

EXISTING		PROPOSED
	CONTOURS	
	SPOT GRADE	
	TREE LINE	
	TREE	
	BUSH	
	STORM MANHOLE	
	AREA INLET	
	CURB INLET	
	GRATED INLET	
	FLARED END SECTION	
	STORM SEWER	
	GRATED MANHOLE	
	STORM DESIGNATOR	
	DOWNSPOUT	
	DRAINAGE PIPE	
	SWALE/SLOPE INDICATOR	
	SANITARY MANHOLE	
	SANITARY SEWER	
	CLEAN OUT	
	SANITARY DESIGNATOR	
	UTILITY POLE	
	GUIDE WIRE	
	OVERHEAD UTILITY	
	UNDERGROUND ELECTRIC	
	ELECTRIC MARKER	
	ELECTRIC METER	
	ELECTRIC BOX	
	ELECTRIC PULL BOX	
	ELECTRIC TRANSFORMER	
	ELECTRIC MANHOLE	
	UNDERGROUND TELEPHONE	
	FIBER OPTIC MARKER	
	CABLE MARKER	
	GAS LINE	
	GAS VALVE	
	GAS METER	
	GAS MARKER	
	WATER LINE	
	WATER VALVE	
	WATER METER	
	FIRE HYDRANT	
	SIGN	
	MAIL BOX	
	TEST HOLE	
	LIGHT STANDARD	
	FENCE	
	BOLLARD	
	RETAINING WALL	
	CONCRETE PAVEMENT	
	SILTATION FENCE	
	AIR CONDITIONER	
	FLAG POLE	
	MONITORING WELL	
	PARKING METER	
	PLANTER	
	SPRINKLER CONTROL BOX	
	SPRINKLER	
	SPRINKLER VALVE	
	TRAFFIC CONTROL BOX	
	TRAFFIC POLE	
	YARD LIGHT	
	GUARD RAIL	
	PROPERTY LINE	
	EASEMENT	
	SETBACK	

PROJECT BENCHMARK:	NGS PID AA8597 SC-06 NAVD88 ELEVATION 528.97 FEET
SITE BENCHMARK #108:	CUT SQUARE ON A LIGHT POLE BASE IN THE GRASSY AREA IN THE NORTHERN SECTION OF THE SITE. NAVD88 ELEVATION 554.43 FEET.
SITE BENCHMARK #120:	CUT SQUARE ON THE HEADWALL OF THE CONCRETE SWALE WITHIN INTERSTATE 70 RIGHT OF WAY, TO THE SOUTH OF THE SITE. NAVD88 ELEVATION 542.64 FEET.

LOT 3A OF CALEDONIA CENTER AMENDED PLAT TWO
PART OF FRACTIONAL SECTION 13, TOWNSHIP 46 NORTH, RANGE 2 EAST
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

LOCATION MAP

(NOT TO SCALE)

OWNER	=	CPTWO, LLC 17107 CHESTERFIELD AIRPORT RD. SUITE 210 CHESTERFIELD, MO 63005
SITE ADDRESS	=	231 RUSH WAY, O'FALLON, MO 63368 SUITE 101, SUITE 102, & SUITE 103
SITE ACREAGE	=	0.995 AC.±
DISTURBED LAND	=	0.68 AC.±
SCHOOL DISTRICT	=	WENTZVILLE SCHOOL DISTRICT
WATERSHED	=	DARDENNE CREEK
FEMA MAP PANEL	=	29183C0410G, DATE: 01/20/2016 ZONE "X" (AREA OF MINIMAL FLOOD HAZARD)
ESTIMATED SANITARY FLOW	=	900 GPD (60 OCCUPANTS X 15 GPD) (TO BE DETERMINED PRIOR TO FINAL PLAN APPROVAL)

SEWER SERVICE	=	DUCKETT CREEK SANITARY DISTRICT 3550 STATE HWY K O'FALLON, MO 63368 CONTACT: MONY RAWLINGS PH. (636) 441-1244	GAS SERVICE	=	SPIRE 1999 TRADE CENTER DR. ST. PETERS, MO 63376 CONTACT: RICHARD FROCK PH. (816) 472-3489
FIRE DISTRICT	=	WENTZVILLE FIRE DISTRICT 209 WEST PEARCE BLVD. WENTZVILLE, MO 63385 CONTACT: CHRIS CUDDIHEE PH. (636) 332-9869	ELECTRIC SERVICE	=	CUVIRE RIVER ELECTRIC CO 8757 HWY N LAKE ST. LOUIS, MO 63367 CONTACT: DAN SCHNEIDER PH. (636) 695-4741
WATER SERVICE	=	PUBLIC WATER SUPPLY DISTRICT 2 100 WATER DR. O'FALLON, MO 63368 CONTACT: CHUCK KRAKOSKY PH. (636) 561-3737	PHONE SERVICE	=	CENTURY LINK 1151 CENTURYLINK DR. WENTZVILLE, MO 63385 CONTACT: TIM HOWE PH. (636) 445-7055
CABLE SERVICE	=	CHARTER COMMUNICATIONS 101 NORTHWEST PLAZA DR. ST. ANN, MO 63074 CONTACT: LARRY RICHARDSON PH. (314) 393-6295	STORM SEWER	=	CITY OF O'FALLON 100 N. MAIN ST. O'FALLON, MO 63366 PH. (636) 240-2000

REVISIONS

[illegible]

SITE ACREAGE	=	43,353 SF (0.995 AC)
BUILDING ACREAGE	=	6,925 SF (0.159 AC) = 15.97%
PAVEMENT ACREAGE	=	19,223 SF (0.441 AC) = 39.69%
GREEN SPACE ACREAGE	=	17,205 SF (0.395 AC) = 44.34%

EXISTING ZONING	= C-2
PROPOSED ZONING	= C-2
EXISTING USE	= VACANT
PROPOSED USE	= COMMERCIAL
CURRENT OWNERS	= CPTWO, LLC.

PARKING

MINIMUM PARKING REQUIREMENTS (STANDARD - CITY OF O'FALLON)	
REQUIREMENT	1 SPACE PER 300 S.F. FLOOR AREA
FLOOR AREA	6,925 S.F.
CALCULATION	6,925 S.F. * (1 SPACES / 300 S.F.) = 24 SPACES

PARKING DATA

SPACES REQUIRED (TOTAL)	24 SPACES
SPACES PROVIDED (STANDARD)	23 SPACES
SPACES PROVIDED (ACCESSIBLE)	1 SPACES (1 VAN ACCESSIBLE)
SPACES PROVIDED (TOTAL)	24 SPACES

BICYCLE PARKING REQUIREMENTS

REQUIREMENT	1 RACK SPACE PER 15 AUTOMOBILE SPACES (MIN. OF 4 RACK SPACES)
CALCULATION	24 PARKING SPACES / (1 RACK SPACE/15 PARKING SPACES) = 4 RACK SPACES

LOADING REQUIREMENTS

REQUIREMENT	1 SPACE (12'W X 35'L) FOR BUILDINGS OVER 5,000 S.F.
SPACES PROVIDED	1 SPACE (ALL LOADING/UNLOADING WILL TAKE PLACE OUTSIDE OF BUSINESS OPERATING HOURS)

3. ALL SIDEWALKS SHALL BE ADA ACCESSIBLE.
 2. SOIL EROSION CONTROL TO BE IN COMPLIANCE WITH CITY CODE.
 3. SILTATION CONTROL SHALL BE INSTALLED AND PLACED PER CITY OF O'FALLON STANDARDS.
 4. PER FLOOD INSURANCE MAP (FIRM) NUMBER 29183C0410G WITH AN EFFECTIVE DATE OF 01/20/2016, THE ENTIRE SITE LIES WITHIN ZONE X.
 5. UNDERGROUND UTILITIES AND FACILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. TO DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE THEM FROM DAMAGE, CALL MISSOURI ONE CALL (1-800-DIG-RITE) FOR UTILITY LOCATIONS. CONTRACTORS TO PROVIDE THREE DAYS NOTICE. THE CONTRACTOR MUST COMPLY WITH ALL UTILITY LAWS AND PAY ANY AND ALL DAMAGES ASSOCIATED WITH HIS FAILURE TO EXACTLY LOCATE AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
 6. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
 7. THE DEVELOPER WILL BE REQUIRED TO INSTALL THE NECESSARY SEWER LINES, WATER LINES, FIRE HYDRANTS AND DOMESTIC WATER LINES.
 8. BACKFILL PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
 9. FRONT YARD SETBACK REQUIREMENT NOT LESS THAN 25'. NO SIDE YARD OR REAR YARD SETBACK REQUIRED FOR C-2 GENERAL BUSINESS DISTRICT UNLESS ABUTTING RESIDENTIAL OR OFFICE DISTRICT.
 10. ALL SIGNAGE SHALL BE BY A SEPARATE REVIEW AND PERMIT PROCESS.
 11. ALL NATURAL FEATURES AND WATER COURSES SHALL BE LEFT UNDISTURBED.
 12. LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF O'FALLON.
 13. REFER TO PHOTOMETRIC PLAN BY OTHERS FOR LOCATION OF PARKING LOT LIGHTS.
 14. ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE. ROOFTOP UNITS SHALL BE SCREENED BY A PARAPET WALL AROUND THE ENTIRE PERIMETER OF THE BUILDING. THE PARAPET SHALL HAVE A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT MOUNTED ON THE ROOF; GROUND MOUNTED HVAC AND MECHANICAL UNITS SHALL BE SCREENED BY FENCING, VEGETATION, OR SOME OTHER MEANS (APPROVED BY THE PLANNING AND ZONING COMMISSION) THAT HAS A MINIMUM HEIGHT THAT IS AT LEAST A STALL AS THE TALLEST UNIT BEING SCREENED.
 15. STORMWATER DETENTION REQUIREMENTS TO BE HANDLED BY OVERALL CALEDONIA CENTER DEVELOPMENT STORMWATER SYSTEM. REFER TO SHEET C9.0 FOR STORMWATER COMPLIANCE.
 16. SLOPES SHALL NOT EXCEED 3H:1V.
 17. ALL SANITARY LATERALS SHALL BE SCHEDULE 40 PVC.
 18. PLANS ARE IN COMPLIANCE WITH ARTICLE XIII, PERFORMANCE STANDARDS.
 19. PLANS ARE IN COMPLIANCE WITH THE COMPREHENSIVE PLAN.
- UTILITY INFORMATION:

1. THIS APPROVAL IS CONDITIONAL UPON ALL APPLICABLE REQUIREMENTS PROVIDED WITHIN TITLE IV OF THE CITY'S MUNICIPAL CODE BEING ADDRESSED ON THE CONSTRUCTION SITE PLAN.
2. PROVIDE THE REQUIRED NUMBER OF STREET TREES. IF THESE CANNOT BE PROVIDED ALONG HWY 64, PROVIDE WRITTEN PROOF FROM MODOT. IF UNABLE TO PROVIDE THE REQUIRED NUMBER OF STREET TREES, FOUR (4) SHRUBS FOR EVERY FORTY (40) FEET, OR PORTION THEREOF, OF HWY 64 FRONTAGE SHALL BE REQUIRED.
3. PROVIDE FIRE DISTRICT, MDNR, SANITARY, AND WATER DISTRICT APPROVAL.

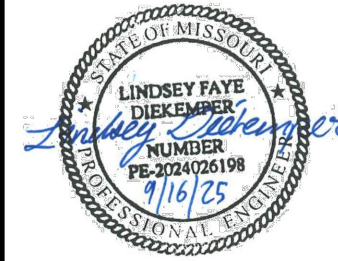
UTILITY INFORMATION:

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

CPTWO, LLC
7 CHESTERFIELD AIRPORT RD.
SUITE 210
CHESTERFIELD, MO 63005



LINDSEY FAYE DIEKEMPER
CIVIL ENGINEER
PE-2024026198
CORPORATE
ENGINEERING
CERTIFICATE #001165

CALEDONIA LOT 3A

231 RUSH WAY
O'FALLON, MO 63368

COVER SHEET

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