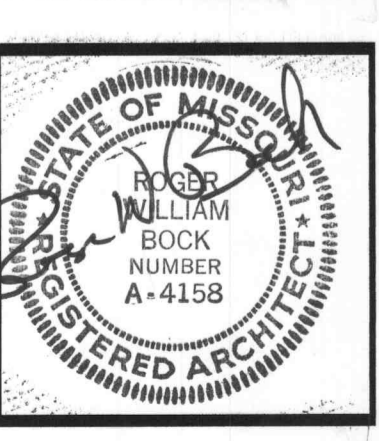
PROJECT DATA	
LOCATOR NO.	: 24P-62-0164
OWNERS	: RICHARD WOEMMEL AND MATE STUNGER
SITE ADDRESS	: 509 CIVIC PARK DRIVE
ACREAGE OF TRACT	: 0.87 Ac.±
PRESENT ZONING	: C2
PRESENT USAGE	: SWIMMING POOL SERVICE AND RETAIL
PROPOSED USAGE	: SWIMMING POOL SERVICE AND RETAIL
YEAR BUILT	: 1955
ZIP CODE	: 63368
FLOOD ZONE	: ZONE "A"-NO BASE FLOOD ELEVATIONS DETERMINED
FIRM MAP NO.:	: 29183C0237E, REVISED AUGUST 2, 1996 AND 29183C0230F, REVISED MARCH 17, 2003
UTILITIES	: O'FALLON WATER COMPANY O'FALLON SEWER DISTRICT LACLEDE GAS CENTURY-TEL TELEPHONE AMEREN-UE-ELECTRIC COMPANY O'FALLON FIRE DEPARTMENT
BUILDING CODE SUMMARY	
Name of Project:	Bi-State Pool Management
Address:	# 509 Civic Park Drive O'Fallon, MO 63366
BUILDING DATA	
Occupancy:	VARIABLE
Mixed Occupancy:	YES
Construction Types:	3B - Unprotected, Maximum SQ. 9,600 SQ. FT. 5B - Unprotected, Maximum 4,800 SQ. FT.
Sprinklered:	NO
Building Height:	One Story - (Approx. 20' +/-)
GROSS BUILDING AREA	
Showroom/Toilets/Mechanical:	1 3200 S.F. 8'-8" 27,733.0'
Existing Warehouse #1:	1 2550 S.F. 9'-10" 25,075.0'
Offices / Workroom:	1 1525 S.F. 8'-8" 13,216.0'
Existing Warehouse #2:	1 2970 S.F. 11'-4" 33,660.0'
Existing Warehouse #3:	1 4900 S.F. 13'-6" 66,150.0'
Bulk Storage/Now Loading Dock:	1 560 S.F. 10'-0" 5,600.0'
TOTAL GROSS AREA:	15,705 S.F.
* Attic not figured in total allowable building area	
SPECIAL USE PROVISION	
NONE (Bulk Chemical Storage shall be removed)	
INTERIORS PARTITION OPENINGS	
3 Hour Rated Occupancy Separation - 1-1/2 Hour Opening Protection.	

APPLICABLE CODES:	
All construction shall conform to locally prevailing codes and /or the 2003 International Building Code, I.B.C.	
All Electrical work shall be in conformance with the 2003 National Electrical Code, N.E.C.	
All Mechanical work shall be in conformance with the 2003 International Mechanical Code, I.M.C.	
All Plumbing work shall be in conformance with the 2003 International Plumbing Code, I.P.C..	
1999 NFPA- Sprinklers	
1998 ICC/ANSI A117.1 - Accessibility	
2003 International Fire Code	

Project Number 2004.05
Date: 03/19/04
Revisions 06/09/06
New Project Number: 2006.09
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Any infringement will be subject to legal action.

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INTERIOR RENOVATION FOR
BI-STATE POOL MANAGEMENT
509 CIVIC PARK DRIVE
O'FALLON, MISSOURI 63366



A1
of A2
Set Number: