

A SITE PLAN FOR RESUBDIVISION OF ALL OF LOTS 1,2,3, AND 4 OF RESUBDIVISION OF CHARLESTOWN WEST INDUSTRIAL PARK

PART OF U.S. SURVEY 1780,
PART OF FRACTIONAL SECTIONS 25 & 26,
TOWNSHIP 47 NORTH, RANGE 2 EAST
ST. CHARLES COUNTY, MISSOURI

APPROVED
Contingent upon concrete encasing
both the sanitary + storm sewer
where they cross between EX-105
to MH 104.
6/12/97
Colleen Krammel

GENERAL NOTES

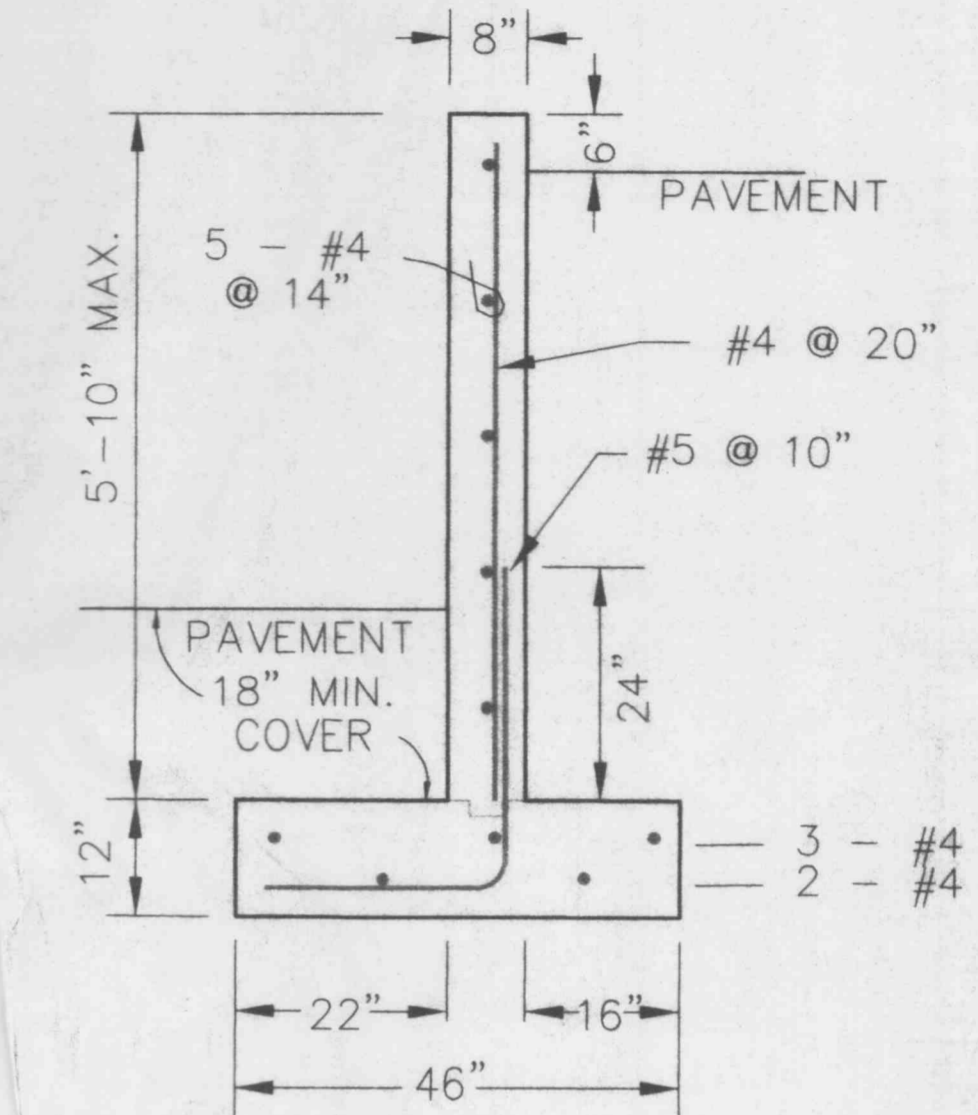
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL MANHOLES AND INLET TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- STORM SEWERS 18" DIAMETER AND SMALLER SHALL BE A.S.T.M. C-14 UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL, AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE PLANS.
- ALL GRADING PERFORMED SHALL BE DONE IN COMPLIANCE WITH CITY OF O'FALLON.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- THE DEVELOPER SHALL COMPLY WITH THE CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCE.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- NO FLOOD PLAIN EXISTS WITHIN THE BOUNDARY OF THIS TRACT PER F.I.R.M. #29183C0210, E. DATED: AUGUST 2, 1996.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL UTILITIES TO BE LOCATED UNDERGROUND.
- THE MINIMUM LANDSCAPE SIZE FOR DECIDUOUS IS 2" CALIPER AND FOR CONIFEROUS IS 6".
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- CONTRACTOR TO NOTIFY THE CITY OF O'FALLON 48 HOURS PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
- PRIOR TO CONSTRUCTION PLAN APPROVAL OWNER AND CONTRACTOR TO PROVIDE APPROPRIATE LIGHTING INFORMATION SUCH AS DOWNCASTING, WATTAGE, SPREAD, AND TYPE OF SCREENING.
- ALL PEDESTRIAN WALKWAYS TO BE HANDICAPPED ACCESSIBLE.
- CONTRACTOR AND OWNER SHALL COMPLY WITH ARTICLE 26 OF THE CITY OF O'FALLON ZONING ORDINANCE.
- CONTRACTOR TO ASSURE THE MOVEMENT OF VEHICULAR AND PEDESTRIAN TRAFFIC WITHIN THE SITE AND IN RELATION TO ACCESS STREETS SHALL BE SAFE AND CONVENIENT.
- OWNER TO ASSURE THAT PROVISIONS ARE MADE SO THAT THE PROPOSED DEVELOPMENT WILL NOT BE HARMFUL TO THE EXISTING AND FUTURE USES IN THE IMMEDIATE AREA AND VICINITY.
- PRIOR TO CONSTRUCTION OF FENCING, A SEPARATE PERMIT WILL BE REQUIRED.
- NO LONG TERM STORAGE OF VEHICLES WILL BE ALLOWED.
- GRADING MUST BE IN COMPLIANCE WITH THE MODEL SEDIMENT & EROSION CONTROL REGULATIONS FOR URBAN DEVELOPMENT BY THE ST. CHARLES SOIL AND WATER CONSERVATION DISTRICT.
- ALL PROPERTIES WITHIN 100 YARDS OF SITE ARE ZONED I-1.
- COVENANTS AND RESTRICTIONS FOR THE SUBDIVISION, INCLUDING MAINTENANCE OF THE DETENTION BASIN WILL BE INCLUDED WITH THE CONSTRUCTION PLANS.

DEVELOPMENT NOTES LOT B (ORIGINAL LOTS 1 & 2)

- AREA OF TRACT: 1.039 ACRES
- PRESENT ZONING: I-1 LIGHT INDUSTRIAL DISTRICT
- PROPOSED USE: OFFICE/WAREHOUSE
- SITE IS LOCATED IN/SERVED BY:
CITY OF O'FALLON SEWERS
ST. CHARLES COUNTY PWSO #2
GTE TELEPHONE CO.
UNION ELECTRIC COMPANY
ST. CHARLES GAS COMPANY
O'FALLON FIRE PROTECTION DISTRICT
- MINIMUM BUILDING SETBACKS:
FRONT YARD - 30'
SIDE YARD - 20'
REAR YARD - 35'
- PARKING REQUIRED: 1 SPACE PER WAREHOUSE EMPLOYEE PLUS
1 SPACE PER 400 SQUARE FEET OF OFFICE SPACE.
2,400 S.F. OFFICE AREA / 400 S.F. = 6 + 10 EMPLOYEES = 16 SPACES REQUIRED.
- PROPOSED PARKING PROVIDED = 21 SPACES WITH 1 HANDICAP SPACES
- LANDSCAPING REQUIREMENTS: 1 TREE PER 40' OF ROAD FRONTAGE PLUS
1 TREE PER 4,000 OF OPEN SPACE.
18,588 S.F. OF GREEN SPACE/4,000 S.F. = 5 TREES
PROPOSED LANDSCAPING: 336' OF ROAD FRONTAGE/40 = 8 TREES
13 TREES REQUIRED
18 TREES PROVIDED
- PROPERTY OWNER: JOHN SHELTON
ROUTE 3, BOX 37
MONTGOMERY CITY, MO 63361
(573) 564-3498
- DETENTION ANALYSIS:
DESIGN TO BE PROVIDED ON CONSTRUCTION PLAN
A BASIN WILL BE PROVIDED FOR THE DETENTION REQUIREMENTS OF LOTS 1 THROUGH 5. DETENTION WILL BE LOCATED IN THE REAR OF LOTS 1 AND 2.
- REQUIRED LANDSCAPE AREA = 11,887 SQ. FT. • 6% = 713 SQ. FT.
AREA 1 = 105 SQ. FT., AREA 2 = 351 SQ. FT., AREA 3 = 270 SQ. FT., AREA 4 = 78 SQ. FT., AREA 5 = 176 SQ. FT., TOTAL = 980 SQ. FT.

DEVELOPMENT NOTES LOT C (ORIGINAL LOTS 3 & 4)

- AREA OF TRACT: 0.574 ACRES
- PRESENT ZONING: I-1 LIGHT INDUSTRIAL DISTRICT
- PROPOSED USE: OFFICE/WAREHOUSE
- SITE IS LOCATED IN/SERVED BY:
CITY OF O'FALLON SEWERS
ST. CHARLES COUNTY PWSO #2
GTE TELEPHONE CO.
UNION ELECTRIC COMPANY
ST. CHARLES GAS COMPANY
O'FALLON FIRE PROTECTION DISTRICT
- MINIMUM BUILDING SETBACKS:
FRONT YARD - 30'
SIDE YARD - 20'
REAR YARD - 35'
- PARKING REQUIRED: 1 SPACE PER WAREHOUSE EMPLOYEE PLUS
1 SPACE PER 400 SQUARE FEET OF OFFICE SPACE.
2,400 S.F. OFFICE AREA / 400 S.F. = 6 + 3 EMPLOYEES = 9 SPACES REQUIRED.
- PROPOSED PARKING PROVIDED = 9 SPACES WITH 1 HANDICAP SPACE
- LANDSCAPING REQUIREMENTS: 1 TREE PER 40' OF ROAD FRONTAGE PLUS
1 TREE PER 4,000 OF OPEN SPACE.
11,099 S.F. OF OPEN SPACE/4,000 S.F. = 3 TREES
PROPOSED LANDSCAPING: 178.54' OF ROAD FRONTAGE/40 = 4 TREES
7 TREES REQUIRED
7 TREES PROVIDED
- PROPERTY OWNER: JOHN SHELTON
ROUTE 3, BOX 37
MONTGOMERY CITY, MO 63361
(573) 564-3498
- DETENTION ANALYSIS:
DESIGN TO BE PROVIDED DURING CONSTRUCTION PLAN
A BASIN WILL BE PROVIDED FOR THE DETENTION REQUIREMENTS OF LOTS 1 THROUGH 5. DETENTION WILL BE LOCATED IN THE REAR OF LOTS AND 2.



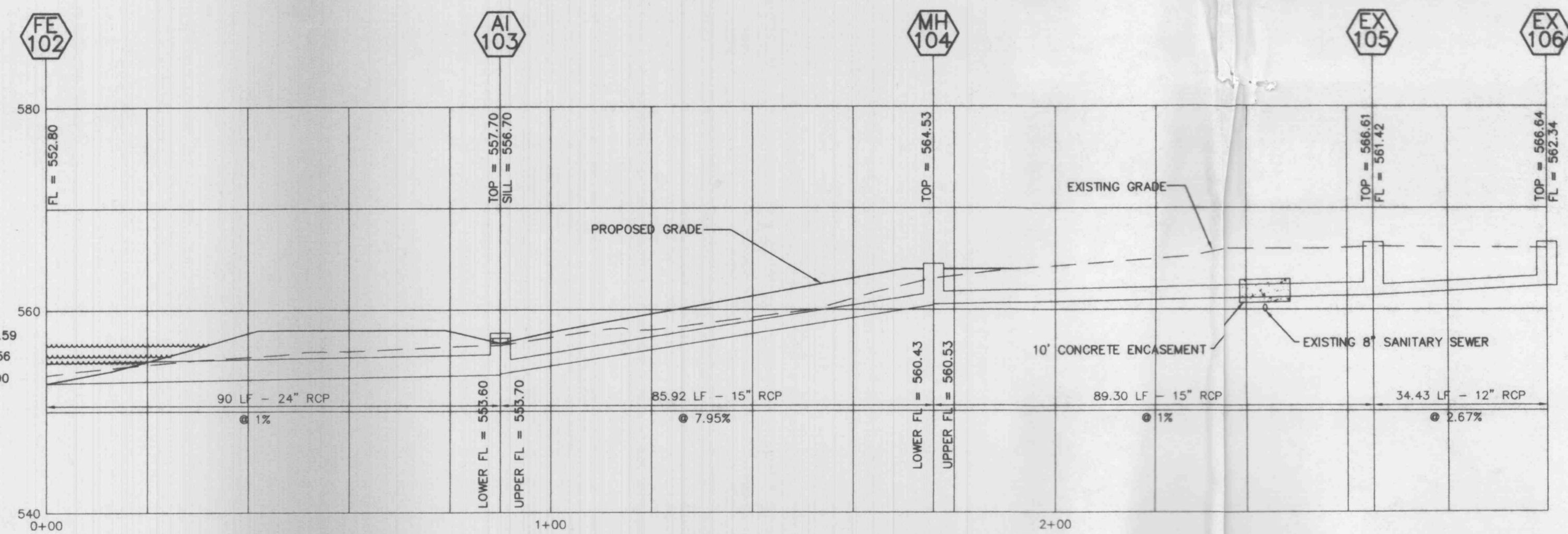
RETAINING WALL DETAIL
SECTION "A-A"
SCALE: NONE

SITE COVERAGE CALCULATIONS LOT B (ORIGINAL LOTS 1 & 2)

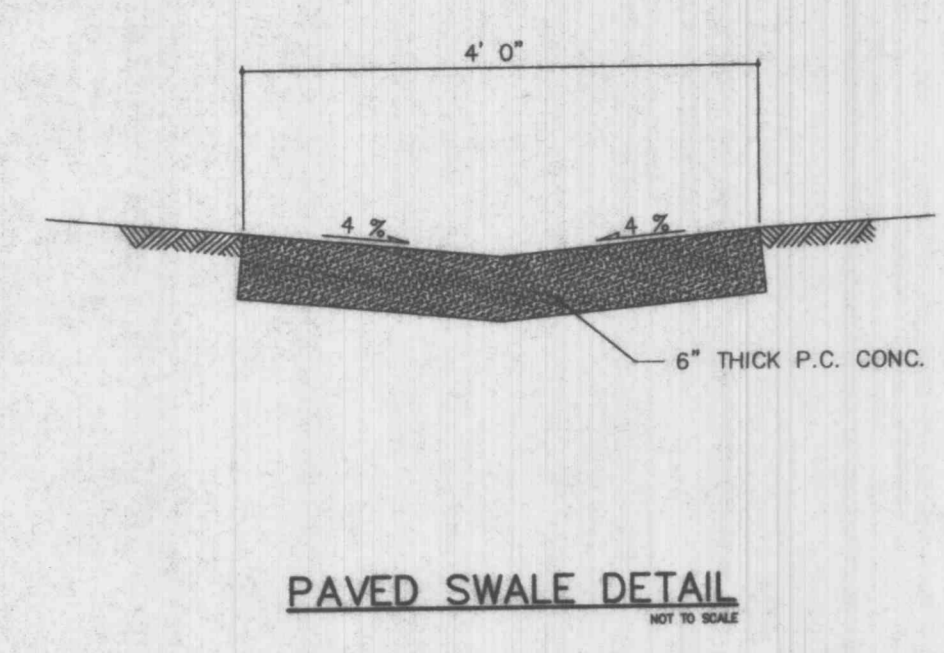
BUILDING: = 8,800 SQ. FT. - 19.4%
PAVEMENT: = 11,665 SQ. FT. - 25.8%
GREEN SPACE: = 18,588 SQ. FT. - 41.1%
DETENTION BASIN: = 6,205.84 SQ. FT. - 13.7%

SITE COVERAGE CALCULATIONS LOT C (ORIGINAL LOTS 3 & 4)

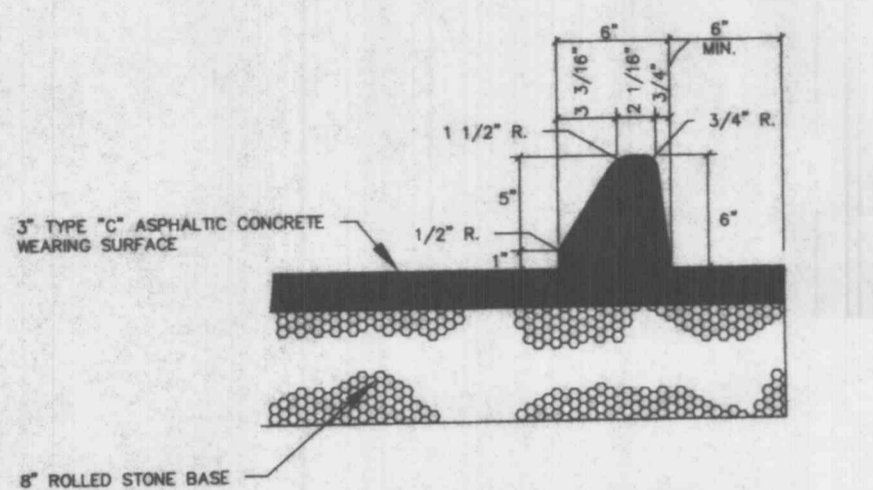
BUILDING: = 4,900 SQ. FT. - 42.3%
PAVEMENT: = 4,157 SQ. FT. - 36.0%
GREEN SPACE: = 2,515 SQ. FT. - 21.7%



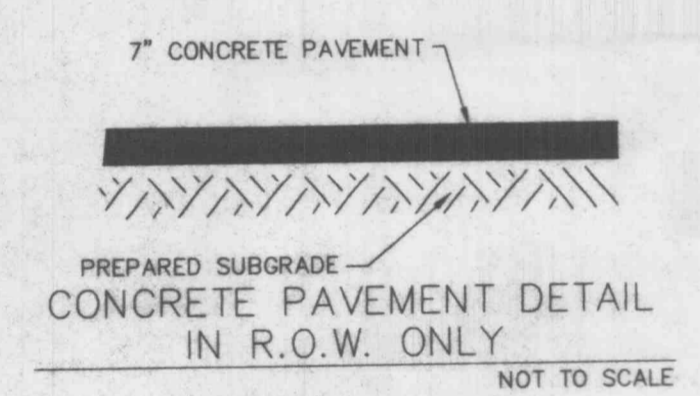
STORM SEWER PROFILE



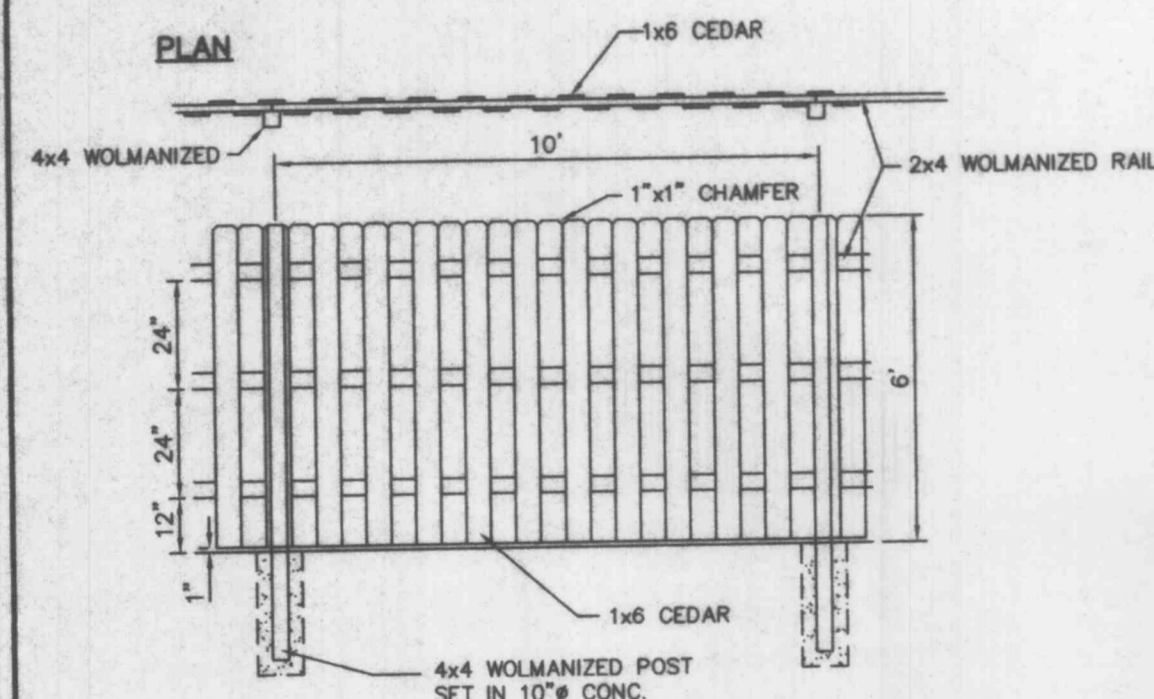
PAVED SWALE DETAIL
NOT TO SCALE



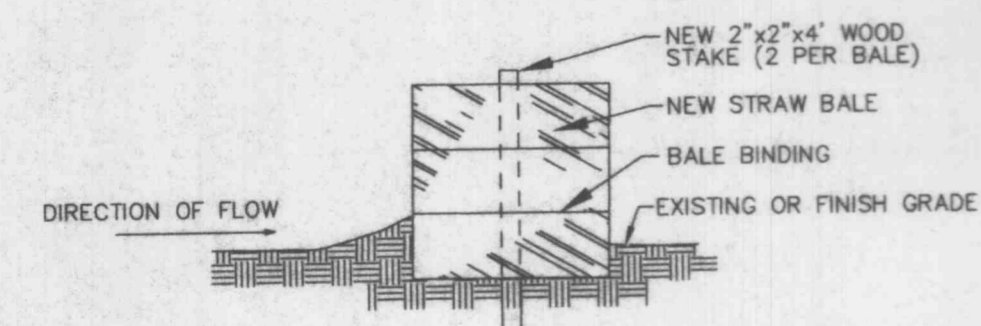
ASPHALT CURB & PAVEMENT DETAIL
N.T.S.



CONCRETE PAVEMENT DETAIL
IN R.O.W. ONLY
NOT TO SCALE

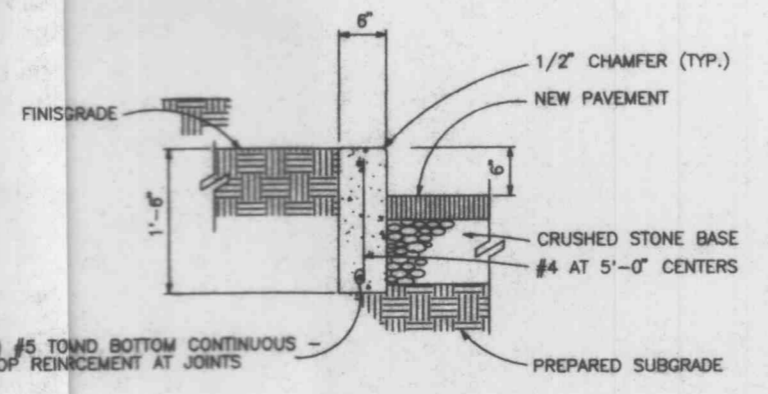


SCREEN FENCE DETAIL
NOT TO SCALE



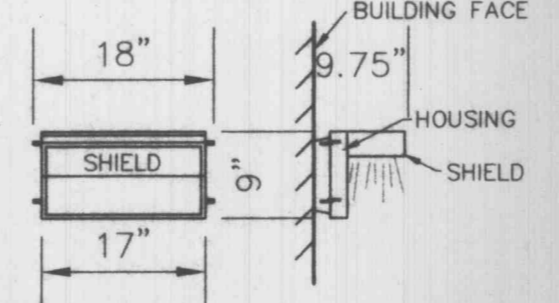
- NOTES:
- STRAW BALES, NOT HAY BALES SHALL BE USED
 - BUTT ENDS OF BALES TIGHTLY TOGETHER.
 - INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
 - FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.

SEDIMENT BARRIER
NOT TO SCALE



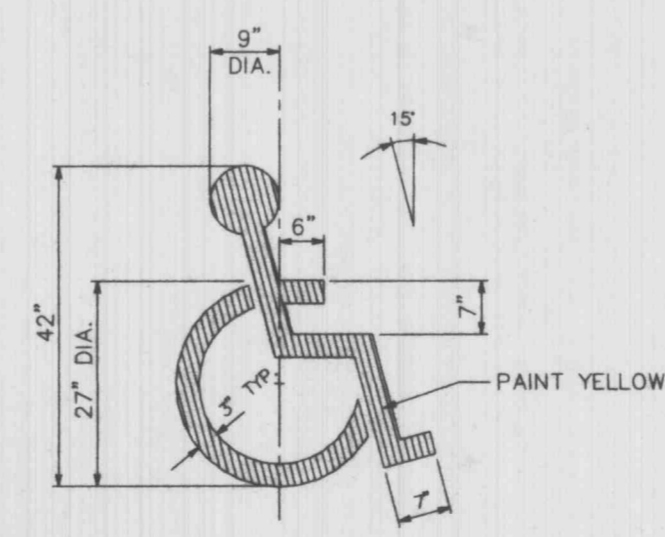
CONCRETE CURB DETAIL
NOT TO SCALE

LIGHT TO BE SHIELDED DOWNWARD TO BE KEPT FROM OVERFLOW ONTO ADJACENT PROPERTIES AND R.O.W.



SPECIFICATIONS:
HIGH IMPACT, HEAT RESISTANT PRISMATIC BOROSILICATE GLASS DIFFUSER HOUSED IN A DIE CAST ALUMINUM LENS FRAME.
250 WATT HIGH PRESSURE SODIUM LAMP SEALED WEATHER RESISTANT HOUSING

BUILDING MOUNTED LIGHT
NOT TO SCALE



PAINTED HANDICAPPED PARKING SYMBOL
NOT TO SCALE

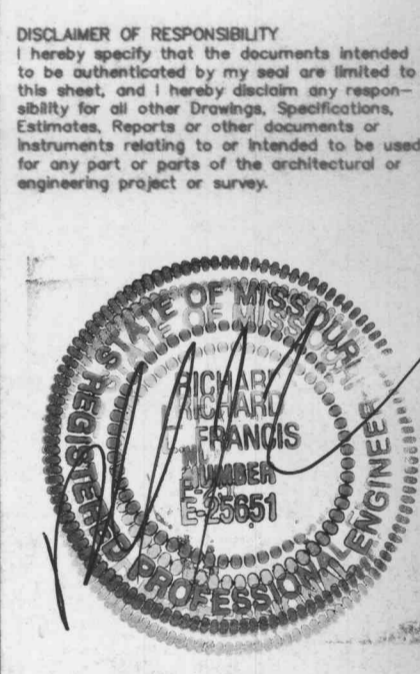


HANDICAP PARKING SIGN
NOT TO SCALE

LANDSCAPE LEGEND

- 14 - PATMORE SEEDLESS ASH (2" CAL.)
- 6 - FLOWERING CRABAPPLE (2" CAL.)
- 5 - JAPANESE YEW

PREPARED FOR:
JOHN SHELTON
ROUTE 3, BOX 37
MONTGOMERY CITY, MO
573-564-3498



DATE	REVISIONS
3/17/97	CITY COMMENTS
3/19/97	CITY COMMENTS
4/18/97	CON. PLANS
5/14/97	REV. CON.



ENGINEERING
PLANNING
SURVEYING
1052 South Cloverleaf Drive
St. Peters, MO. 63376-8445
314-928-6552
FAX 928-1718

2-7-97
DATE
96-8569
PROJECT NUMBER
1 OF 3
SHEET OF
8569CON.DWG
FILE NAME
RJS RLF
DRAWN CHECKED