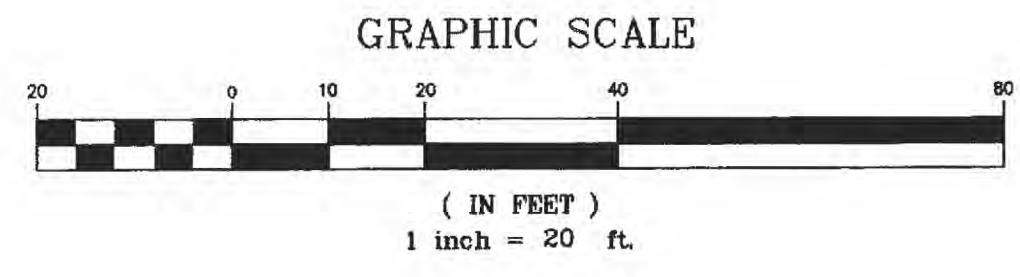


TRACTS OF LAND BEING PART OF FRACTIONAL SECTIONS 16 & 17, AND U.S. SURVEYS 61 & 417, TOWNSHIP 46 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MISSOURI

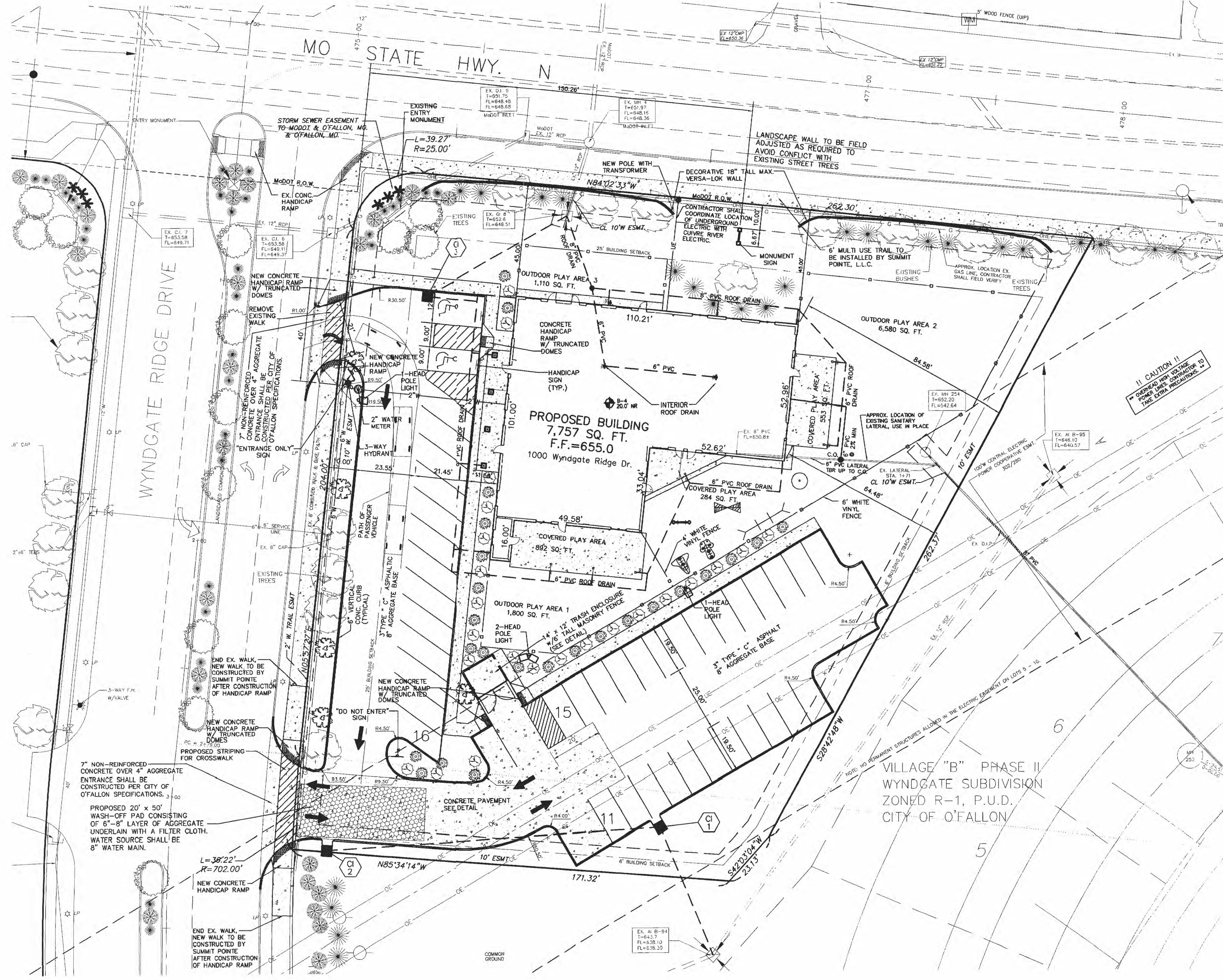


LANDSCAPE SCHEDULE			
23	MUGO PINE	Pinus mugo mughus	2 GAL.
24	EMERALD N' GOLD EUONYMUS	Euonymus fortunei "Emerald 'n Gold"	2 GAL.
5	RED SUNSET MAPLE	Acer rubrum "Red Sunset"	2" CAL.

NO EXISTING TREES ARE BEING REMOVED FROM SITE.

SITE COVERAGE CALCULATIONS			
BUILDING	PAVEMENT	LANDSCAPE	TOTAL SITE
7,757 SQ. FT.	15,522 SQ. FT.	30,592 SQ. FT.	60,832 SQ. FT.
12.7%	37.0%	50.3%	

- GENERAL NOTES
- Present Zoning: P.U.D. R-1 Single Family Residential
 - Proposed Use: Day Care Center (Conditional use permit required)
 - Area of Tract: 1.40 Acres
 - Project is Served By:
 - A. Public Water Supply District #2
 - B. St. Charles Gas Company
 - C. CenturyTel Telephone Company
 - D. Duckett Creek Sewer District
 - E. Cuivre River Electric
 - F. Wentzville Fire Protection District
 - All utilities shall be located underground.
 - Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
 - All dimensions taken from back of curb unless otherwise noted.
 - Building height, site lighting and signage shall be in accordance with City of O'Fallon's requirements.
 - Setback and yard requirements:
 - Front - 25 feet
 - Side - 6 feet
 - Rear - 25 feet
 - Grading and drainage shall be per the requirements of the City of O'Fallon.
 - Architectural treatment to be provided on all sides of buildings. Architectural treatment shall remain consistent throughout the project.
 - All easements shall be provided for on record plat.
 - Exterior lighting details and photometric plan shall be submitted and approved prior to construction plan approval.
 - Proposed lighting shall be directed down and shielded so as not to overflow onto adjacent residential properties. Wall pack lighting shall not be permitted. Lighting details and photometrics in accordance with the City's standards shall be submitted and approved prior to construction approval.
 - No slope shall be greater than 3:1 during construction and at final grade.
 - Per F.I.R.M. #29183C0215F March 17, 2003, site is not located within the 100 Year Flood Plain.
 - Trash enclosures shall be a minimum of 6 foot high and shall be constructed of materials that match or complement building architecture. Enclosures shall have white vinyl gates.
 - Signage locations and sizes to be reviewed separately through the Planning Division. Signage shall be permitted separately.
 - Building and parking shall be in conformance with City of O'Fallon's requirements for R-1 PUD zoning.
 - Backflow prevention devices for water service shall be located inside the building.
 - Location of backflow preventer and water services shall be addressed with architectural drawings. Water meter locations shall be coordinated with water company.
 - Demonstrate compliance with Article XIII of the Zoning Code, Performance Standards.
 - All trash pick up and loading and unloading operations will not occur between the hours of 7:00 p.m. and 7:00 a.m.
 - All handicap sidewalk ramps shall be concrete and shall meet ADA color requirements.
 - Development will remain as one lot, no subdividing of lot is proposed.
 - No outdoor display of materials or products, temporary or otherwise, shall occur beyond the area between the front of the building and the driveway aisle. No such materials shall be attached or affixed to any exterior wall.
 - Lighting values will be reviewed on site prior to final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
 - All proposed fencing requires a separate permit through the Planning Division.
 - All sign post and back and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB point (or equivalent as approved by City and MoDOT). Signs designating street name shall be on the opposite side of the street from traffic control signs.
 - All rooftop mounted HVAC and mechanical units shall be screened by a parapet wall that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof. All ground mounted HVAC and mechanical units shall be screened by fencing, vegetation, or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit being screened.
 - Utility contractor shall coordinate utility connections with general
 - Detention has been provided for in detention basin for Wyndgate subdivision.
 - Site shall comply with the Tree Preservation Ordinance, Chapter 23.
 - Estimated sanitary flow—1320 gallons per day.



PARKING REQUIREMENTS

DAYCARE CENTER - 1 PS PER 6 PUPILS PLUS 1 PER EMPLOYEE
132 PUPILS & 19 EMPLOYEES

PARKING REQUIRED	41 PS
PARKING PROVIDED	41 PS
DIFFERENCE	0 PS

MANUFACTURER	SIZE	ADHESIVE	STYLE	MESSAGE (PART #)	WEBSITE
ACP International	3 7/8"	Epoxy	Crystal Cap	No Dumping Drains To Waterways (SD-W-CC)	www.acpinternational.com
DAS Manufacturing, Inc.	4"	Epoxy	Standard Style	No Dumping Drains To Stream (#SDS)	www.dasmanufacturing.com

NOTE: SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAC) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAC GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.

PICKETT RAY & SILVER
CIVIL ENGINEERS
PLANNERS
LAND SURVEYORS

333 Mid Rivers Mall Drive
St. Peters, MO 63376
Phone (636) 397-1211
Fax (636) 397-1104

BRIGHT START
IMPROVEMENT PLANS
ST. CHARLES, MO

Prepared For:
SUMMIT POINTE, L.L.C.

REVISIONS	NO.	DATE	PER CITY OF O'FALLON	REVISED PER T.R. HUGHES
	1	01-09-06		
	2	1-16-06		
	3	02-06-06		
	4	02-21-06		
	5	03-10-06		

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthenticated.

PICKETT RAY & SILVER, INC.
HAROLD J. BARTCH
REGISTERED PROFESSIONAL ENGINEER
NO. 17791

DRAWN: B.PARKS DATE: 12-05-05
CHECKED: D.BYRD DATE: 12-05-05
PROJECT # 01267.BRST.00C
TASK # 2 FIELD BOOK X

BRIGHT START
IMPROVEMENT PLANS
SITE PLAN
SHEET 2 OF 7
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