

DEVELOPMENT NOTES:

- Area of Tract: 11.24 Acres more or less
 - Developer: TriStar
13397 Lakefront Drive
Earth City, MO 63045
(314) 209-8888
 - Property Owner: KM Investment Group
2507 Highway K
O'Fallon, MO 63368
(636) 948-0777
 - Present Zoning: R-4 Apartment House District
 - Proposed Use: Apartment Home Development
 - R-4 Zoning Dimensional Standards:
 - Minimum Site Area: One (1) acre
 - Minimum Lot Size: 1,800 Sqft per dwelling unit for Multi-family developments
 - Maximum Lot Coverage: Forty (40%) percent
 - Minimum Lot Width: Seventy (70) Feet
 - Maximum Building Height: Fifty (50) Feet
 - Minimum Front Yard: Thirty-five (35) feet
 - Minimum Side Yard: Fifteen (15) feet
 - Minimum Rear Yard: Thirty (30) feet

Distance between grouped buildings:
 Front to Front: 60 feet
 Front to Back: 60 feet
 Front to Side: 45 feet
 Side to Side: 30 feet
 Back to Side: 35 feet
 Back to Back: 60 feet
 Corner to Corner: 20 feet
 - Off street parking: One and one-half (1.5) spaces required per one bedroom dwelling unit, plus one (1) additional space for each additional bedroom. One (1) parking space per dwelling unit is required to be covered. One (1) space required per 10 units for pool amenity. Parking stalls shall be 9'x19' with 25' wide two-way drive aisles.

Parking Required:

Condos (existing):
 36 Two Bedroom Units = 36 * 2.5 = 90 Parking Spaces
 36 Units / 10 = 3.6 parking spaces for pool
 Parking Required = 94 Parking Spaces = 58 Uncovered and 36 Covered Required

Apartments:
 60 One Bedroom Units = 60 * 1.5 = 90 Parking Spaces
 126 Two Bedroom Units = 126 * 2.5 = 315 Parking Spaces
 18 Three Bedroom Units = 18 * 3.5 = 63 Parking Spaces
 204 Units / 10 = 20.4 parking spaces for pool
 Parking Required = 488 Parking Spaces = 284 Uncovered and 204 Covered Required

Total Parking Required = 582 Parking Spaces
 Handicap Parking Required = 582 * .02 = 12 Accessible Parking Spaces (2 Van)
- Parking Provided:
- Condos (existing):
 Covered = 36 Parking spaces
 Uncovered = 30 Parking spaces
 Parking Provided = 66 Parking Spaces
- Apartments:
 Covered = 87 Garage Spaces + 117 Carport Spaces = 204 Parking Spaces
 Uncovered = 312 Parking Spaces
 Parking Provided = 516 Parking Spaces
- Total Parking Provided = 582 Parking Spaces
 Handicap Parking Provided = 19 Accessible Parking Spaces (7 Van)

Coverage Calculations			
Proposed		Area (s.f.)	
Building		87,760	17.9%
Pavement		205,233	41.9%
Green Space		196,572	40.2%
Total		489,565	

- According to the FIRM Flood Insurance Rate Map 29183C0237 E Dated August 2, 1996, part of this development is located with in the 100 year flood plain. FIRM 29183C0237 E was revised by LOMR 12-07-0786 P dated December 20, 2014. The results of said revision are reflected on this survey.
- Storm Water Detention has been provided with the original development in accordance with City of O'Fallon requirements.
- Proposed development to be served by

Water	City of O'Fallon
Sewer	City of O'Fallon
Telephone	Centurylink
Gas	Laclede Gas
Electric	Ameren UE
O'Fallon Fire Protection District	
Fort Zumwalt School District	
- All streets to be constructed to City of O'Fallon Standards.
- All Proposed utilities to be located underground.
- Sidewalks shall be installed as per City Ordinances as shown on this plot.
- This plan complies with the City of O'Fallon Comprehensive Plan.
- Tree Protection and Preservation shall be met on this plan.
- Photometric Lighting plans in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all exterior lighting with improvement plans.
- Mechanical Installations shall be properly screened as per City Code.
- Landscaping shall be provided to meet or exceed the city of O'Fallon Tree Preservation Ordinances.
- A twenty (20) foot wide no disturbance area has been provided from the east to the west contiguous to the boundary line between Bramblett Hollow and Bramblett Crossing. The developer shall take reasonable efforts to preserve the mature trees in this corridor.
- Landscaping on-site shall be submitted with the improvement plans and shall meet and/or exceed the City of O'Fallon requirements.
- A Flood plain development permit shall be obtained from the City of O'Fallon before any work is done within the special flood hazard zone. The lowest floor of any proposed structure will be at least one (1) foot above the Flood Plain Elevation.
- Bicycle parking requirements (Clubhouse):
 One (1) Bicycle parking space per every 15 car parking spaces.
 24/15 = 2 bicycle parking spaces required.
 4 bicycle parking spaces provided.
- All HVAC and mechanical units on site shall be properly screened as required by City Code. Rooftop units shall be screened by a parapet wall that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof; ground mounted HVAC and mechanical units shall be screened by fencing, vegetation or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit on the ground.
- Prior to Construction Site plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting.
- All Sanitary laterals shall be 6" PVC at 2% slope minimum.
- All roadways and driveways, except Bramblett Road are to be Private.
- All utilities existing and proposed shall be covered by easements.
- All siltation control devices (silt fences and sedimentation basins) shall follow "St. Charles County Soil and Water Conservation District Erosion and Sediment Control" guidelines.
- Per previous approvals for the Bramblett Crossing development, the developer shall grade and prepare the area along the north and south side of the creek for possible installation of an 8 foot wide multipurpose trail in the future. The contract purchaser of the part of Lot 1 depicted on this Site Plan will grade the area on the north side of the creek, adjacent to Lot 1, for future installation of the trail. A public easement shall be granted to the city for public use of the eight (8) foot wide multi-purpose trail.
- Pavement striping shall be yellow on PC Concrete, white on asphaltic concrete and all accessible space striping shall be blue.
- All parking areas and drives shall be setback a minimum of 25' from the top of creekbank.
- All structures that require a foundation or footing that are within 50' of the top of the creekbank shall have a slope evaluation conducted to provide assurance that there will be no erosion from the creek that will affect the building. If the study shows that there could be a threat to the building then a plan for stabilizing the creekbank in that area will be needed.
- Contractor shall slope breezeways 1/4" per foot from unit entry to face of buildings.

SUMMARY OF CHANGES:

- The modification of the pool/clubhouse area
- Abandon and reroute storm sewer from CI 520 to CI 517. Remove AI 521.
- Relocation of existing condo mailboxes
- Raised buildings 1 and 2 for clubhouse area changes
- Addition of trash enclosure near building 2
- Renumbering of Buildings 10 thru 20
- Addition of Mailbox Bank between buildings 10 and 11
- The modification/improvements to the main entry in front of the clubhouse
- The addition of 87 garage parking stalls along the north and east perimeter
- The carport locations have been revised
- Parking lot striping and island locations have been revised. Parking lot configuration and striping shall be as shown on this plan set.
- Addition of the east watermain loop and fire hydrant between buildings 16 & 17
- Pitch grade in front of garages to opposite curb to drain away from garage entry
- Conversion of CI 536 to a Double Curb Inlet
- Raised building 12 due to flood study results
- Added backflow preventer to sanitary lateral for buildings 11, 12 & 13
- Buildings 10, 11 & 12 shall have slope evaluation
- All drive aisles are to be a minimum 4" asphalt over 8" rock base
- Relocated watermain at the clubhouse/entrance drive
- Reconfigure existing handicap curb ramps at entrance
- Addition of Sanitary sewers mains at buildings 10, 11 & 12

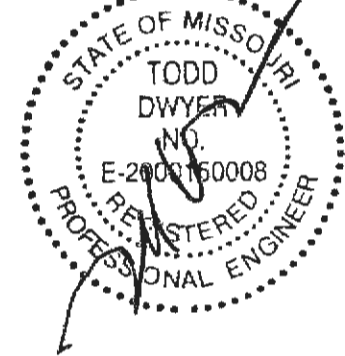
THIS SET OF PLANS IS AN ADDENDUM TO A SET OF PLANS PREPARED BY ST. CHARLES ENGINEERING & SURVEYING, INC. FOR THE BELLEAU CROSSING PROJECT AND ON FILE AT THE CITY OF O'FALLON (STAMPED APPROVED 3-12-09.)

PROJECT TITLE

BRAMBLETT HILLS APARTMENTS

THD DESIGN GROUP, INC.

"your solution for engineering and surveying"
 COPYRIGHT 2011
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 FAX: 636-584-3827
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Developer / Owner Information:

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 Earth City, MO 63045

DEVELOPMENT NOTES

P+Z No: 3805.05.02

Approval Date: 02/05/2015

City No.

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