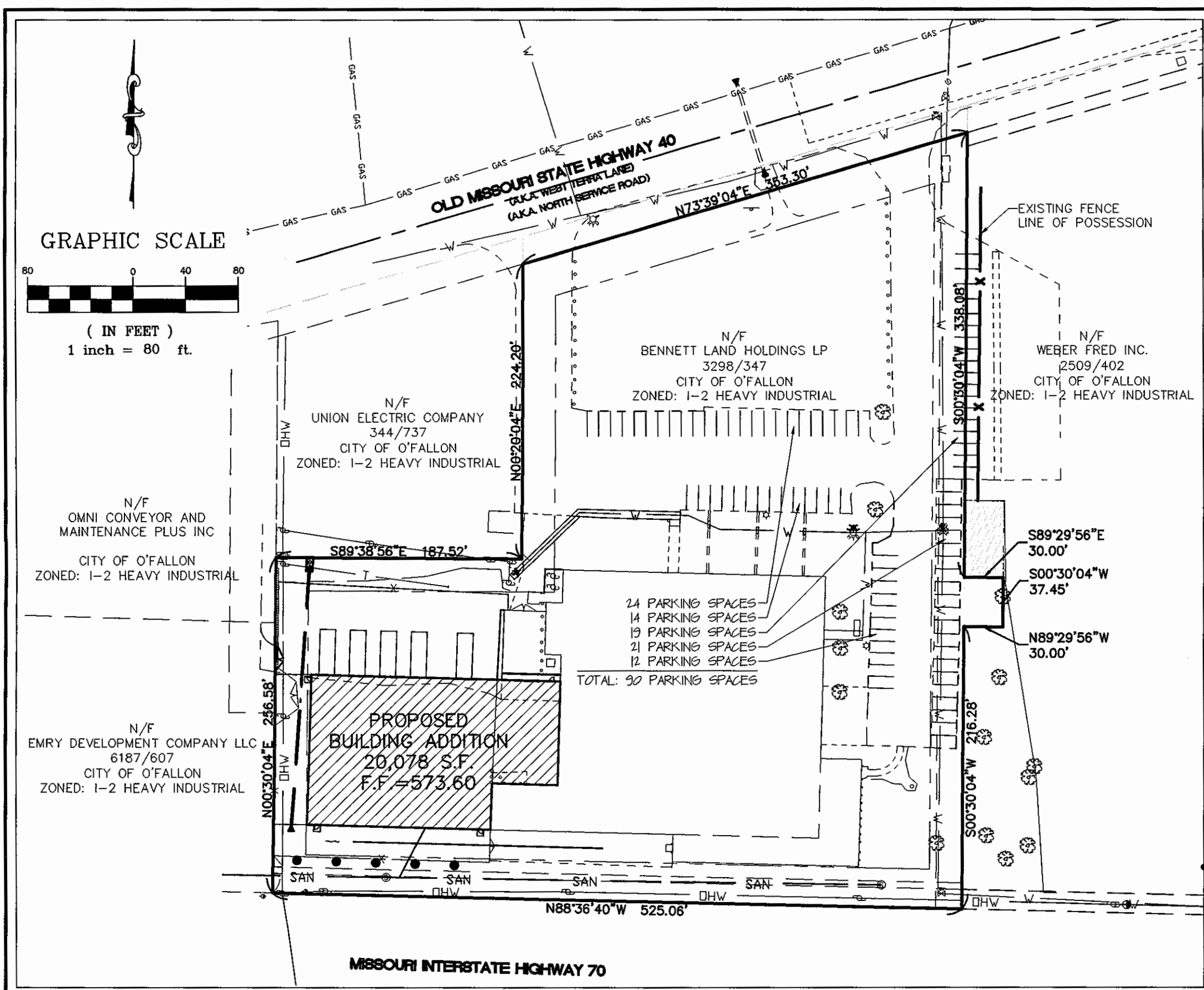
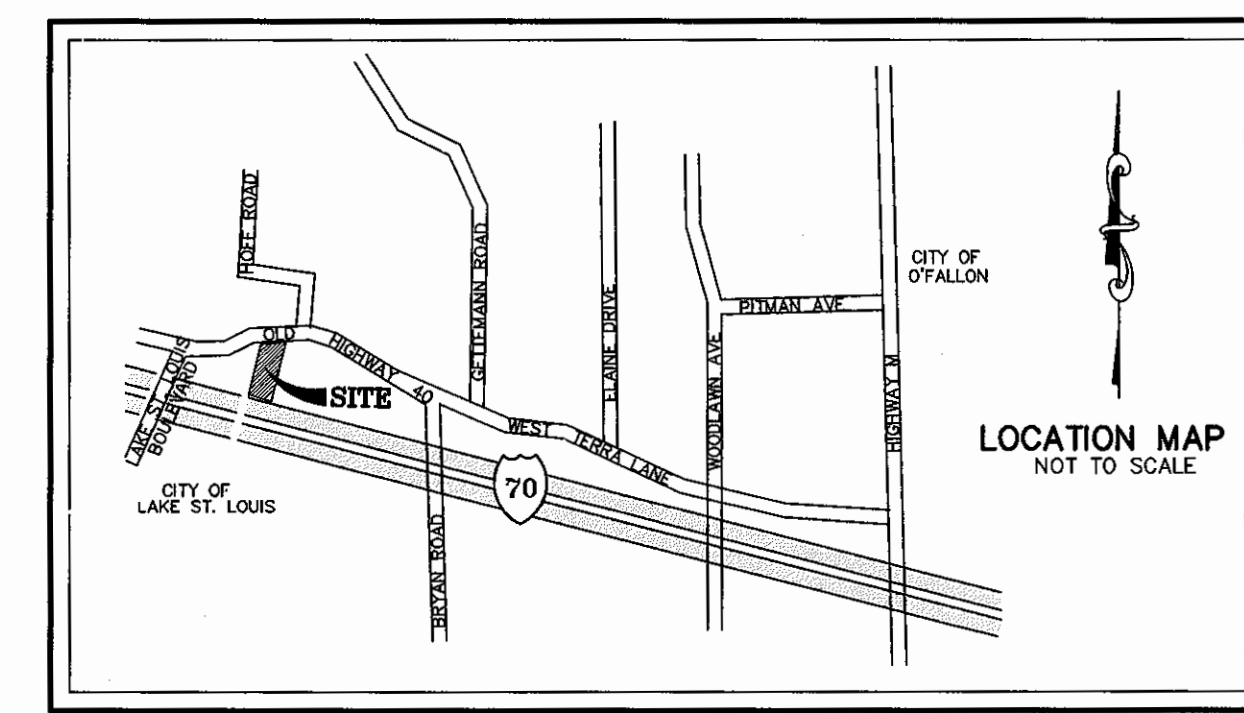


A SET OF CONSTRUCTION PLANS FOR C. Bennett Building Addition

A TRACT OF LAND BEING PART OF U.S. SURVEY 1780
TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN
CITY OF O'FALLON
ST. CHARLES COUNTY, MISSOURI



Plan View



LOCATION MAP
NOT TO SCALE

Drawing Index

- 1 COVER SHEET
- 2 NOTES
- 3 DEMOLITION PLAN
- 4 SITE PLAN
- 5 GRADING PLAN
- 6 EXISTING DRAINAGE AREA MAP
- 7 PROPOSED DRAINAGE AREA MAP
- 8 DETAILS

Development Notes:

1. AREA OF TRACT: 5.31 ACRES (DISTURBED)
0.99 ACRES
2. THIS PROPERTY IS A PART OF THE PROPERTY REFERENCED AS PARCEL I.D. NUMBER 4-0053-1780-00-0010.1000000 OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE.
3. EXISTING ZONING: I-2 HEAVY INDUSTRIAL DISTRICT, CITY OF O'FALLON
4. PROPOSED USE: BUILDING ADDITION
5. OWNER: BENNETT LAND HOLDINGS L.P.
1700 WEST TERRA LANE
O'FALLON, MO 63386
6. SITE COVERAGE:
SITE = 231,222 SQ. FT. (5.31 ACRES)
TOTAL BUILDING = 67,235 SQ. FT. = 29%
PROPOSED PAVEMENT = 74,609 SQ. FT. = 32%
PROPOSED GREENSPACE = 89,378 SQ. FT. = 39%
7. WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C02205 DATED: JANUARY 20, 2016 THIS PROPERTY LIES IN ZONE "X".

ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

Legend

600.00 600.00	EXISTING LABELS PROPOSED LABELS	EXIST. SINGLE CURB INLET
CI	SINGLE CURB INLET	EXIST. AREA INLET
DCI	DOUBLE CURB INLET	PROPOSED SINGLE CURB INLET
AI	AREA INLET	PROPOSED AREA INLET
DAI	DOUBLE AREA INLET	PROPOSED GRATE INLET
GI	GRATE INLET	EXIST. SANITARY MANHOLE
DGI	DOUBLE GRATE INLET	EXIST. STORM MANHOLE
MH	MANHOLE	PROPOSED MANHOLE
FE	FLARED END SECTION	POWER POLE
EP	END PIPE	GUY WIRE
CP	CONCRETE PIPE	LIGHT STANDARD
RCP	REINFORCED CONCRETE PIPE	FIRE HYDRANT
CMP	CORRUGATED METAL PIPE	WATER METER
CPP	CORRUGATED PLASTIC PIPE	WATER VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	GAS VALVE
CO	CLEAN OUT	TELEPHONE PEDESTAL
.....	SLOPE LIMITS	SIGN
--- STM ---	DRAINAGE SWALE	TREE
--- SAN ---	EXISTING STORM SEWER	TO BE REMOVED
--- S ---	EXISTING SANITARY SEWER	USE IN PLACE
--- W ---	EXISTING WATER LINE	
--- FO ---	EXISTING FIBER OPTIC LINE	
--- GAS ---	EXISTING GAS LINE	
--- UGE ---	EXISTING UNDERGROUND ELECTRIC	
--- OHW ---	EXISTING OVERHEAD ELECTRIC	
--- CTV ---	EXISTING CABLE TV LINE	
--- T ---	EXISTING TELEPHONE LINE	
---	PROPOSED STORM SEWER	
---	PROPOSED SANITARY SEWER	
--- X ---	FENCE LINE	
---	SAWCUT LINE	

Utility Contacts

Sanitary Sewer
City of O'Fallon
100 N. Main St.
O'Fallon, MO 63366
Contact: 636-281-2858

Water
Public Water Supply District No. 2
P.O. Box 967
O'Fallon, MO 63366
636-561-3737 Ext. 131

Electric
Ameren UE
200 Colahan Road
Wentzville, MO 63385
636-639-8312

Gas
Laclede Gas Company
6400 Graham Road
St. Louis, MO 63134
314-522-2297

Telephone
Centurylink
1151 Century Tel Dr.
Wentzville, MO 63385
636-332-7261

Charter Communications
941 Charter Commons
Town & Country, MO 63017
636-387-6633

Fire Department
O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO 63366
636-272-3493

Benchmarks Project

RM45 ELEV. 526.16
CHISELED SQUARE ON THE SOUTHEAST WINGWALL OF THE LAKE ST. LOUIS BOULEVARD BRIDGE OVER THE SPILLWAY OF LAKE ST. LOUIS.

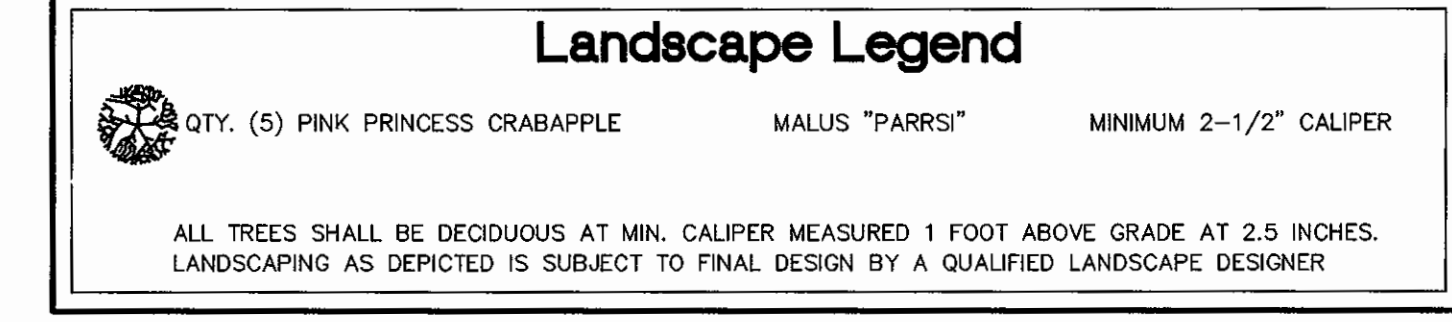
Site

ELEV 545.65
"O" IN OPEN ON TOP OF FIRE HYDRANT AT THE NORTHEAST CORNER OF THE ADJACENT PROPERTY.

Grading Quantities:

1300 C.Y. CUT (INCLUDES SUBGRADE)
400 C.Y. FILL (INCLUDES 8% SHRINKAGE)
900 C.Y. SHORT

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.



Conditions of Approval From Planning and Zoning

1. A photometric plan shall be provided before Construction Plan approval.
2. Provide a calculation to ensure that the metal accents make up no more than 75% of the new building facade fronting I-70.
3. Provide a parking calculation for the entire building.
4. Fabric will not be permitted as a screening method on the fencing.
5. An offsite construction easement will be required for the proposed paving work done offsite.
6. The applicant shall abide by the Municipal Code Requirements listed above.



CALL BEFORE YOU DIG!
1-800-DIG-RITE

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector. Lighting values will be reviewed on site prior to the final occupancy inspection.

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. to 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. to 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 5.31 acres.
The area of land disturbance is 0.99 Acres
Number of proposed lots is one.

Building setback information: Front = 30 feet
Side = 25 feet
Rear = 50 feet

Minimum Lot Width = 75 feet
Minimum Lot Area = 5 acres, unless Industrial District
Maximum Lot Coverage = 50% by structure
Maximum Height = 50 feet

* The estimated sanitary flow in gallons per day is 1,125

* Parking calculations
Warehouse & Storage Facility: 1 space per employee
1 space per 1,000 sq. ft. floor area
Office: 1 space per 300 sq. ft. floor area

11 employees x 1 space = 11 spaces
62,400 sq. ft./1,000 sq. ft. X 1 space = 63 spaces
4,800 sq. ft./300 sq. ft. X 1 space = 16 spaces

Required parking spaces = 90 spaces
Provided parking spaces = 90 spaces (existing)

Loading Spaces: 1 space for gross floor area exceeding 5,000 sq. ft. and
1 space per additional 20,000 sq. ft. gross floor area
1 space + (57,800 sq. ft. - 5,000 sq. ft.)/20,000 sq. ft. x 1 space = 4 spaces

Required loading spaces = 4 spaces
Provided loading spaces = 5 spaces

* Tree preservation calculations
Tree Preservation Requirements: 20% of existing trees or 15 trees per acre (whichever is greater) shall be preserved.
No existing trees within developed area. No tree preservation provided.

* Landscaping Requirements:

1 tree per 40 feet street frontage
164.84 feet developed street frontage/40 feet x 1 tree
Required Trees = 5 trees
Provided Trees = 5 trees

PROJECT TITLE:

C. BENNETT
BUILDING ADDITION
1700 W. TERRA LANE
O'FALLON, ST. CHARLES COUNTY, MISSOURI 63366

ENGINEERING
PLANNING
SURVEYING
221 Point West Blvd.
St. Charles, MO 63001
636-928-6552
FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to this project to be used for any part or parts of the architectural or engineering project or survey.

LARRY DAVID WALKER
NUMBER PE-0070043
PROFESSIONAL ENGINEER
11/10/16
Larry D. Walker
Civil Engineer
Engineers License No. 2007020343

Bax Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #003655
Missouri State Certificate of Authority
Surveying #00144

REVISIONS	
09-13-16	PWSD NO.2 COMMENTS
10-06-16	CITY COMMENTS
10-13-16	CITY COMMENTS
11-01-16	FIRE DIST. COMMENTS
11-10-16	PWSD NO.2 COMMENTS

Developer / Owner:
SHOCKLEY COMMERCIAL
501 FIRST CAPITOL DRIVE, SUITE 5
ST. CHARLES, MISSOURI 63301
(636) 946-9753

COVER SHEET

P+Z No. #4503.01.03
Approved 07-07-16
City No. #16-010181

Page No. 1 of 8

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: Jamie Decker DATE: 11/21/2016
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN