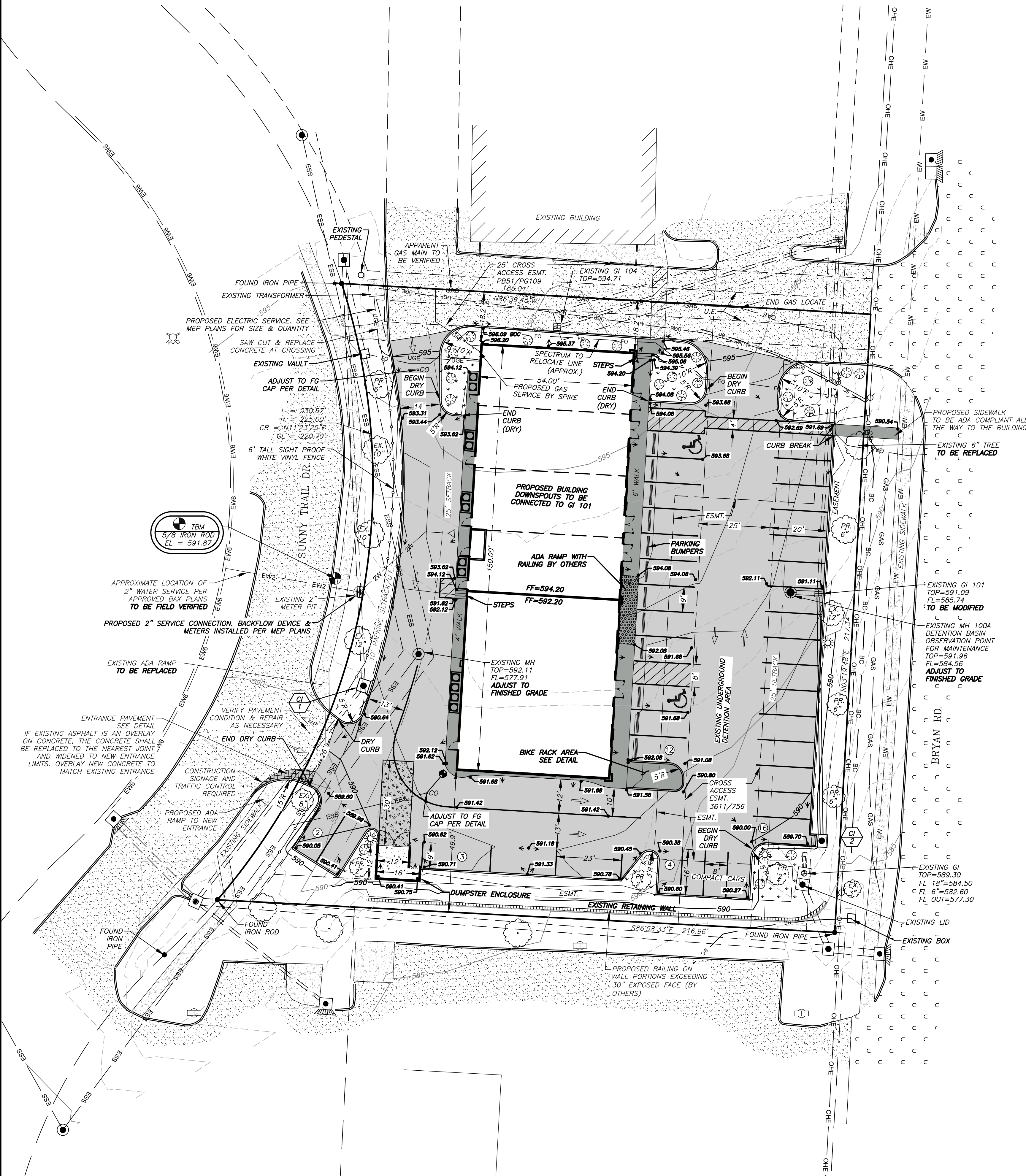
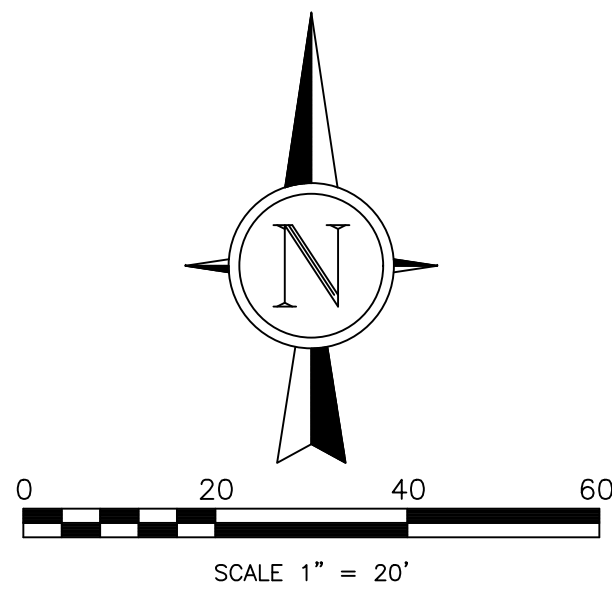


BLUE SKY HEALTH & WELLNESS GRADING PLAN



LEGEND

	= FOUND MONUMENT
	= SET 1/2" IRON ROD UNLESS NOTED
	= RECORDED DISTANCE PER SUBD. PLAT
	= MEASURED DISTANCE
	= DEEDED DISTANCE
	= EXISTING SANITARY SEWER LINE
	= OVERHEAD ELECTRIC
	= UNDERGROUND ELECTRIC
	= GAS LINE
	= EXISTING BURIED CABLE (CENTURY LINK)
	= EXISTING WATER LINE
	= STORM SEWER
	= PROPOSED SIGHT PROOF VINYL FENCE
	= EX=EXISTING TREE
	(ALL TREES MAY NOT BE SHOWN) PR=PROPOSED 2" OR 6" MEDIUM DECIDUOUS SHADE TREE
	= PROPOSED DECIDUOUS SHRUB
	= CLEAN OUT
	= T.B.M.
	= UTILITY POLE (U.P.)
	= WATER VALVE
	= LIGHT POLE
	= GAS VALVE
	= WATER METER
	= FIRE HYDRANT
	= GRATED INLET (G)
	= SINGLE CURB INLET (CI)
	= DOUBLE CURB INLET (DCI)
	= AREA INLET (AI)
	= STORMWATER JUNCTION BOX (JB)
	= STORMWATER DRAINAGE DIRECTION
	= HANDICAPPED PARKING SPACE
	= FINISHED GRADE SPOT ELEVATION
	= TOP BACK OF CURB
	= FLOW LINE
	= TRAFFIC FLOW DIRECTION
	= WATER LATERAL (2" SDR 9 PVC)
	= SANITARY LATERAL (SCH 40)
	= EXISTING SANITARY MANHOLE (MH)
	= STREET LIGHT
	= EXISTING ASPHALT PAVEMENT
	= PROPOSED STANDARD DUTY PAVEMENT
	= PROPOSED ENTRANCE PAVEMENT
	= EXISTING CONCRETE PAVEMENT
	= PROPOSED DUMPSTER PAD CONCRETE
	= PROPOSED SIDEWALK
	= PROPOSED CONCRETE
	= PROPOSED PARKING LOT LANDSCAPING

NOTES

SEE COVER SHEET FOR ALL GENERAL NOTES AND CONSTRUCTION NOTES.

C1.3
 SHEET

Developer / Owner Information
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 9911 Grandview Forest Ct.
 Sunset Hills, MO 63127
 618-210-1577
Grading Plan

P+Z No. 20-007711
 City No.

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 CIVIL ENGINEERING: 001086
 LAND SURVEYING: 000253



**Blue Sky Health
 and Wellness**