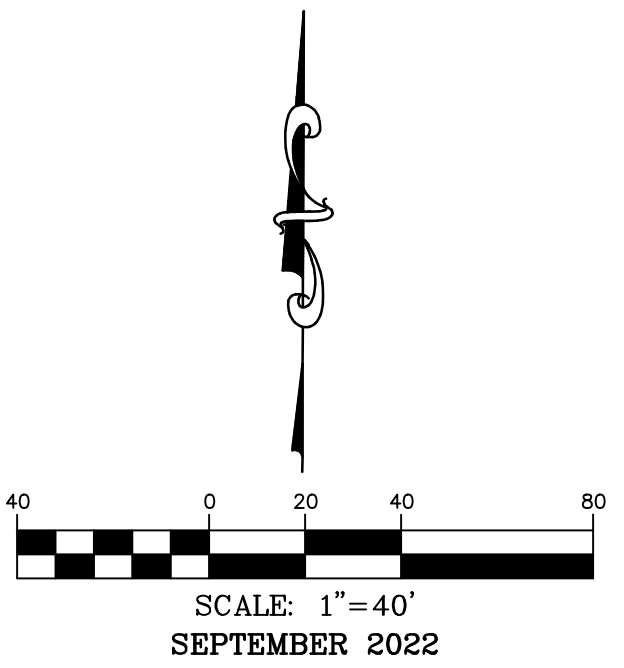
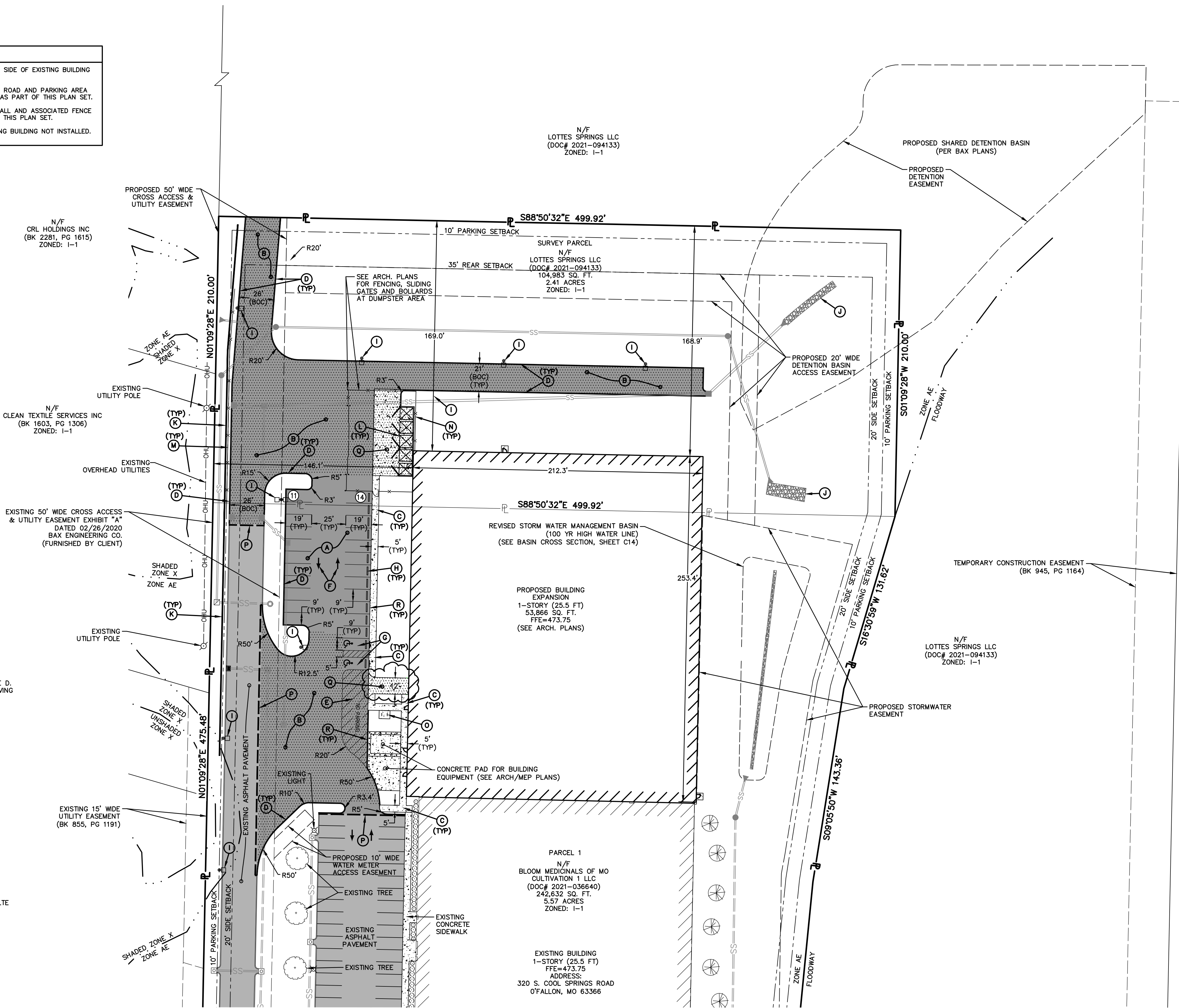


SITE PLAN



PHASE 1 DEVIATIONS:

1. PROPOSED SIDEWALK ON NORTH SIDE OF EXISTING BUILDING NEED NOT BE CONSTRUCTED.
2. NORTHERN PORTION OF ACCESS ROAD AND PARKING AREA TO BE COMPLETED UNDER AND AS PART OF THIS PLAN SET.
3. CONSTRUCTION OF RETAINING WALL AND ASSOCIATED FENCE TO BE PERFORMED AS PART OF THIS PLAN SET.
4. LANDSCAPING NORTH OF EXISTING BUILDING NOT INSTALLED.



SITE LEGEND

- (A) NEW STANDARD DUTY ASPHALT PAVEMENT. SEE DETAIL, SHEET C15.
- (B) NEW HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL, SHEET C15.
- (C) NEW 4" CONCRETE SIDEWALK. SEE DETAIL, SHEET C15.
- (D) NEW 6" VERTICAL CONCRETE CURB. SEE DETAIL, SHEET C15.
- (E) NEW LOADING ZONE AREA W/ YELLOW STRIPING & "NO PARKING" PAVEMENT MARKING.
- (F) NEW TRAFFIC FLOW ARROWS. SEE DETAIL, SHEET C15.
- (G) NEW ACCESSIBLE PARKING STALL WITH SIGNAGE AND STRIPING. SEE DETAILS, SHEET C15.
- (H) NEW WHEEL STOP. SEE DETAIL, SHEET C15.
- (I) NEW LIGHT STANDARD. SEE PHOTOMETRIC PLAN, SHEET C17.
- (J) NEW RIP RAP PAD. SEE DETAIL, SHEET C15.
- (K) NEW RETAINING WALL. SEE DETAIL, SHEET C15.
- (L) NEW DUMPSTER ENCLOSURE. SEE ARCH. PLANS.
- (M) NEW 4" BLACK METAL FENCE. SEE DETAIL, SHEET C15.
- (N) NEW 6" CHAINLINK FENCE. SEE ARCH. PLANS.
- (O) NEW INVERTED "U" BIKE RACK. SEE DETAIL, SHEET C15.
- (P) CONTRACTOR TO SAW CUT EXISTING PAVEMENT FULL DEPTH TO ENSURE A SMOOTH JOINT.
- (Q) NEW HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL, SHEET C15.
- (R) NEW CONCRETE FLUSH CURB. SEE DETAIL, SHEET C16.

NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADIUS CALLOUTS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

MINIMUM PARKING DIMENSIONS:
 REGULAR PARKING - 9'x19'
 ADA PARKING - 9'x19'
 ADA ACCESSIBLE STRIPING (CAR) - 5'x19'
 ADA ACCESSIBLE STRIPING (VAN) - 8'x19'
 OFF-STREET LOADING/UNLOADING SPACE - 12'x35'
 PARKING DRIVE AISLES (TWO-WAY) - 25'W MIN.
 PARKING DRIVE AISLES (ONE-WAY) - 25'W MIN.

BUILDING ADDITION PARKING REQUIREMENTS:

CULTIVATION FACILITY:
 1 SPACE PER 5,000 S.F. OF GROW AND PROCESS AREA, PLUS 1 SPACE PER 400 S.F. OF OFFICE.

NEW GROW/PROCESS AREA: 53,711 S.F. / 5,000 = 11 SPACES
 NEW OFFICE: 155 S.F. / 400 = 1 SPACE

NEW SPACES REQUIRED: = 12 SPACES
 NEW SPACES PROVIDED: = 25 SPACES
 NEW ADA SPACES REQUIRED: = 2 SPACES
 NEW ADA SPACES PROVIDED: = 2 SPACES
 NEW LOADING/UNLOADING SPACES PROVIDED: = 1 SPACE

EXISTING SPACES: = 55 SPACES
 EXISTING ADA SPACES: = 3 SPACES
 EXISTING LOADING/UNLOADING SPACES: = 2 SPACES

TOTAL SPACES PROVIDED: = 80 SPACES
 TOTAL ADA SPACES PROVIDED: = 5 SPACES
 TOTAL LOADING/UNLOADING SPACES PROVIDED: = 3 SPACES

PROPOSED FOR DEVELOPMENT	AREA (EXISTING)	AREA (NEW)	AREA (TOTAL)	PERCENTAGE
BUILDING	40,559 S.F.	53,866 S.F.	94,425 S.F.	27.2%
PAVED SURFACES	41,991 S.F.	38,700 S.F.	80,691 S.F.	23.2%
GREEN SPACE	265,066 S.F.	92,566 S.F.	172,500 S.F.	49.6%

TOTAL BOUNDARY AREA = 347,616 SQ. FT.

ZONING	REQUIRED	PROVIDED
MIN LOT AREA	5 AC.	7.98 AC.
MIN LOT WIDTH	75 FEET	436 FEET
BLDG LOT COVERAGE	50% MAX	32.06%
FRONT SETBACK	30 FEET	30 FEET
SIDE SETBACK	20 FEET OR 30 FEET	20 FEET
REAR SETBACK	35 FEET	35 FEET
BLDG HEIGHT	50 FEET OR 3 STORIES	25.5 FEET (1 STORY)

NOTE: RIP-RAP SHOWN AT FLARED ENDS WILL BE EVALUATED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND CITY INSPECTOR AFTER INSTALLATION FOR EFFECTIVENESS AND FIELD MODIFIED, IF NECESSARY, TO REDUCE EROSION ON AND OFF-SITE.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (i.e. Trenching, Blasting, etc.)

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City of O'Fallon Standard Notes and Details - July 2019

C3 INDUSTRIES

636-332-4574 (tel.)
636-327-0760 (fax)
www.motcall.com

North Office
8 East Main Street
Wentzville, Missouri 63385

Cochran Engineering & Surveying
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning

Missouri State Certificate of Authority Number: 2010000046
Cochran Project No. M20-8003C

Developer Information
BLOOM MEDICALS OF MO CULTIVATION 1 LLC
 2082 SOUTH STATE STREET: ANN ARBOR, MI 48104
 (734)-323-1822

Owner Information
BLOOM MEDICALS OF MO CULTIVATION 1 LLC
 2082 SOUTH STATE STREET: ANN ARBOR, MI 48104

P+Z No. 22-002935
City No.

Page No.
C4