

# A SET OF CONSTRUCTION PLANS FOR CHICK-FIL-A - O'FALLON, MO (#2645)

## Legal Description

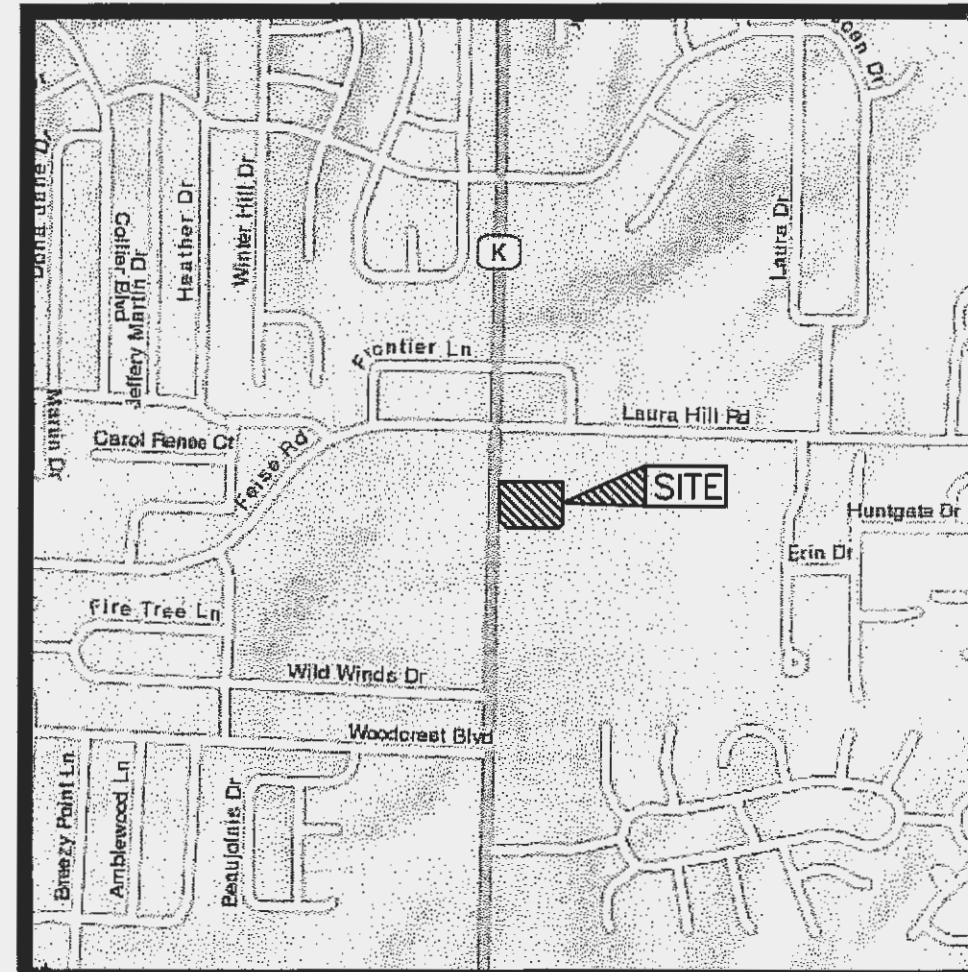
PARCEL NO. 1

OUTLOT 2 OF THE SHOPS AT LAURA HILL, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 36 PAGE(S) 40 OF THE ST. CHARLES COUNTY RECORDS.

PARCEL NO. 2

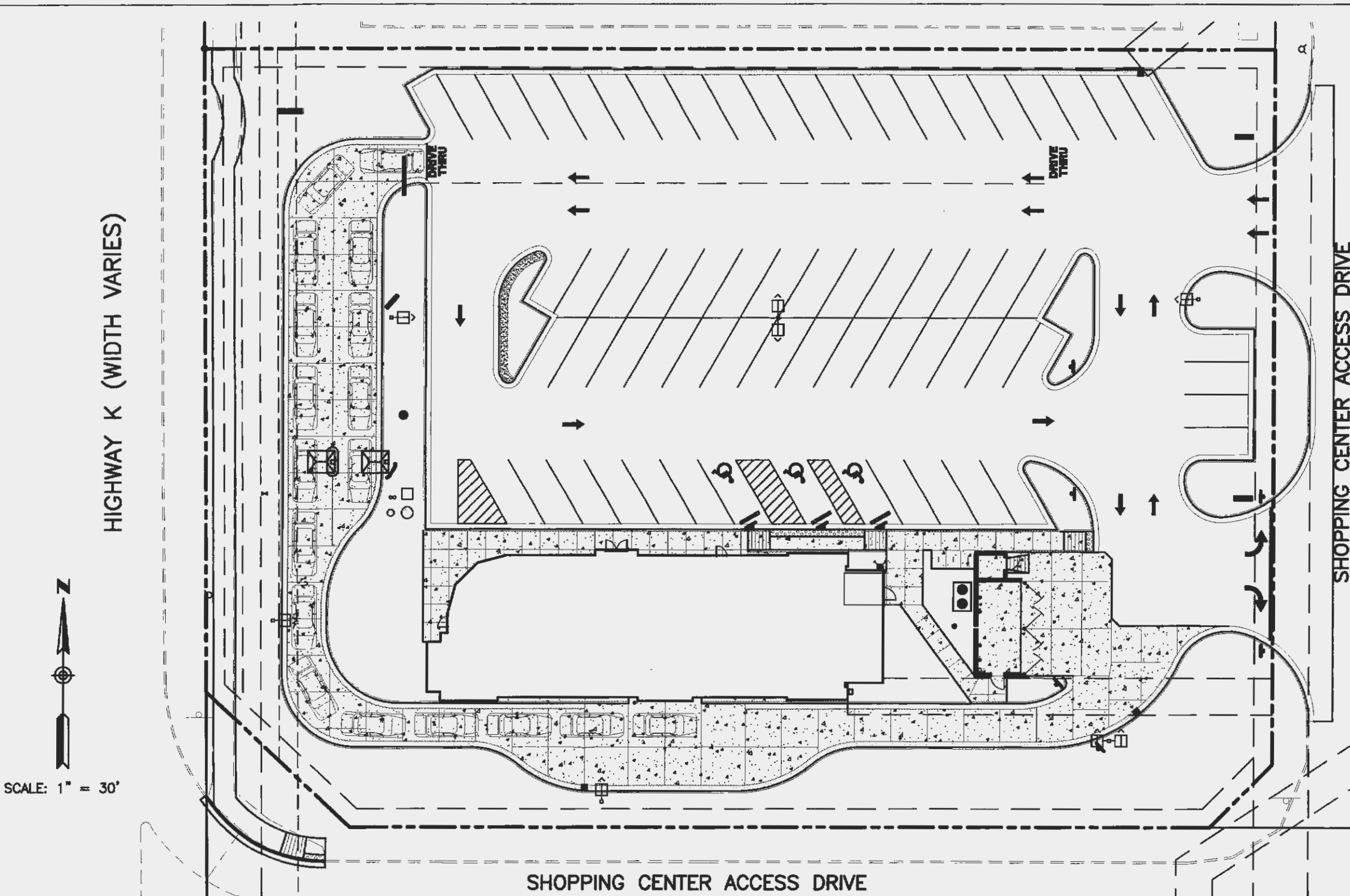
NON-EXCLUSIVE EASEMENT AS CREATED BY OPERATION EASEMENT AGREEMENT RECORDED IN BOOK 2224 PAGE 679.

THE ABOVE DESCRIPTION DESCRIBES THAT SAME PROPERTY IN CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 020102060 DATED JUNE 25, 2010.



Locator Map

SCALE: 1" = 85'



Plan View

## Drawing Index

DESCRIPTION	SHEET NO.
CITY OF O'FALLON COVER SHEET	C-0.0
CITY OF O'FALLON COMMERCIAL NOTES	C-0.1
CITY OF O'FALLON EROSION CONTROL DETAILS	C-0.2
CITY OF O'FALLON STORM AND SANITARY DETAILS	C-0.3
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CITY OF O'FALLON PAVEMENT DETAILS	C-0.7
EXISTING CONDITIONS PLAN	C-1.0
DEMOLITION PLAN	C-1.1
SITE PLAN	C-2.0
GRADING PLAN	C-3.0
EROSION CONTROL PLAN (SWP3)	C-3.1
EROSION CONTROL DETAILS	C-3.2
DRAINAGE PLAN	C-3.3
CHICK-FIL-A CIVIL CONSTRUCTION DETAILS	C-4.0
CHICK-FIL-A CIVIL CONSTRUCTION DETAILS	C-4.1
CHICK-FIL-A CIVIL CONSTRUCTION DETAILS	C-4.2
CIVIL CONSTRUCTION DETAILS	C-5.0
STORM & SANITARY PROFLES	C-5.1
CIVIL CONSTRUCTION DETAILS	C-5.2
PLUMBING SITE PLAN	PS-1.0
LANDSCAPE PLAN	L-1.0

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
 7:00 A.M. To 7:00 P.M. Monday Through Sunday  
 June 1 Through September 30  
 6:00 A.M. To 8:00 P.M. Monday Through Friday  
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is 1.41 acres.

The area of land disturbance is 1.46 acres.

Number of proposed lots is 1.

Building setback information. Front 25'

Side 0'

Rear 10'

\* The estimated sanitary flow in gallons per day is 1,500

\* Parking calculations

### PARKING REQUIREMENTS

20 SPACES + 1 SPACE PER 100 S.F. OF GROSS FLOOR AREA OF BUILDING AND PATIO

BUILDING GROSS FLOOR AREA 4,275 S.F.  
 PATIO GROSS FLOOR AREA 0 S.F.  
 TOTAL GROSS FLOOR AREA 4,275 S.F.

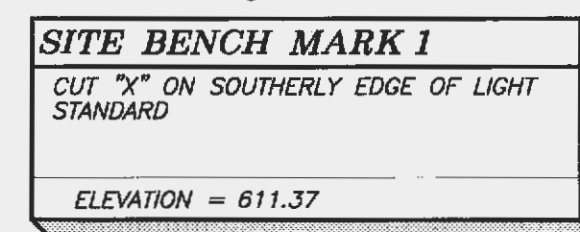
20 SPACES + 4,275 S.F. / 100 S.F. X 1 SPACE = 62.75 SPACES  
 TOTAL SPACES REQUIRED = 63 SPACES

### PARKING PROVIDED

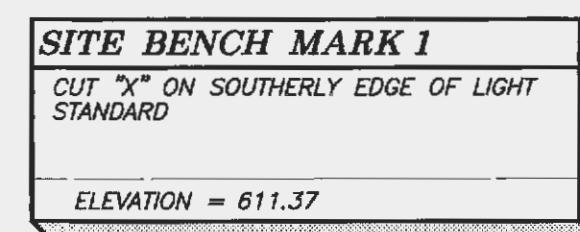
REGULAR SPACES = 69 SPACES  
 HANDICAP SPACES = 3 SPACES  
 TOTAL SPACES PROVIDED = 72 SPACES

\* Tree preservation calculations

## Benchmarks Project



## Site



## Legend

●	5/8" CAPPED REBAR SET
○	IRON PIN FOUND (TYPE & SIZE AS INDICATED)
■	DRILL HOLE SET
■	DRILL HOLE FOUND
⊙	MAIL SET
⊕	EX. FIRE HYDRANT
⊕	EX. VALVE
⊕	EX. MANHOLE
⊕	EX. BOX INLET
⊕	EX. TREE
⊕	EX. PINE TREE
⊕	EX. LIGHT POLE
— C — C —	EX. CABLE T.V. LINE
— E — E —	PROP. ELECTRIC LINE
— G — G —	EX. ELECTRIC LINE
— G — G —	PROP. GAS LINE
— G — G —	EX. GAS LINE
— T — T —	PROP. TELEPHONE LINE
— T — T —	EX. TELEPHONE LINE
— SAN —	PROP. SANITARY SEWER
— LAT —	PROP. SANITARY LATERAL
— SAN —	EX. SANITARY SEWER
— ST —	PROP. STORM SEWER
— RD — RD —	PROP. ROOF DRAIN
— ST —	EX. STORM SEWER
— V —	PROP. WATER LINE
— VS — VS —	PROP. WATER SERVICE
— V — V —	EX. WATER LINE
— X —	EX. FENCE
— — — —	EX. CURB

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

## Conditions of Approval From Planning and Zoning

1. THE MUNICIPAL CODE REQUIREMENTS SHALL BE ADDRESSED ON THE CONSTRUCTION PLANS.
2. THE PETITIONER SHALL ABIDE BY THE COMMENTS SET FORTH BY MoDOT.

## Utility Contacts

Sanitary Sewer  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-281-2858

Water  
 Public Water Supply District No. 2  
 P.O. Box 967  
 O'Fallon, MO. 63366  
 636-561-3737 Ext. 131

Storm Sewer  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 636-281-2858

Amrenen UE  
 200 Callahan Road  
 Wentzville, MO. 63385  
 636-639-8312  
 Tara Dolde  
 636-639-8306

Gas  
 Laclede Gas Company of Missouri  
 720 Olive Street, Room 1413  
 St. Louis, MO. 63101  
 Ramona Hipp  
 314-342-0694

Telephone  
 Century Tel  
 1151 Century Tel Dr.  
 Wentzville, MO. 63385  
 636-332-7261  
 Michelle Gertelsen  
 636-332-7392

Fire Department  
 O'Fallon Fire Protection District  
 119 E. Elm St.  
 O'Fallon, MO. 63366  
 636-272-3493  
 Mark Morrison

CITY OF O'FALLON  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 ACCEPTED FOR CONSTRUCTION  
 BY: [Signature] DATE: 7-25-11  
 PROFESSIONAL ENGINEER'S SEAL  
 INDICATES RESPONSIBILITY FOR DESIGN



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 COMMUNITY DEVELOPMENT DEPARTMENT  
 ACCEPTED FOR CONSTRUCTION  
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 PROFESSIONAL ENGINEER'S SEAL  
 INDICATES RESPONSIBILITY FOR DESIGN

City of O'Fallon Standard Commercial Notes and Details - June 2010

CHICK-FIL-A  
 O'FALLON, MO  
 (#2645)

FSR S08N-144-R  
 2106 HIGHWAY K  
 O'FALLON, MO  
 63366

GBC DESIGN, INC.  
 3378 W. Market St.  
 Akron, OH 44333-8886  
 Phone 330-856-0228 Fax 330-856-8782

CONTACT:  
 GARY R. ROUSE

ENGINEER  
 SIGNATURE  
 BLOCK



Chick-fil-A  
 5200 BUFFINGTON RD.  
 ATLANTA, GA 30349-2988  
 24 HOUR EMERGENCY CONTACT:  
 SCOTT D. PATMAN PH-404-905-4594



P+Z No. 1810.01

City No.

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BY: [Signature] File