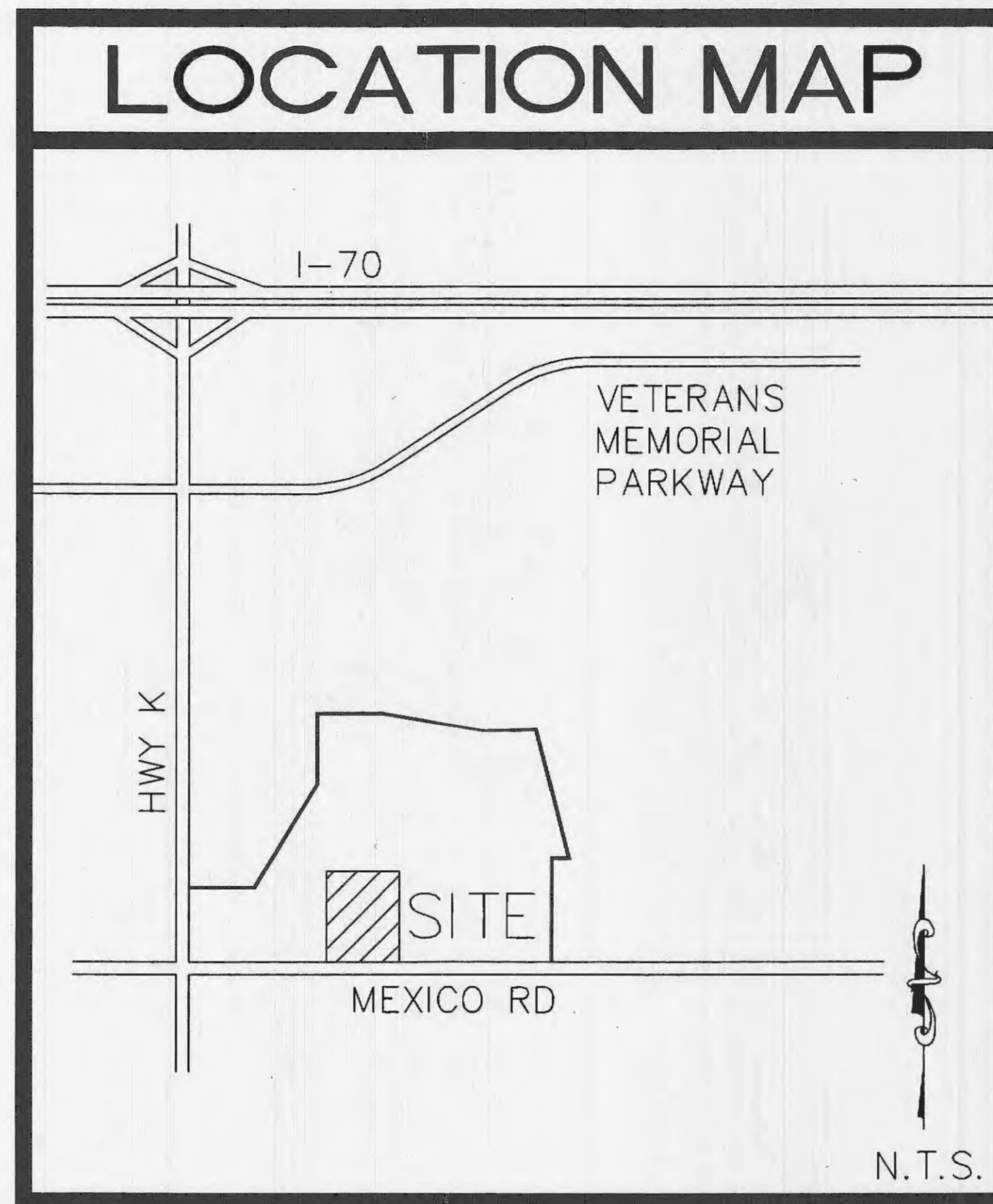


DEVELOPMENT NOTES:

- Area of Tract: 13.08 Acres more or less
- Present Zoning: R-4 Apartment House District
- Proposed Zoning: R-4 Apartment House District
- Minimum R-4 Zoning Standards
Minimum Site Area: One (1) acre
Minimum Lot Size: 1,800 SqFT per dwelling unit for Multi-family developments
Maximum Lot Coverage: Forty (40%) percent
Minimum Lot Width: Seventy (70) Feet
Maximum Building Height: Fifty (50) Feet
- Minimum Front Yard: Thirty-five (35) feet
Side Yard: fifteen (15) feet
Rear Yard: Thirty (30) feet
- Distance between grouped buildings:
Front to Front: 60 feet
Front to Back: 60 feet
Front to Side: 45 feet
Side to Side: 30 feet
Back to Side: 35 feet
Back to Back: 60 feet
Corner to Corner: 20 feet
- Total Units Proposed:
20 - 12 Unit Buildings
240 Total Units
Allowable Density:
13.08 Acres x 24 units/Acre = 314 Units
Proposed Density:
240 units / 13.08 Acres = 18.3 Units/Acre
- Off street parking: One and one-half (1.5) spaces required per one bedroom dwelling unit, plus one (1) additional space for each additional bedroom. One (1) parking space per dwelling unit is required to be covered. One (1) space required per 10 units for pool amenity
Parking Required: 240 Two Bedroom Units = 240 * 2.5 = 600 Total Parking Spaces
240 Units / 10 = 24 parking spaces for pool
240 Required to be Covered
Parking Provided: 240 Covered Parking Spaces
385 Un-Covered Parking Spaces
Handicap Spaces Provided: 20 Handicap Spaces
4 Van Accessible Handicap spaces
- Storm Water Detention shall comply with City of O'Fallon Standards. Detention pond shall be a dry basin. Detention basin shall be sized to handle a 200 year storm. 2 year microdetention and stormwater filtration shall be provided for this site and detailed on the improvement plans. Detention basin shall be sodded up to the 200 year high water mark.
- Proposed development to be served by
Water City of O'Fallon
Sewer City of O'Fallon
Telephone Citigular
Gas LoCledde Gas
Electric Ameren UE
O'Fallon Fire Protection District
Fort Zumwalt School District
- All streets to be constructed to City of O'Fallon Standards.
- All Proposed utilities to be located underground.
- This site will address the Soil and Water Conservation Service Comments with the Improvement Plan set.
- According to the FIRM Flood Insurance Rate Map 281830237 E Dated August 2, 1996, part of the development is located within the 100 year flood plain. Flood plain issues will be dealt with as part of the improvement plan set.
- Sidewalks shall be installed as per City Ordinances as shown on this plan.
- Per Ordinance, public sanitary sewers and water service will be extended to this project.
- Developer
Bramblett Development LLC
913 Lafayette Landing Place
St. Charles, MO 63303
(314) 452-5000
- Property Owners
1 Carl Hoerman
725 Riverview Lane
St. Charles, MO 63301
2 Tarkington Trust, James A Preston
4 Roseanna Acres
Wentzville, MO 63385
3 David L. Stewart
2092 S. Lohman Rd
Wright City, MO 63390
4 Jack & Sandra Reynolds
1208 Bramblett Rd
O'Fallon, MO 63366
5 Gerald & Joyce Bathon
1100 Bramblett Road
O'Fallon, MO 63368
6 Harrison and Dixie Yeakey
1070 Bramblett Rd
O'Fallon, MO 63366
- This plan complies with the City of O'Fallon Comprehensive Plan.
- Tree Protection and Preservation shall be met on this plan.
- Stormwater Storage Area and creek realignment shall be submitted for review and approval to FEMA, MDNR, and the Army Corp of Engineers.
- All creek Crossings shall be permitted through the Army Corp of Engineers.
- Access to any structure on proposed Lot 1 would be via the new Loop Road. No access to the site will be provided off of the existing Bramblett Road.
- Photometric Lighting plans in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all exterior lighting with improvement plans.
- Downcast lighting fixtures shall be used to reduce the light pollution in the rear of the commercial facilities.
- Mechanical installations shall be properly screened as per City Code.
- Landscaping shall be provided to meet or exceed the city of O'Fallon Tree Preservation Ordinances.
- A twenty (20) foot wide no disturbance area shall be provided from the east to the west contiguous to the boundary line between Bramblett Hollow and Bramblett Crossing. The developer shall take reasonable efforts to preserve the mature trees in this corridor.
- Landscaping buffers shall be required along the North and East property lines.
A thirty (30) foot landscape buffer shall be provided along the North and East property line with a two and one-half (2.5) foot berm and two and one-half (2.5) trees per 100 feet of length.
Trees required = 1,049/100 * 2.5 + 892/100 * 2.5 = 48.5 trees
- Landscaping on-site shall be submitted with the improvement plans and shall meet and/or exceed the City of O'Fallon Requirements.
- Gates shall be provided at both entrances to site per City Code. Knock boxes shall be located at gates.
- Mail boxes will be located on the wall in the common hall in each building.
- All Common Ground shall be maintained by Subdivision Association.
- Crosswalks, pedestrian crossing signals and Concrete Handicap ramps shall be provided where applicable. The Final design plans for the signalized intersection shall show all required pedestrian safety devices.
- A Flood plain development permit shall be obtained from the City of O'Fallon before any work is done within the special flood hazard zone. The lowest floor of any proposed structure will be at least one (1) foot above the Flood Plain Elevation. An equal volume of ground will be excavated within the Special Flood Hazard Zone to Maintain the overall Volume of flood storage. A detailed study and volumes will be submitted with the grading plans.
- A detailed study will be submitted to FEMA for review and approval to more accurately show the existing flood plain and floodway limits. No Buildings shall be located within the revised floodway. Fill within the flood way shall be demonstrated that it is not causing an increase in the flood plain elevation.
- Bicycle parking requirements:
One (1) Bicycle parking space per every 15 car parking spaces.
Condo Building - 30 parking spaces required per building.
30/15 = 2 bicycle parking spaces required.
Pool - 8 bicycle parking spaces provided.
- All HVAC and mechanical units on site shall be properly screened as required by City Code. Rooftop units shall be screened by a parapet that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof; ground mounted HVAC and mechanical units shall be screened by fencing, vegetation or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit on the ground.
- Prior to Construction Site plan approval, a photometric lighting plan in accordance with the City's Exterior Lighting Standards shall be submitted for review and approval for all proposed exterior lighting.
- The five (5) foot wide sidewalk along Mexico Road will be built when the Commercial Outlots develop in the future.
- This site will be in compliance with Phase II Illicit Storm Water Discharge guidelines per Ordinance 5082.
- All Sanitary laterals shall be 6" PVC at 2% slope minimum.
- All roadways and driveways, except Bramblett Road are to be Private.
- All improvements to Bramblett Road shall meet current City Standards.
- All utilities existing and proposed shall be covered by easements. The eight (8) foot trail easement shown shall be granted to the City for public use as a multi-purpose trail. Existing easements will be vacated where necessary.
- All siltation control devices (silt fences and sedimentation basins) shall follow "St. Charles County Soil and Water Conservation District Erosion and Sediment Control" guidelines.
- A flood plain development permit, a "no-rise" certification and a LDMR will be required for this development.
- Sanitary Calculations
Existing: 5 single family homes
5 Homes * 3.7 People/Home * 100 GDP/Person = 1,850 GPD
Proposed: 240 2 Bedroom Condos
240 Condos * 3.7 GDP/Unit = 72,000 GPD
- Per the ACOE 404 Permit toe slopes on outside bands in the creek channel will be monitored for erosion and stabilized with rip-rap or plantings.

BOX CULVERT PLANS FOR: BRAMBLETT ROAD

Several Tracts being part of US Survey 1766 and Section 33,
Township 47 North, Range 3 East
St. Charles County Missouri



LEGEND

<ul style="list-style-type: none"> ○ SANITARY STRUCTURE ○ STORM STRUCTURE ○ TEST HOLE ○ POWER POLE ○ LIGHT STANDARD ○ CI CURB INLET ○ DCI DOUBLE CURB INLET ○ GI GRATE INLET (EXISTING) ○ AI AREA INLET (EXISTING) ○ DAI DOUBLE AREA INLET ○ FE FLARED END SECTION ○ EP END OF PIPE ○ E.D. ENERGY DISSIPATOR ○ MH MANHOLE ○ RCP REINFORCED CONCRETE PIPE ○ CMP CORRUGATED METAL PIPE ○ CIP CAST IRON PIPE ○ PVC POLYVINYL CHLORIDE PIPE ○ VCP VITRIFIED CLAY PIPE ○ GW GUY WIRE ○ SIGN ○ POST ○ WATER METER ○ WATER VALVE ○ WATER SHUT OFF ○ GAS VALVE ○ OHE OVERHEAD ELECTRIC LINE ○ C.L. CLEARING LIMITS ○ E.O.A. EDGE OF ASPHALT ○ E.O.C. EDGE OF CONCRETE ○ A.T.G. ADJUST TO GRADE ○ F.G. FINISHED GRADE 	<ul style="list-style-type: none"> ○ CD CLEAN OUT ○ T.B.R. TO BE REMOVED ○ T.B.R.&R. TO BE REMOVED & RELOCATED ○ T.B.P. TO BE PROTECTED ○ T.B.A. TO BE ABANDONED ○ B.C. BASE OF CURB ○ T.C. TOP OF CURB ○ T.W. TOP OF WALL ○ TYP. TYPICAL ○ U.N.O. UNLESS NOTED OTHERWISE ○ U.I.P. USE IN PLACE ○ -S72- EXISTING CONTOUR ○ -S78- PROPOSED CONTOUR ○ TREE LINE ○ 8" PVC SAN. SEWER (EXISTING) ○ SAN. SEWER (PROPOSED) ○ 12" CMP STORM DRAIN (EXISTING) ○ STORM DRAIN (PROPOSED) ○ PHONE BOX ○ IRON PIPE ○ WATER LINE ○ HYDRANT ○ CONCRETE PAVEMENT ○ PLACED RIP-RAP W/UNDERLAIN FABRIC ○ GENERAL SURFACE DRAINAGE ○ N.T.S. NOT TO SCALE ○ ROW RIGHT-OF-WAY ○ T.B.C. TOP BACK CURB ○ D.I.P. DUCTILE IRON PIPE ○ D.N.D. DO NOT DISTURB ○ T.P. TOP OF PAVEMENT
--	---

SHEET INDEX

- BC-1. TITLE SHEET
- BC-2. CONSTRUCTION NOTES
- BC-3. FLAT PLAN
- BC-4. GRADING PLAN
- BC-5. PROFILES
- BC-6. DRAINAGE AREA MAP
- S0.0-0.2 STRUCTURAL DWG'S

FEMA BENCHMARK:
RM60 - ELEVATION (NGVD) 480.00
2-INCH CUT SQUARE IN CENTER OF NORTH END OF WALKWAY AT THE NORTHEAST CORNER OF BELLEAU CREEK ROAD BRIDGE OVER BELLEAU CREEK

SITE BENCHMARK:
ELEV. -498.07 TOP OF EXISTING MANHOLE ON EASTERN PROPERTY LINE

CITY OF OFFALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: *[Signature]* DATE: 8-8-08
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

Call BEFORE you DIG
TOLL FREE
1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

MoDOT UTILITIES
(314) 340-4100

DEVELOPER
BRAMBLETT DEVELOPMENT LLC
913 LAFAYETTE LANDING PLACE
St. CHARLES, MO 63303
314-452-5000

[Signature]
KARL ANTHONY SCHROEDER
REGISTERED PROFESSIONAL ENGINEER
PE-2000015039
5-12-08

ENGINEERS AUTHENTICATION
The responsibility for the professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthenticated.

ORDER NO.
04-1419-01
DATE
11/05/07
BC-1

BOX CULVERT PLANS FOR:
BRAMBLETT ROAD

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448

S E

Bobby S. Spector

05/12/08 REVISED PER CITY COMMENTS

RECEIVED
AUG 05 2008