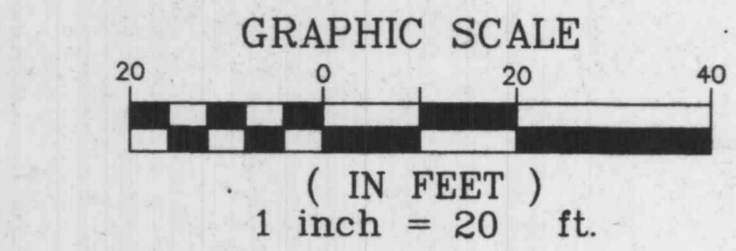
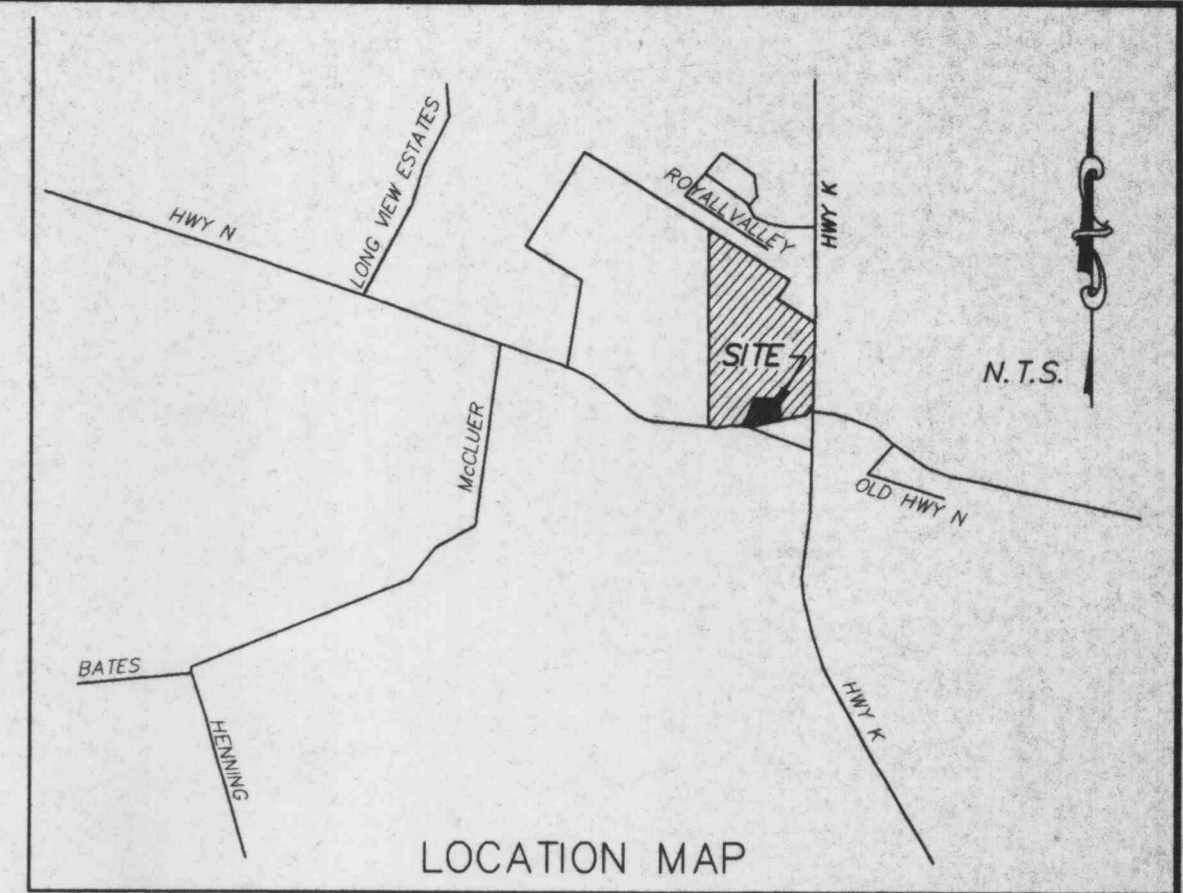


SITE BENCHMARK:
CHISELED "L" ON CONCRETE HEADWALL OF CONCRETE BOX CULVERT
WEST SIDE OF HWY. K, 500' NORTH OF CENTERLINE OF INTERSECTION
OF NEW HWY. N AND HWY. K.
ELEVATION = 498.96

BLOCKBUSTER VIDEO OUTLOT 1 OF DEER CREEK CROSSING

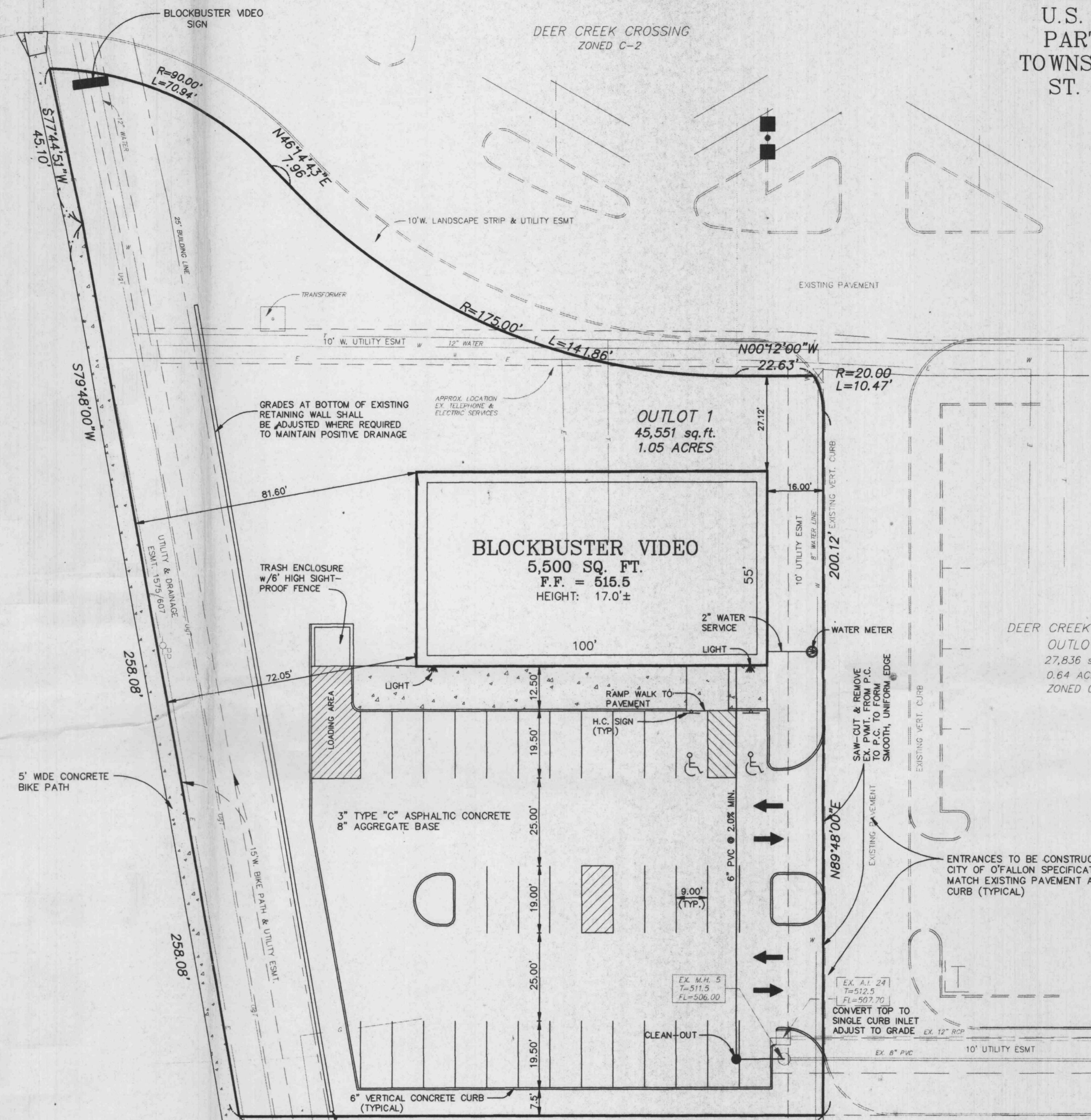
A TRACT OF LAND BEING PART OF
U.S. SURVEYS 67 AND 3225, AND
PART OF FRACTIONAL SECTION 8,
TOWNSHIP 46 NORTH, RANGE 3 EAST
ST. CHARLES COUNTY, MISSOURI



GENERAL NOTES

- Present Zoning: C-2, General Business District
- Acreage of tract: 1.05 Acres
- Proposed Use: Retail
- Project is Served By:
 - Water District No. 2
 - St. Charles Gas Company
 - G.T.E. Telephone Company
 - Duckett Creek Sewer District
 - Union Electric Company
 - O'Fallon Fire Protection District
- All utilities shall be located underground.
- Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
- Sanitary and storm sewers shall be designed per Duckett Creek Sewer District and City of O'Fallon specifications.
- Building height, site lighting and signage shall be in accordance with City of O'Fallon requirements.
- Signage to be reviewed separately per signage regulations. Signage shall be permitted separately.
- For exact building dimensions, see architectural plans.
- Setback and yard requirements:
 - Front - 25 feet
 - Side - None required, except where side line abuts the side line of any residential or office district, a side yard shall be provided the same as required in the district it abuts. A side yard of not less than 25' shall be provided on the street side of a corner lot.
 - Rear - None required, except where rear line abuts lots zoned residential or office, a rear yard of not less than 10' shall be provided.
- Grading and drainage shall be per City of O'Fallon requirements.
- Architectural treatment to be provided on all sides of building.
- All easements shall be provided for on record plat.
- Site lighting shall be located on building, details to be provided with construction plans.
- Proposed lighting shall be directed down and shielded so as not to overflow onto adjacent residential properties.
- No slope shall be greater than 3:1 during construction and at final grade.
- No existing trees are being removed from site.
- Stormwater and detention calculations shall be submitted with construction drawings.
- Trucks servicing proposed building will be small local delivery type vehicles.
- Development shall comply with General Standards set forth in Article 5, Section 415.70 of the Flood Hazard Prevention Ordinance 1437.
- Storm sewers are to remain private and maintenance shall remain the responsibility of the developer.
- Backflow prevention devices for water service shall be located inside the building.
- Stormwater detention provided for in detention basin designed for Deer Creek Crossing Shopping Center.
- Flood plain information taken from Flood Insurance Rate Map #29183C0239E dated August 2, 1996.

Building
APPROVED
2/12/98
Sean Callup



DEER CREEK CROSSING
OUTLOT 2
27,836 sq.ft.
0.64 ACRES
ZONED C-2

DEER CREEK CROSSING
OUTLOT 3
62,330 sq.ft.
1.43 ACRES
ZONED C-2

PARKING CALCULATIONS
RETAIL (OVER 2000 SQ. FT.): 5,500 S.F. 18 SPACES REQ'D./34 SPACES PROVIDED
RETAIL SHOPS: 10 PLUS 1 FOR EACH 400 SQ. FT. FLOOR AREA IN EXCESS OF THE FIRST 2000' SQ. FT. 5,500 SQ. FT. - 2,000 SQ. FT. = 3,000 SQ. FT. - 400 = 7.5 SPACES
10 SPACES + 7.5 SPACES = 18 SPACES REQUIRED
34 SPACES PROVIDED, INCLUDES 2 HANDICAPPED SPACES

LOADING CALCULATIONS
RETAIL (OVER 2,000 SQ. FT.): 5,500 S.F. 1 SPACE REQ'D./1 SPACE PROVIDED
OFFICE: 1 LOADING SPACE FOR 5000 SQ. FT. AND FOR EVERY ADDITIONAL 20,000 SQ. FT. OF FLOOR AREA OR FRACTION THEREOF
1 ADDITIONAL LOADING SPACE SHALL BE PROVIDED.

PROJECT DATA			
BUILDINGS	PAVED AREAS	LANDSCAPED AREAS	TOTAL SQ. FT.
5,500 (12.1%)	14,544 (31.9%)	25,507 (56.0%)	45,551

OWNER/DEVELOPER:
GREYSTONE CONSTRUCTION COMPANY
11850 STUDD AVENUE
CREVE COEUR, MISSOURI 63141
(314) 991-8677
CONTACT: CLARK PARKS

REV. 12-10-97 PER CITY OF O'FALLON
ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.
PICKETT, RAY & SILVER, INC.
RAY PICKETT
Professional Engineer
No. 29183
Missouri

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PICKETT RAY & SILVER
Civil Engineers
Planners
Land Surveyors
333 Mid Rivers Mall Dr.
St. Peters, MO 63376
387-1211 FAX 387-1104

**BLOCKBUSTER VIDEO
OUTLOT 1 OF DEER CREEK CROSSING
SITE PLAN**

DRAWN D.L.P. DATE 1-30-98
CHECKED _____ DATE _____
FIELD BOOK PROJECT # 95-080E
JOB ORDER # _____

Signature _____ Date _____

NOTE
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to verify the utility companies before actual construction.

5508REDS

1993 Hwy K

Blockbuster Video - Deer Creek