BLUE SKY HEALTH & WELLNESS SITE PLAN **LEGEND** EXISTING-PEDESTAL = FOUND MONUMENT APPARENT -0 = SET 1/2" IRON ROD UNLESS NOTED GAS MAIN TO (R) = RECORDED DISTANCE PER SUBD. PLAT BE VERIFIED = MEASURED DISTANCE EXISTING GI 104 ACCESS ESMT. = DEEDED DISTANCE TOP=594.71 PB51/PG109 = EXISTING SANITARY SEWER LINE FOUND IRON PIPE = OVERHEAD ELECTRIC EXISTING TRANSFORMER = UNDERGROUND ELECTRIC UGE ---- UGE END GAS LOCATE GAS — GAS = GAS LINE BC ---- BC = EXISTING BURIED CABLE (CENTURY LINK) PROPOSED ELECTRIC SERVICE. SEE-MEP PLANS FOR SIZE & QUANTITY = EXISTING FIBER OPTIC (SPECTRUM) = EXISTING WATER LINE EW ---- EW SAW CUT & REPLACE -= STORM SEWER CONCRETE AT CROSSING = PROPOSED SIGHT PROOF VINYL FENCE SPECTRUM TO— RELOCATE LINE **STEPS—** = EX=EXISTING TREE EXISTING VAULT -(APPROX.) (ALL TREES MAY NOT BE SHOWN) BEGIN-DRY PR=PROPOSED 2" OR 6" MEDIUM ADJUST TO FG-PROPOSED GAS SERVICE BY SPIRE DECIDUOUS SHADE TREE CAP PER DETAIL END-CURB CURB CURB = PROPOSED DECIDUOUS SHRUB (D L = 230.67= CLEAN OUT $\circ CO$ R = 225.00'TO BE ADA COMPLIANT ALL $CB = N11^{\circ}23'25''E$ THE WAY TO THE BUILDING (DRY) = TEMPORARY BENCHMARK CL = 220.70CURB BREAK 6' TALL SIGHT PROOF = UTILITY POLE(U.P.) TO BE REPLACED WHITE VINYL FENCE = WATER VALVE = LIGHT POLE PROPOSED BUILDING DOWNSPOUTS TO BE CONNECTED TO GI 101 = GAS VALVE = WATER METER -ESMT.→ = FIRE HYDRANT = GRATED INLET(GI) EL = 591.87-PARKING BUMPERS = SINGLE CURB INLET(CI) ADA RAMP WITH-RAILING BY OTHERS • = DOUBLE CURB INLET(DCI) APPROXIMATE LOCATION OF himkuul EXISTING GI 101 FF=594.20 2" WATER SERVICE PER APPROVED BAX PLANS TOP=591.09 = AREA INLET(AI) **EXISTING** FL=585.74 FF=592.20 TO BE FIELD VERIFIED METER PIT 'TO BE MODIFIED = STORMWATER JUNCTION BOX(JB) PROPOSED 2" SERVICE CONNECTION. BACKFLOW DEVICE & = STORMWATER DRAINAGE DIRECTION EXISTING MH 100A METERS INSTALLED PER MEP PLANS DETENTION BASIN OBSERVATION POINT = HANDICAPPED PARKING SPACE FOR MAINTENANCE TOP=591.96 FL=584.56 EXISTING ADA RAMP = FINISHED GRADE SPOT ELEVATION -594.0 TOP=592.11 FL=577.91 TO BE REPLACED = TOP BACK OF CURB ADJUST TO FINISHED GRADE = FLOW LINE FL ADJUST TO = TRAFFIC FLOW DIRECTION \Longrightarrow FINISHED GRADE = WATER LATERAL(2" SDR 9 PVC) >—2W— • = SANITARY LATERAL(SCH 40) VERIFY PAVEMENT = EXISTING SANITARY MANHOLE(MH) CONDITION & REPAIR ENTRANCE PAVEMENT SEE DETAIL AS NECESSARY BRYAN IF EXISTING ASPHALT IS AN OVERLAY = STREET LIGHT ON CONCRETE, THE CONCRETE SHALL SO BE REPLACED TO THE NEAREST JOINT? END DRY CURB- L_{DRY} = EXISTING ASPHALT PAVEMENT CURB BIKE RACK AREA-AND WIDENED TO NEW ENTRANCE SEE DETAIL LIMITS. OVERLAY NEW CONCRETE TO MATCH EXISTING ENTRANCE CONSTRUCTION -= PROPOSED STANDARD DUTY PAVEMENT SIGNAGE AND -CROSS TRAFFIC CONTROL **ACCESS** REQUIRED = PROPOSED ENTRANCE PAVEMENT ESMT. \Rightarrow 3611/756 -ADJUST TO FG = EXISTING CONCRETE PAVEMENT -ESMT. RAMP TO NEW CAP PER DETAIL **ENTRANCE** BEGIN- \Rightarrow = PROPOSED DUMPSTER PAD CONCRETE **CURB** = PROPOSED SIDEWALK EXISTING GI TOP=589.30 FL 18"=584.50 = PROPOSED CONCRETE -DUMPSTER ENCLOSURE ⊂ FL 6"=582.60 ESMT. FL_OUT=577.30 EXISTING RETAINING WALL = PROPOSED PARKING LOT LANDSCAPING EXISTING LID FOUND IRON ROD PROPOSED RAILING ON WALL PORTIONS EXCEEDING 30" EXPOSED FACE (BY c c c c

<u>NOTES</u>

SEE COVER SHEET FOR ALL GENERAL NOTES AND CONSTRUCTION NOTES.

JOB: 32323

DATE: 12-2020

DWN. BY: RD

SC: AS

REV:

REV:

SHEET

Developer / Owner Information

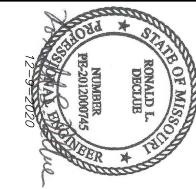
STLMO Property, LLC c/o Jay Patel

9911 Grandview Forest Ct.

Sunset Hills, MO 63127

618-210-1577 Site Plan Ronald L. DeClue,
P.E. – 2012000745
for Wunderlich Surveying
& Engineering Inc.

HIS SEAL IS FOR DESIGN
Y AND NOT CONSTRUCTION
PECTION OR STAKING OUT
OF IMPROVEMENTS



WUNDERLICH

SURVEYING & ENGINEERING INC.

512 EAST MAIN STREET
UNION, MO 63084 (636) 583-8400

WSETEAM.COM

WUNDERLICH SURVEYING & ENGINEERING, INC.

MISSOURI STATE CERTIFICATE OF AUTHORITY:

CIVIL ENGINEERING: 001086

LAND SURVEYING: 000253



Blue Sky Health and Wellness