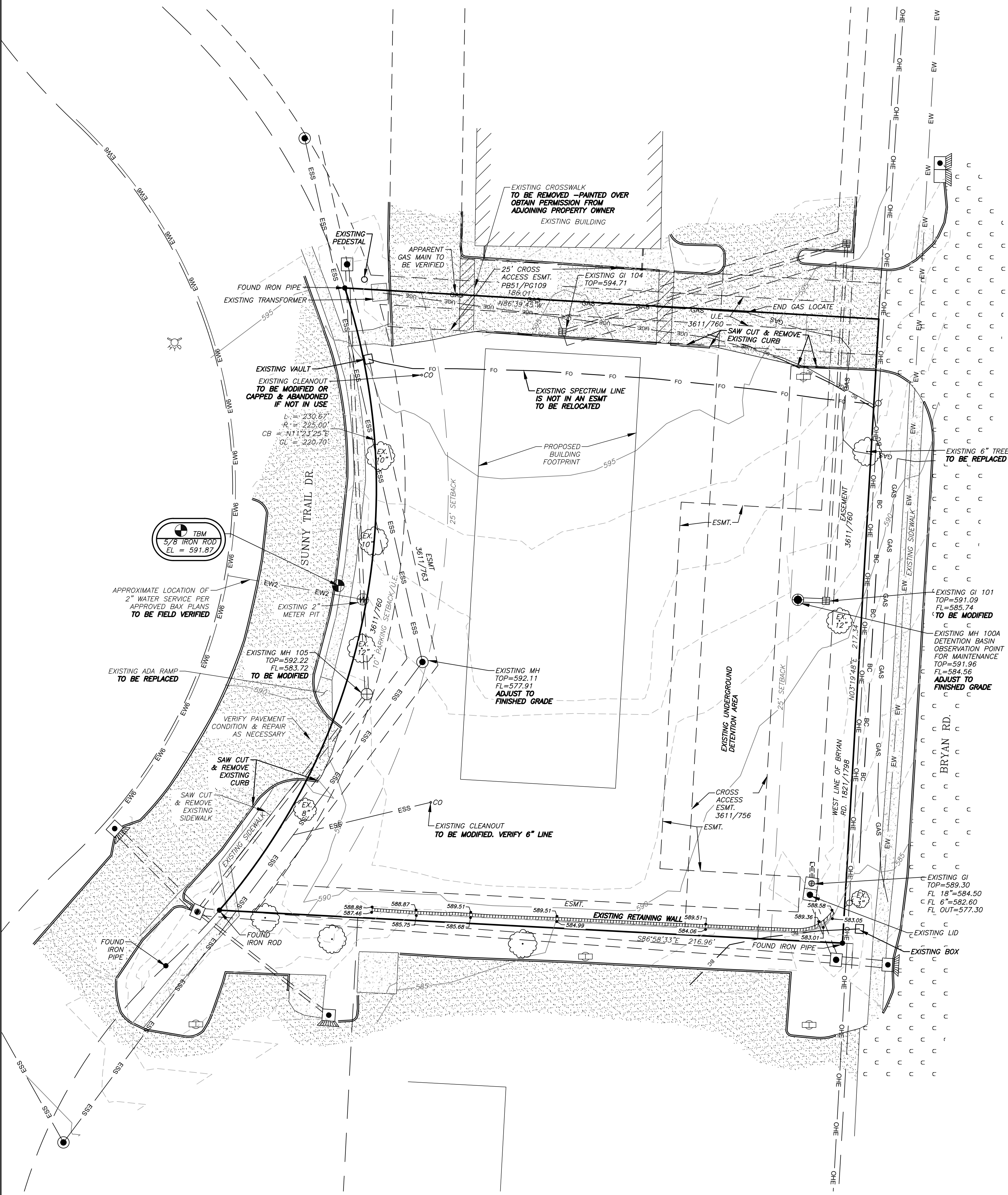
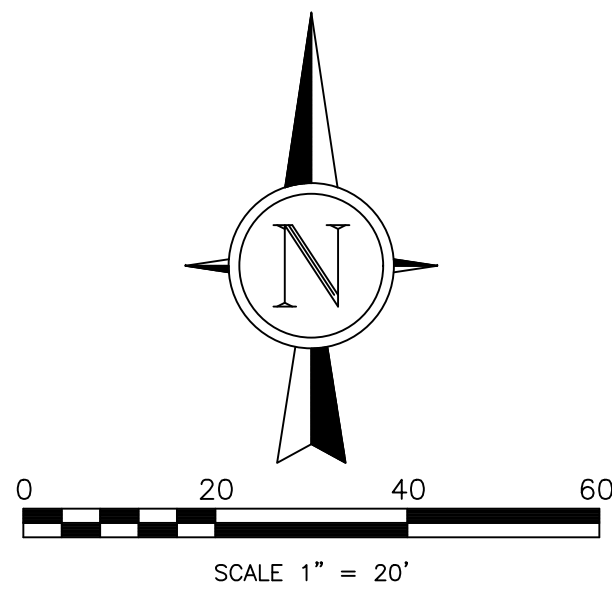


# BLUE SKY HEALTH & WELLNESS TOPOGRAPHIC / DEMOLITION PLAN



## LEGEND

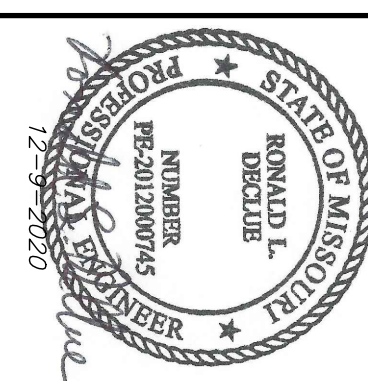
●	= FOUND MONUMENT
(R)	= SET 1/2" IRON ROD UNLESS NOTED
(M)	= RECORDED DISTANCE PER SUBD. PLAT
(D)	= MEASURED DISTANCE
---	= DEEDED DISTANCE
ESS	= EXISTING SANITARY SEWER LINE
OHE	= OVERHEAD ELECTRIC
UGE	= UNDERGROUND ELECTRIC
GAS	= GAS LINE
BC	= EXISTING BURIED CABLE (CENTURY LINK)
FO	= EXISTING FIBER OPTIC (SPECTRUM)
EW	= EXISTING WATER LINE
---	= STORM SEWER
---	= PROPOSED SIGHT PROOF VINYL FENCE
EX	= EX=EXISTING TREE (ALL TREES MAY NOT BE SHOWN)
PR	= PROPOSED 2" OR 6" MEDIUM DECIDUOUS SHADE TREE
---	= PROPOSED DECIDUOUS SHRUB
---	= CLEAN OUT
T.B.M.	= TEMPORARY BENCHMARK
U.P.	= UTILITY POLE (U.P.)
W.V.	= WATER VALVE
L.P.	= LIGHT POLE
G.V.	= GAS VALVE
W.M.	= WATER METER
F.H.	= FIRE HYDRANT
G	= GRATED INLET (G)
C	= SINGLE CURB INLET (C)
DCI	= DOUBLE CURB INLET (DCI)
A	= AREA INLET (A)
J.B.	= STORMWATER JUNCTION BOX (J.B.)
SD	= STORMWATER DRAINAGE DIRECTION
HP	= HANDICAPPED PARKING SPACE
594.0	= FINISHED GRADE SPOT ELEVATION
FL	= TOP BACK OF CURB
FL	= FLOW LINE
2"	= TRAFFIC FLOW DIRECTION
2"	= WATER LATERAL (2" SDR 9 PVC)
2"	= SANITARY LATERAL (SCH 40)
MH	= EXISTING SANITARY MANHOLE (MH)
SL	= STREET LIGHT
ASPH	= EXISTING ASPHALT PAVEMENT
STD	= PROPOSED STANDARD DUTY PAVEMENT
ENT	= PROPOSED ENTRANCE PAVEMENT
CON	= EXISTING CONCRETE PAVEMENT
DPC	= PROPOSED DUMPSTER PAD CONCRETE
SIW	= PROPOSED SIDEWALK
CON	= PROPOSED CONCRETE
PL	= PROPOSED PARKING LOT LANDSCAPING

**NOTES**  
SEE COVER SHEET FOR ALL GENERAL NOTES AND CONSTRUCTION NOTES.

C1.1  
SHEET

City No. P+Z No. 20-007711  
**Developer / Owner Information**  
 STLMO Property, LLC c/o Jay Patel  
 9911 Grandview Forest Ct.  
 Sunset Hills, MO 63127  
 618-210-1577  
**Topographic / Demolition Plan**

THIS SEAL IS FOR DESIGN AND CONSTRUCTION INSPECTION OF IMPROVEMENTS  
 P.E. Ronald L. DeWitt, Inc. & Engineering Inc.  
 P.L.E. 2012000745  
 12-29-2020



**WUNDERLICH SURVEYING & ENGINEERING INC.**  
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 CIVIL ENGINEERING: 001086  
 LAND SURVEYING: 000253



**Blue Sky Health and Wellness**