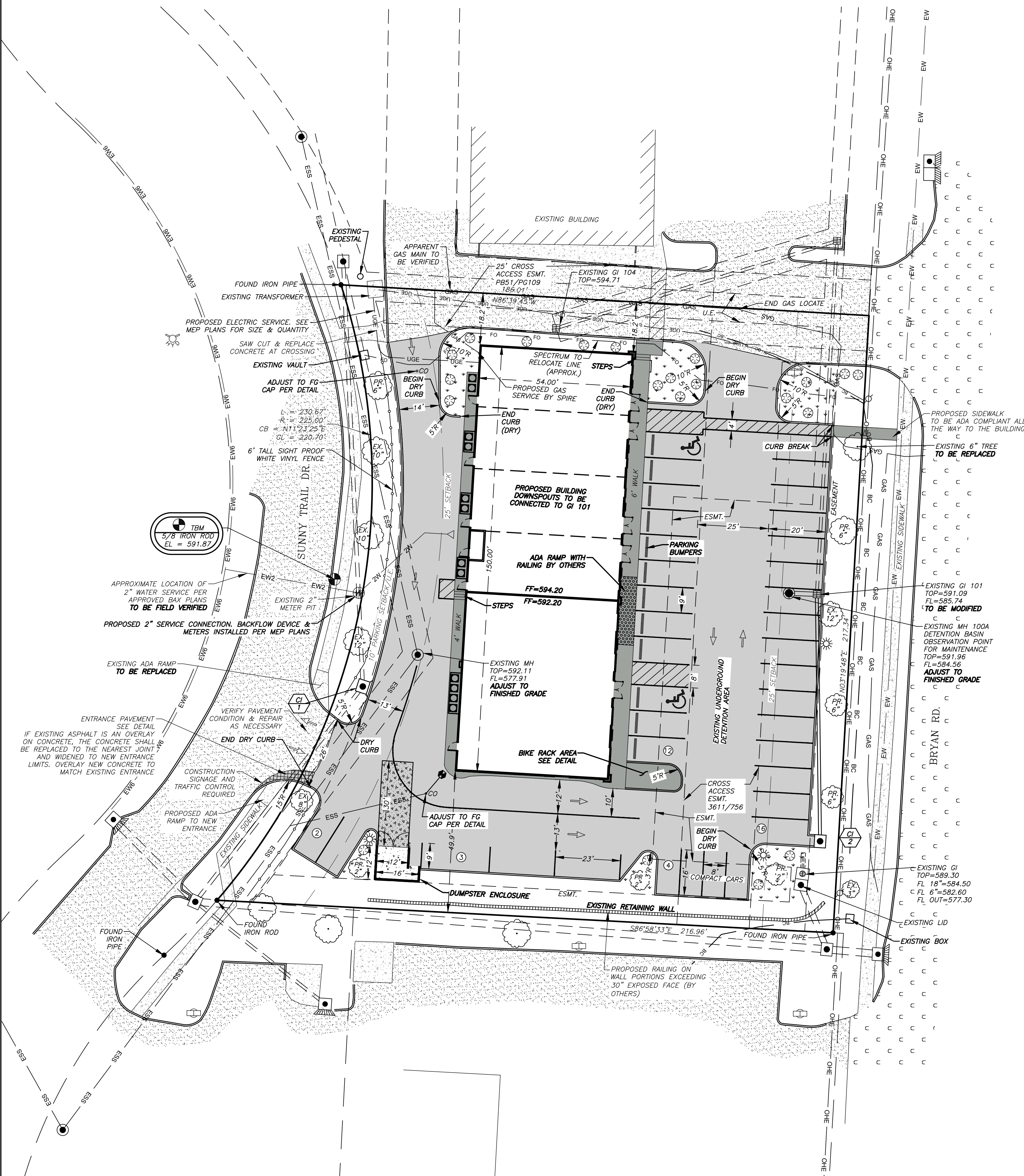
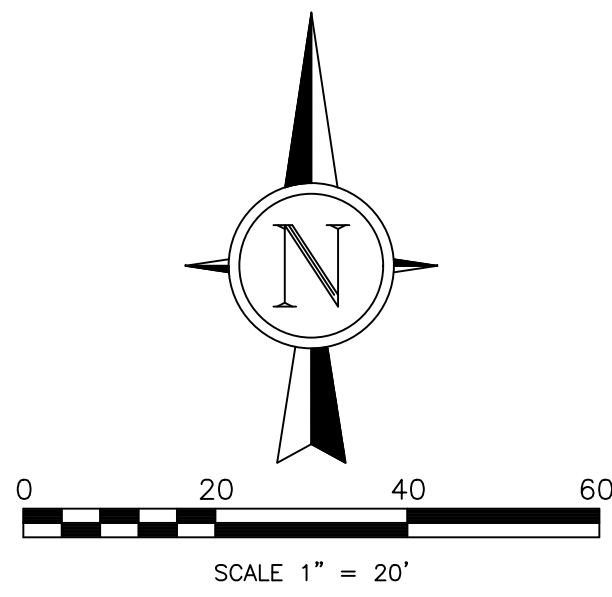


BLUE SKY HEALTH & WELLNESS SITE PLAN



LEGEND

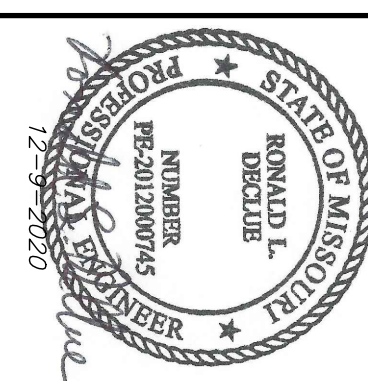
●	= FOUND MONUMENT
(R)	= SET 1/2" IRON ROD UNLESS NOTED
(M)	= RECORDED DISTANCE PER SUBD. PLAT
(D)	= MEASURED DISTANCE
---	= DEEDED DISTANCE
---	= EXISTING SANITARY SEWER LINE
---	= OVERHEAD ELECTRIC
---	= UNDERGROUND ELECTRIC
---	= GAS LINE
---	= EXISTING BURIED CABLE (CENTURY LINK)
---	= EXISTING FIBER OPTIC (SPECTRUM)
---	= EXISTING WATER LINE
---	= STORM SEWER
---	= PROPOSED SIGHT PROOF VINYL FENCE
---	= EX=EXISTING TREE (ALL TREES MAY NOT BE SHOWN)
---	= PR=PROPOSED 2" OR 6" MEDIUM DECIDUOUS SHADE TREE
---	= PROPOSED DECIDUOUS SHRUB
○	= CLEAN OUT
○	= T.B.M.
○	= TEMPORARY BENCHMARK
○	= UTILITY POLE(U.P.)
○	= WATER VALVE
○	= LIGHT POLE
○	= GAS VALVE
○	= WATER METER
○	= FIRE HYDRANT
○	= GRATED INLET(G)
○	= SINGLE CURB INLET(CI)
○	= DOUBLE CURB INLET(DCI)
○	= AREA INLET(A)
○	= STORMWATER JUNCTION BOX(JB)
○	= STORMWATER DRAINAGE DIRECTION
○	= HANDICAPPED PARKING SPACE
○	= FINISHED GRADE SPOT ELEVATION
○	= TOP BACK OF CURB
○	= FLOW LINE
○	= TRAFFIC FLOW DIRECTION
○	= WATER LATERAL(2" SDR 9 PVC)
○	= SANITARY LATERAL(SCH 40)
○	= EXISTING SANITARY MANHOLE(MH)
○	= STREET LIGHT
○	= EXISTING ASPHALT PAVEMENT
○	= PROPOSED STANDARD DUTY PAVEMENT
○	= PROPOSED ENTRANCE PAVEMENT
○	= EXISTING CONCRETE PAVEMENT
○	= PROPOSED DUMPSTER PAD CONCRETE
○	= PROPOSED SIDEWALK
○	= PROPOSED CONCRETE
○	= PROPOSED PARKING LOT LANDSCAPING

NOTES
SEE COVER SHEET FOR ALL GENERAL NOTES AND CONSTRUCTION NOTES.

C1.2
SHEET

City No. P+Z No. 20-007711
Developer / Owner Information
 STLMO Property, LLC c/o Jay Patel
 9911 Grandview Forest Ct.
 Sunset Hills, MO 63127
 618-210-1577
Site Plan

THIS SEAL IS FOR DESIGN AND CONSTRUCTION INSPECTION OF IMPROVEMENTS
 Ronald L. Wunderlich
 P.E. No. 2012000745
 & Engineering Inc.
 12-9-2020



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Blue Sky Health and Wellness