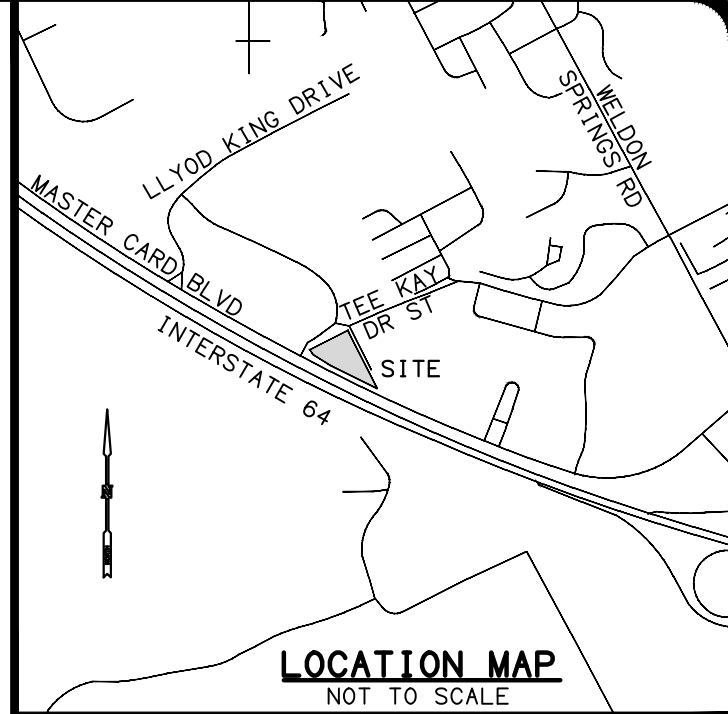


ACREAGE SUMMARY (IN ACRES)	
TOTAL PARCEL AREA	2.19
ON-SITE DISTURBED AREA	2.05
OFF-SITE DISTURBED AREA	0.30
TOTAL DISTURBED AREA	2.35
IMPERVIOUS AREA PRE-CONSTRUCTION (ALLOWABLE - ON-SITE ONLY)	2.19
PERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY)	0.00
IMPERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	1.10
PERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	1.09
IMPERVIOUS AREA DECREASE (ALLOWABLE VS POST) (ON-SITE ONLY)	1.10

LEGEND

SYMBOL	DESCRIPTION
○	BOLLARD
♿	HANDICAPPED SYMBOL
⑨	NUMBER OF PARKING SPACES
□	SITE SIGNAGE
—○—	6' SECURITY FENCE
▨	CONCRETE PAVING/SIDEWALK
▩	HEAVY DUTY CONCRETE*
▧	CITY OF O'FALLON RIGHT-OF-WAY CONCRETE*
▦	HEAVY DUTY ASPHALT*
▤	STANDARD DUTY ASPHALT*
▥	MULTIUSE TRAIL ASPHALT*
—	PAINTED STOP LINE



PROPERTY DATA:
 PIN: 3-57E-8446-00-000200
 ADDRESS: 4000 HWY 40-61 O'FALLON, MISSOURI

FLOOD INFORMATION:
 FLOOD ZONE 'X'
 PER FEMA FIRM PANEL MAP NO. 29183C0430G
 EFFECTIVE DATE: JANUARY 20, 2016

ACREAGE SUMMARY AND PARKING SUMMARY:

ACREAGE SUMMARY:
 PARCEL: #200 AC.
 PARCEL ADDITION: #019 AC.
 TOTAL NEW PARCEL: #219 AC.
 GROSS FLOOR AREA: #1582 SF.

AUTOMOBILE PARKING SUMMARY:
 REQUIRED: 1 SPACE PER 500 SF. OF GROSS FLOOR AREA TOTAL SF. = 1582 / 500 = 23 SPACES
 PROVIDED: *23 CUSTOMER SPACES
 52 STORAGE SPACES PROVIDED
 2 ADA SPACES PROVIDED
 TOTAL: 75 SPACES

BIKE PARKING SUMMARY:
 REQUIRED: 1 SPACE PER 15 AUTOMOBILE PARKING SPACES * 23 PARKING SPACES / 15 = 153 SPACES (MINIMUM OF 4 PER CODE)
 PROVIDED: 4 BIKE PARKING SPACES
 2 SPACES PER HOOP
 2 HOOPS PROVIDED (4 SPACES)

NOTES:

- ALL PARKING SPACES SHOWN ON THE PLANS ARE PROPOSED AND ARE 9' IN WIDTH BY 19' IN LENGTH.
- GATES FOR STORAGE PARKING SPACES WILL REMAIN OPEN DURING BUSINESS HOURS TO ALLOW FOR OVERFLOW PARKING (SHOULD IT BE NEEDED).
- TOTAL NUMBER OF ADA PARKING SPACES IS TO BE RESULT OF THE NUMBER OF CUSTOMER SPACES PROVIDED AND NOT TOTAL SPACES PROVIDED.
- THE PROPOSED USE OF THE PROPERTY IS FOR AN AUTO BODY COLLISION REPAIR FACILITY. ALL THE PROPOSED PARKING SPACES ARE FOR CUSTOMER OR EMPLOYEE VEHICLES.

ZONING AND SETBACKS:

ZONING:
 C-2 - GENERAL BUSINESS

BUILDING SETBACK LINES:
 FRONT: 30'
 SIDE: 30'
 REAR: 20'

KEYNOTES:

- 24' WHITE THERMOPLASTIC PAINT STOP BAR (SEE DETAILS)
- ACCESSIBLE PARKING (SEE DETAIL)
- TYPE A ACCESSIBLE SIDEWALK RAMP (SEE DETAIL)
- DUMPSTER PAD
- NEW SIDEWALK (SEE DETAIL AND PLAN FOR WIDTH)
- 6' DIAMETER BOLLARD (SEE DETAIL)
- TIE TO EXISTING CONCRETE PAVING & ENSURE SMOOTH TRANSITION
- TERMINATE CURB AND GUTTER
- HANDICAP PARKING SIGN IN 6' BOLLARD (SEE DETAIL)
- 6' DECORATIVE VINYL SECURITY FENCE (SEE DETAIL)
- SITE LIGHTING (RE: PHOTOMETRIC PLAN)
- ACCESSIBLE SPACE WITH SIGN 'VAN' INDICATES VAN ACCESSIBLE SIGN MOUNTED IN BOLLARD, SEE DETAIL
- MANUAL GATE, RE-ARCH FOR GATE DETAIL
- TYPE 'A' 18" CURB AND GUTTER (SEE DETAIL)
- SITE SIGN, PERMITTED SEPARATELY BY OTHERS
- KNOX BOX (RE: ARCH)
- 6-FT MASONRY DUMPSTER ENCLOSURE (RE: ARCH FOR DETAIL)
- 186" X 61" GAS CLEAR SPACE AREA
- 160" X 54" ELECTRICAL CLEAR SPACE AREA
- CONCRETE TRANSFORMER PAD (SEE DETAIL)
- RAISED CONCRETE ISLAND - SEE DETAIL
- EXISTING CONCRETE CONTRACTION JOINT. NOT SURVEYED. LOCATION SHOWN IS APPROXIMATE AND IS SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- 10' ASPHALT MULTI-USE PATH (SEE DETAIL THIS SHEET)
- PAINTED TRAFFIC ARROW (SEE DETAIL)
- HEAVY DUTY INVERTED U BIKE RACK (2 HOOPS)
- 5' ADA ACCESS CROSSWALK (SEE DETAIL)
- THE PROPOSED MONOLITHIC CURB TO EXISTING CURB
- TYPE B ACCESSIBLE SIDEWALK RAMP (SEE DETAIL)
- THE PROPOSED CONCRETE SIDEWALK TO EXISTING SIDEWALK
- EXISTING HYDRANT TO REMAIN
- RELOCATED EXISTING HYDRANT
- POST WITH STOP SIGN AND 'NO LEFT TURN' SIGN (SEE DETAIL). REFERENCE GENERAL NOTES SHEET IN THIS PLAN SET FOR PAINT REQUIREMENTS PER THE CITY OF O'FALLON.
- TYPE C ACCESSIBLE SIDEWALK RAMP (SEE DETAIL)
- 7" THICK PORTLAND CEMENT CONCRETE PAVING. CONTRACTOR SHALL REPLACE EACH SECTION OF DISTURBED PAVEMENT TO THE NEXT CONTRACTION JOINT.
- 6' CONCRETE MONOLITHIC CURB PER THE CITY OF O'FALLON'S STANDARDS & REQUIREMENTS (SEE DETAIL)

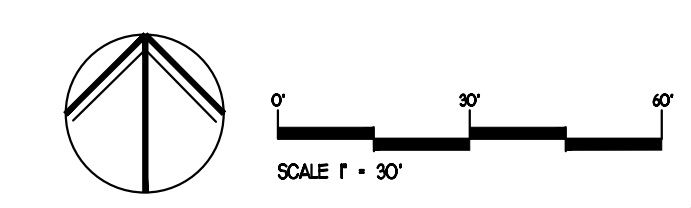
SITE NOTES:

- CONTRACTOR SHALL REFER TO THE CALIBER COLLISION ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, AND FOR THE EXACT LOCATION OF UTILITY ENTRANCES, ROOF LEADERS, EXIT DOORS, EXIT STOOPS, ETC.
- ALL DIMENSIONS ARE TO BUILDING FACE, FACE OF CURB, CENTERLINE OF PARKING, OR EDGE OF SIDEWALK UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- ALL STRIPING SHALL BE WHITE, 4" WIDE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE MONUMENT SIGN WITH CALIBER COLLISION.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF O'FALLON REGULATIONS AND CODES AND OSHA STANDARDS.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS NOTED OTHERWISE.
- EXISTING SITE IMPROVEMENTS WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY HERDEMAN ASSOCIATES, INC. UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY ASPHALT.
- ALL HANDICAP SPACES ARE TO RECEIVE A HANDICAP SIGN ALL HANDICAPPED STALLS SHALL BE PER CITY OF O'FALLON STANDARDS. SPACES MARKED 'VAN' SHALL RECEIVE A 'VAN ACCESSIBLE' SIGN.
- STOP SIGNS SHALL MEET THE CRITERIA OF THE STATE OF MISSOURI DEPT. OF TRANSPORTATION AND MUTCD STANDARDS.
- ALL PARKING SPACES ARE TO BE 90' WIDE AND 90' TYPICAL UNLESS NOTED OTHERWISE.
- LIGHT POLES ARE SHOWN FOR REFERENCE ONLY. RE: PHOTOMETRIC PLAN.

PAINTING STRIPING LEGEND

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
 SWSL/6" - SINGLE WHITE SOLID LINE / 6" WIDE
 DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE

SITE PLAN



COMMERCIAL DRIVEWAY TO CORPORATE CENTER DRIVE SHALL MATCH THE THICKNESS OF THE EXISTING ROADWAY PAVEMENT. THIS SHALL BE A MINIMUM OF 7 INCH PCC PAVEMENT AND SHALL BE POURED USING AN APPROVED EMPC PCC MIX WITHIN THE CITY'S RIGHT-OF-WAY.

CONTRACTOR SHALL USE EXTREME CAUTION WHILE WORKING UNDERNEATH OVER-HEAD POWER LINES. ANY DAMAGE TO THE EXISTING UTILITY POLES AND UTILITY LINES SHALL BE REPAIRED/REPLACED AT THE CONTRACTOR'S EXPENSE.

BUILDING DIMENSIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY PER THE CITY OF O'FALLON'S SITE PLAN REQUIREMENTS. REFERENCE THE ARCHITECTURAL PLANS PREPARED BY OXFORD ARCHITECTURE FOR DETAILED PLANS AND DIMENSIONS OF THE PROPOSED BUILDING.

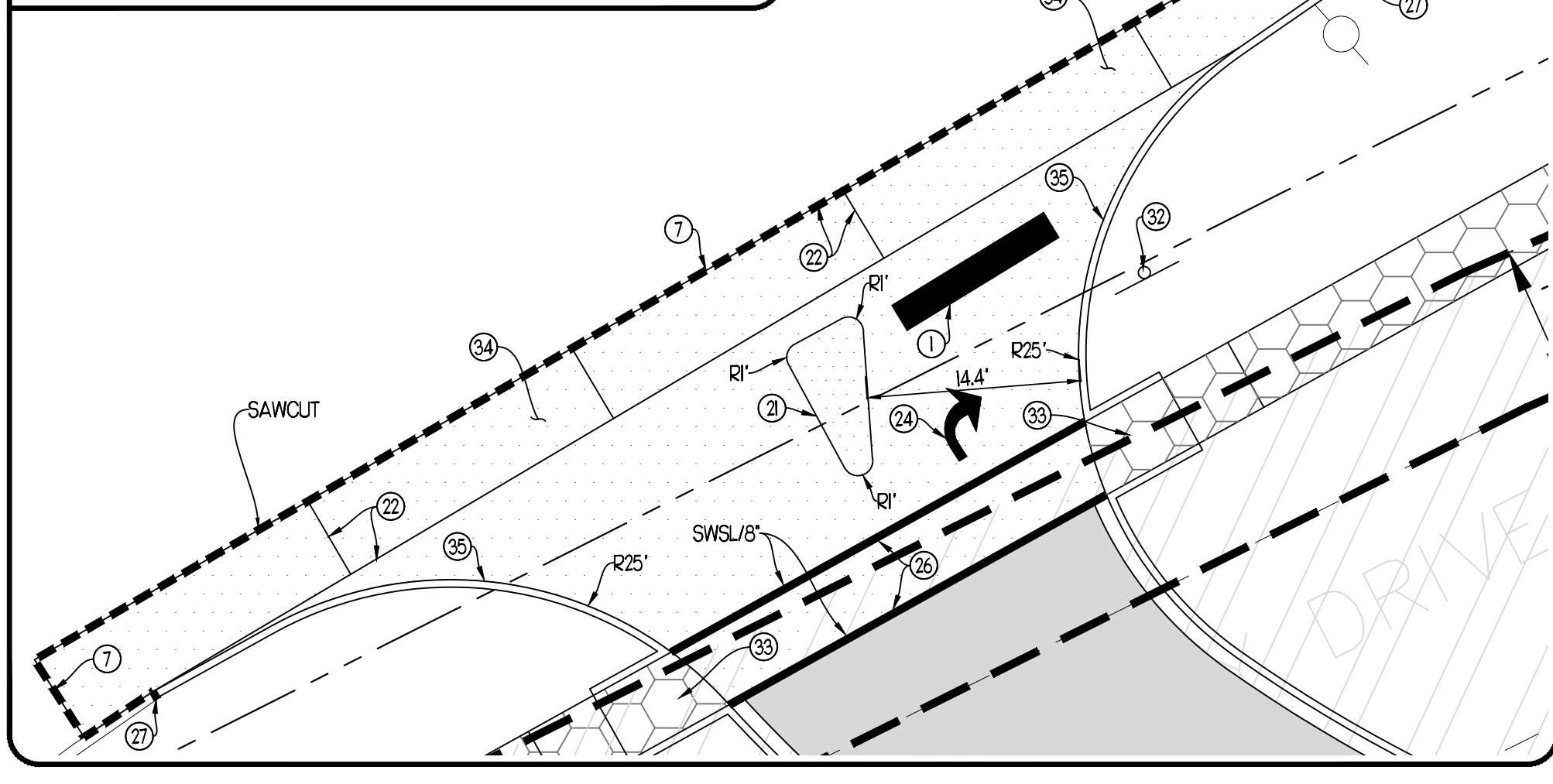
ZONING AND LAND USES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY PER THE CITY OF O'FALLON'S SITE PLAN REQUIREMENTS. LAND USES SHOWN ARE AS OF THE DATE OF THIS PLAN SET.

PROPOSED STORMWATER MANAGEMENT:

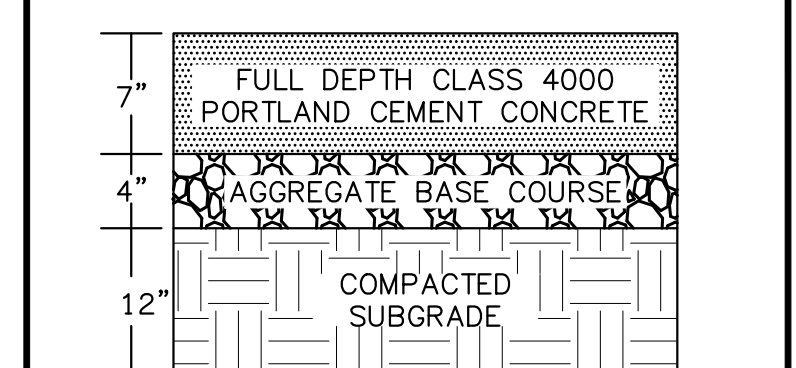
STORMWATER QUANTITY DETENTION FOR THIS PROPOSED DEVELOPMENT WILL BE HANDLED VIA THE EXISTING PERKINSON POINTE REGIONAL DETENTION BASIN.

AN ON-SITE PROPRIETARY STORMWATER DEVICE WILL BE INSTALLED TO TREAT WATER QUALITY.

3/4 RESTRICTED ACCESS DRIVEWAY AND CONCRETE ISLAND INSET.
 (RIGHT IN, RIGHT OUT, LEFT IN, NO LEFT OUT)
 SCALE: 1" = 10'



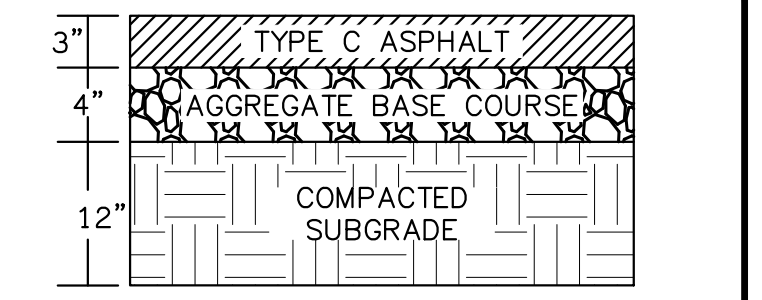
CORPORATE CENTER DRIVE CONCRETE PAVEMENT DETAIL



NOTE:

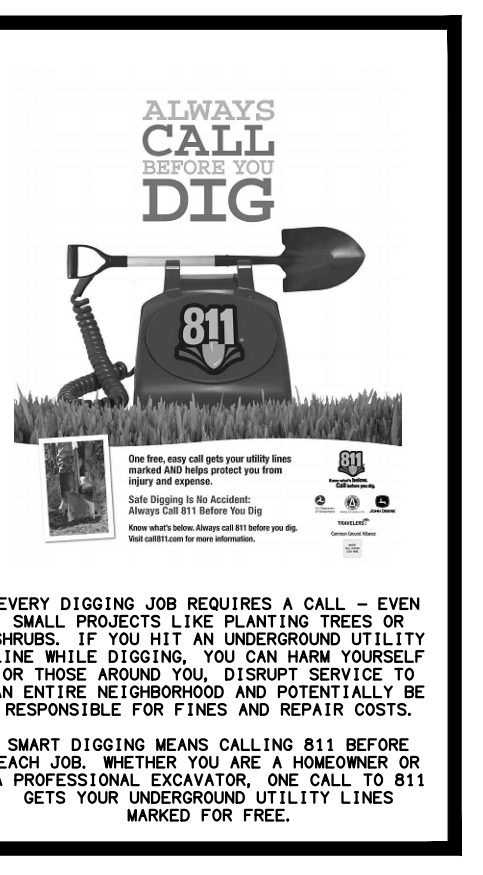
- THIS DETAIL IS TO BE USED FOR THE CONCRETE DRIVEWAY APRON & PANELS TO BE REPLACED IN THE CORPORATE CENTER DRIVE RIGHT-OF-WAY.
- PRODUCTION, PLACEMENT, AND PERFORMANCE OF CONCRETE SHALL CONFORM TO ALL MODOT AND AASHTO STANDARDS AND SPECIFICATIONS.
- ALL NON-REINFORCED CONCRETE SHALL BE 4000 PSI AT 28 DAYS.

ASPHALT MULTI-USE TRAIL DETAIL



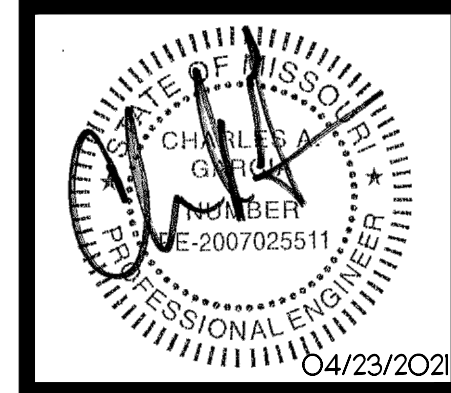
NOTE:

- THIS DETAIL IS TO BE USED FOR THE MULTI-USE ASPHALT TRAIL ALONG U.S. HIGHWAY 40-61.
- THE ACCESSIBLE RAMP ON THE TRAIL AT CORPORATE CENTER DRIVE IS TO BE PORTLAND CEMENT CONCRETE PER THE CITY OF O'FALLON'S STANDARDS. REFERENCE DETAIL FOR CONCRETE FOR THE DRIVEWAY ON CORPORATE CENTER DRIVE THIS SHEET.



REVISIONS	BY

PLANS PREPARED BY:
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CALIBER COLLISION
 700 CORPORATE CENTRE DRIVE
 O'FALLON, MO 63368
 CROSS DEVELOPMENT CO. OF O'FALLON, LLC.
 4838 MARSH RIDGE ROAD
 O'FALLON, IL 62450
 TEL: (214) 614-8252

DRAWN	BAC
CHECKED	TMB
DATE	03/19/2021
SCALE	SCALE
DRAWING	10