

# CONSTRUCTION PLANS FOR CHILDREN'S LIGHTHOUSE EARLY LEARNING CENTER

A TRACT OF LAND BEING PART OF  
OUTLOT A OF "OAKHURST PLAT ONE",  
PLAT BOOK 47 PAGES 369-372,  
WITHIN U.S. 1778, TOWNSHIP 46 NORTH, RANGE 2 EAST  
TOWNSHIP 46 NORTH, RANGE 2 EAST  
CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

## Conditions of Approval From Planning and Zoning

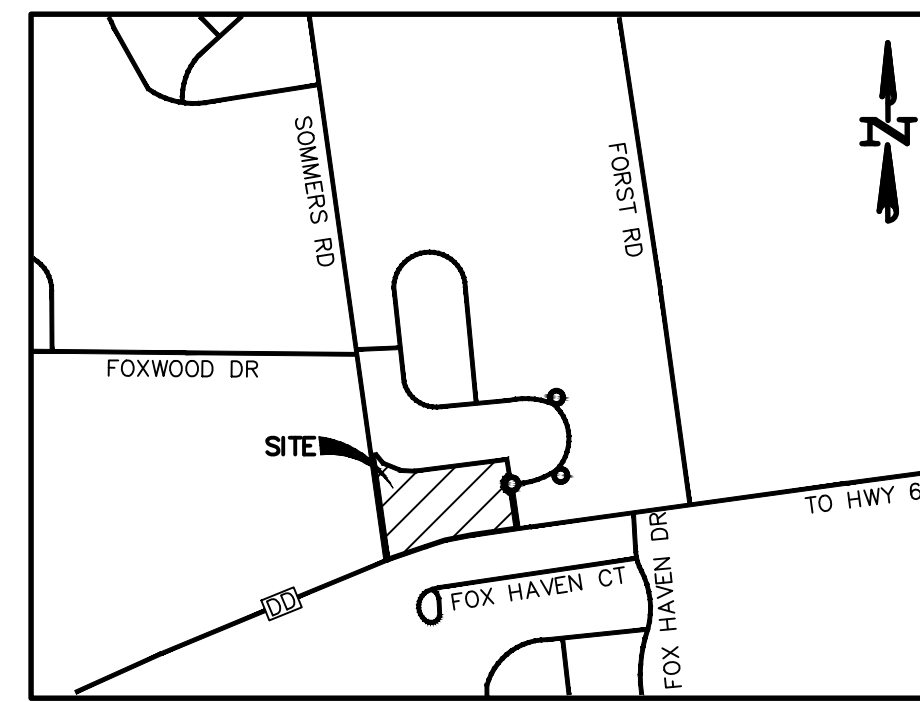
1. PROVIDE A PHOTOMETRIC PLAN.
2. EXTEND THE PROPOSED BUFFER FENCE TO THE EASTERN PROPERTY LINE.
3. PROVIDE HVAC SCREENING DETAILS
4. PROVIDE A CONTRIBUTION FOR A SIDEWALK ALONG SOMMERS ROAD
5. PROVIDE A CONCRETE ADA ACCESSIBLE PEDESTRIAN WALKWAY FROM THE BUILDING TO THE WALKWAY ALONG OAKHURST DRIVE.
6. PROVIDE APPROVAL FROM ST. CHARLES COUNTY FOR THE CONNECTION TO SOMMERS ROAD.
7. ADD A SIDEWALK CONNECTION FROM THE TRAIL TO THE BUILDING.
8. THE BUFFERYARD FENCE AND LANDSCAPING SHOWN ON LOT 2 SHALL BE INSTALLED IN CONJUNCTION WITH THE DEVELOPMENT OF LOT 1.

### DEVELOPMENT NOTES

1. AREA OF TRACT: 4.97 ACRES  
PROPOSED LOT 1 - 2.44 ACRES  
PROPOSED LOT 2 - 1.63 ACRES  
PROPOSED COMMON GROUND - 0.90 ACRES
2. ZONING: C-2 GENERAL BUSINESS DISTRICT
3. SETBACKS FOR C-2 ZONING GENERAL BUSINESS DISTRICT:  
MINIMUM FRONT YARD: 25 FEET  
MINIMUM SIDE YARD: 0 FEET (IF ABUTS RESIDENTIAL/OFFICE ZONING THEN SAME AS RESIDENTIAL/OFFICE SIDE SETBACK - 6 FEET)  
MINIMUM REAR YARD: 0 FEET (IF ABUTS RESIDENTIAL/OFFICE THEN 10 FEET)  
MAXIMUM BUILDING HEIGHT: 50 FEET
4. WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MO, BY SCALING THE PROPERTY IN REFERENCE TO THE "FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS", PANEL 410 OF 525, MAP NUMBER 29183C0410 E (CITY OF O'FALLON COMMUNITY PANEL NUMBER 290316 0410 E) WITH AN EFFECTIVE DATE OF AUGUST 2, 1996, BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT IS INDICATED TO BE WITHIN THE FOLLOWING ZONE(S): ZONE X, ZONE X IS DEFINED AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
5. CURRENT LAND OWNER:  
HIGHWAY DD INVESTMENT GROUP LLC  
1480 WOODSTONE DRIVE SUITE 215  
ST. CHARLES, MO 63304
6. PARKING REQUIRED:  
DAYCARE AND PRE-SCHOOLS  
ONE (1) SPACE PER SIX (6) PUPILS, PLUS ONE (1) SPACE PER EMPLOYEE, BASED UPON THE MAXIMUM NUMBER OF PUPILS FOR WHICH THE FACILITY IS LICENSED BY THE STATE OF MISSOURI.  
198 PUPILS / 6 = 33 SPACES REQUIRED  
30 EMPLOYEES = 30 SPACES REQUIRED  
TOTAL PARKING REQUIRED = 63 SPACES  
TOTAL PARKING PROVIDED = 64 SPACES INCLUDING 4 ADA BICYCLE PARKING SPACES @ 1 PER 15 VEHICLE PARKING SPACES  
64/15=4.26=5 BICYCLE PARKING SPACES REQUIRED AND PROVIDED
7. ALL PAVING TO BE IN ACCORDANCE WITH THE CITY OF O'FALLON STANDARDS AND SPECIFICATIONS.
8. SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, AND SPECIFICATIONS AND SIGNAGE.
9. A PHOTOMETRIC PLAN WILL BE SUBMITTED WITH THE CONSTRUCTION PLANS. LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS WILL NEED TO BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS. ALL LIGHTING TO BE DOWNCAST.
10. ALL PROPOSED UTILITIES AND/OR UTILITY RELOCATIONS SHALL BE LOCATED UNDERGROUND.
11. LANDSCAPE REQUIREMENTS:  
SEE LANDSCAPE PLAN BY LANDSCAPE ARCHITECT FOR CALCULATIONS AND PLAN.
12. THE MAXIMUM SLOPE SHALL BE 3:1.
13. ALL HVAC AND MECHANICAL UNITS ON SITE SHALL BE PROPERLY SCREENED AS REQUIRED BY CITY CODE 400.27B. ROOFTOP UNITS SHALL BE SCREENED BY A PARAPET WALL THAT EXTENDS AROUND THE ENTIRE PERIMETER OF THE BUILDING; THE PARAPET SHALL HAVE A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT MOUNTED ON THE ROOF; GROUND MOUNTED HVAC AND MECHANICAL UNITS SHALL BE SCREENED BY FENCING, VEGETATION, OR SOME OTHER MEANS (APPROVED BY THE PLANNING AND ZONING COMMISSION) THAT HAS A MINIMUM HEIGHT THAT IS AT LEAST AS TALL AS THE TALLEST UNIT BEING SCREENED.
14. ANY PROPOSED SIGNAGE SHALL BE REVIEWED UNDER A SEPARATE PERMIT PROCESS.

### DUCKETT CREEK SANITARY DISTRICT CONSTRUCTION NOTES

1. Underground utilities have been plotted from available information and therefore location shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction of improvements.
2. Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing or proposed sanitary and storm sewers, including house laterals.
3. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction conditions.
4. All fill including places under proposed storm and sanitary sewer lines and paved areas including trench backfills within and off the road right-of-way shall be compacted to 90 percent of maximum density as determined by the "Modified AASHTO T-180 Compaction Test (ASTM D1557)". All tests shall be verified by a Soils Engineer concurrent with grading and backfilling operations. The compacted fill shall be free of rutting and shall be non-yielding and non-sucking during proofrolling and compaction.
5. The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system. The contractor will be required to install a brick bulkhead on the downstream side of the first manhole constructed when connecting to existing sewers.
6. All sanitary sewer flowlines and tops built without elevations furnished by the engineer will be the responsibility of the sewer contractor.
7. It is the responsibility of the contractor to adjust all sanitary sewer manholes (that are affected by the development) to finish grade.
8. Easements shall be provided for all sanitary sewers, storm sewers and all utilities on the record plat.
9. All sanitary sewer construction and materials shall conform to the current construction standards of the Duckett Creek Sanitary District.
10. The Duckett Creek Sanitary District shall be notified at least 48 hours prior to construction for coordination of inspection.
11. All sanitary sewer building connections shall be designed so that the minimum vertical distance from the low point of the basement to the flowline of a sanitary sewer at the corresponding building connection shall not be less than the diameter of the pipe plus the vertical distance of 2 1/2 feet.
12. All sanitary sewer manholes shall be watertight in accordance with Missouri Dept. of Natural Resources specification 10 CSR 20-8.120(6)(F) 1.
13. All PVC sanitary sewer pipe shall conform to the requirements of ASTM D-3034 Standard Specification for PSM Polyvinyl Chloride Sewer Pipe, SDR-35 or equal, with "clean" 1/2 inch to 1 inch granular stone bedding uniformly graded. This bedding shall extend from 4 inches below the pipe to springline of pipe. Immediate backfill over pipe shall consist of same size "clean" or "minus" stone from springline of pipe to 6 inches above the top of pipe. Final backfill material shall be of suitable material removed from excavation except as other material is specified. Debris, frozen material, large rocks or stones, or other unstable materials shall not be used within 2 feet from top of pipe.
14. All sanitary and storm sewer trench backfills shall be water jetted. Granular backfill will be used under pavement areas.
15. All pipes shall have positive drainage through manholes. Flat invert structures not allowed.
16. Epoxy Coating shall be used on all sanitary sewer manholes that receive pressurized mains.
17. All creek crossings shall be lined with rip-rap as directed by District inspectors.
18. Brick shall not be used on sanitary sewer manholes.
19. Existing sanitary sewer service shall not be interrupted.
20. Maintain access to existing residential driveways and streets.
21. Pre-manufactured adapters shall be used at all PVC to DIP connections. Rubber boot 1 Mission-type couplings will not be allowed.
22. Any permits, licenses, easements, or approvals required to work on public or private properties or roadways are the responsibility of the developer.
23. "Type N" Lock-Type Cover and Locking Device (Lock-Lug) shall be used where lock-type covers are required.
24. All sanitary sewer system work shall be conducted under the inspection of a representative of the District. All work may not require inspection but the District's representative may designate specific areas that must be inspected before the work is backfilled. All testing must be witnessed by the District's inspector and the Contractor shall furnish all testing equipment as approved by the District. Testing shall include:
  - A mandrel test of all gravity sewers using a mandrel with a diameter that has a diameter 95% of the inside pipe diameter. If the mandrel test fails on any section of pipe, that section of pipe shall be uncovered and replaced. No expansion devices will be allowed to be used to "force" the pipe that is deformed back into round. Any string line used in mandrel testing shall be removed after testing is completed. Deflection testing cannot be conducted prior to 30 days after final backfill.
  - An air pressure test of all gravity sewers to a pressure of 5 PSI with no observed drop in pressure during a test period of 5 minutes.
  - A vacuum test of all manholes for a period of 1 minute and the vacuum shall be 10" of mercury and may not drop below 9" of mercury at the end of the 1 minute test.



Locator Map  
NOT TO SCALE

### LEGEND

	SANITARY SEWER MANHOLE		UTILITY BOX
	FLARED END SECTION		FOUND MONUMENT
	CURB/AREA INLET		SET MONUMENT
	GRADED INLET		GRAVEL
	ELECTRIC BOX		ASPHALT
	TELEPHONE CABLE PEDESTAL		CONCRETE
	TELEPHONE BOX		BURIED ELECTRIC
	ELECTRIC METER		OVERHEAD UTILITIES
	GAS METER		BURIED GAS
	WATER METER		BURIED WATER
	MAILBOX		BURIED FIBER OPTIC
	POWER POLE		BURIED TELEPHONE
	GUY WIRE		SANITARY SEWER
	TREE		FENCE LINE
	BENCHMARK		BORE HOLE

### PUBLIC WATER SUPPLY DISTRICT NO. 2

1. ALL WATER SERVICE LINES, FIRE LINES, AND PRIVATE WATER MAINS MUST BE INSTALLED PER PWSO NO. 2 SPECIFICATIONS.
2. PWSO NO. 2 REQUIRES ONE (1) WEEK NOTICE PRIOR TO THE START OF CONSTRUCTION.
3. ALL METER PITS/VAULTS ARE TO BE INSTALLED IN GREEN SPACE PER PWSO NO. 2 SPECIFICATIONS.
4. ALL PRIVATE FIRE HYDRANTS MUST BE PAINTED RED PER PWSO NO. 2 SPECIFICATIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL MODOT AND CITY PERMITS REQUIRED TO WORK ALONG THE ROADWAYS.
6. ALL OFFSITE RESTORATION MUST BE REPAIRED WITH SOD UNLESS OTHERWISE REQUESTED FROM THE PROPERTY OWNERS.
7. THE PROPOSED PRIVATE WATER SYSTEM WILL REQUIRE TESTING PER PWSO NO. 2 SPECIFICATIONS BEFORE IT IS ALLOWED INTO SERVICE.  
SEE SHEET 18 FOR PWSO NO. 2 WATER DETAILS

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
<b>SEEDING RATES:</b>	
<b>PERMANENT:</b>	
Tall Fescue	150 lbs./ac.
Smooth Brome	100 lbs./ac.
Combined	Fescue @ 75 lbs./ac. AND Brome @ 30 lbs./ac.
<b>TEMPORARY:</b>	
Wheat or Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Oats	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
<b>SEEDING PERIODS:</b>	
Fescue or Brome	March 1 to June 1
Wheat or Rye	August 1 to October 1
Oats	March 15 to November 1
	March 15 to September 15
<b>MULCH RATES:</b>	
100 lbs. per 1000 sq. ft.	(4,356 lbs. per ac.)
<b>FERTILIZER RATES:</b>	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	

### GRADING QUANTITIES:

5,119 C.Y. CUT (INCLUDES SUBGRADES)  
5,119 C.Y. FILL (INCLUDES 8% SHRINKAGE)  
0 C.Y. BALANCE

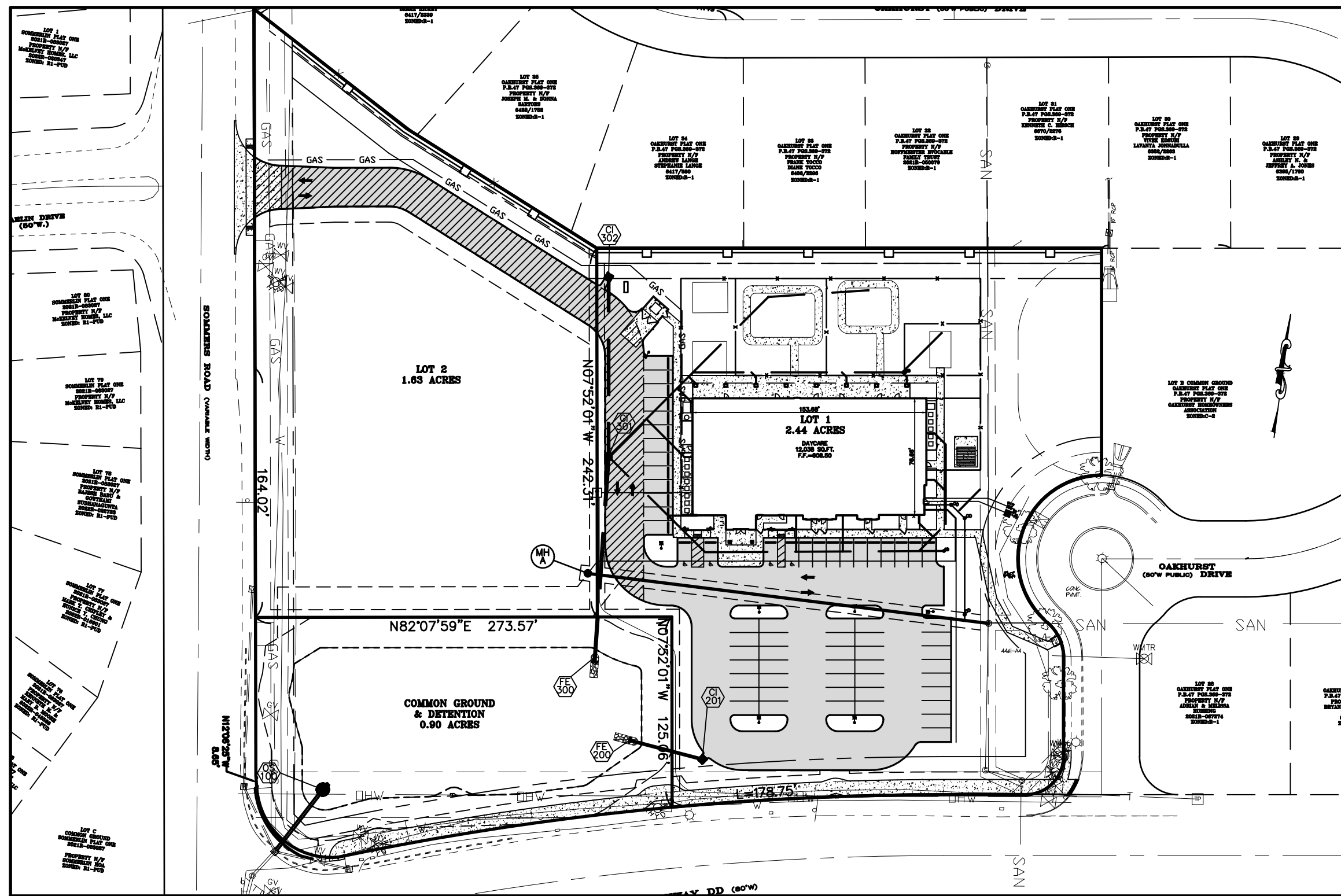
THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



Plan View

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## Benchmarks

### Project

REFERENCE BENCHMARK VERTICAL DATUM NAVD88 - A149 - NGS PID J00542 - ELEVATION 630.08 USCGS BRASS VERTICAL MARK DISK STAMPED "A 149 1935" SET IN A DRILL HOLE IN THE NORTHWEST ABUTMENT OF THE NORFOLK AND WESTERN RAILROAD BRIDGE OVER BUSINESS HIGHWAY 61. DISK IS LOCATED ON THE NORTHWEST ABUTMENT 1.0 FOOT SOUTHWEST OF THE NORTHWEST EDGE OF THE WING WALL; 0.75 FOOT SOUTHWEST OF THE NORTHEAST EDGE OF THE WING WALL; 6.9 FEET NORTH OF THE NORTH RAIL AND ABOUT 4.9 FEET LOWER THAN THE TRACKS.

### Site

SITE BENCHMARK-"O" IN OPEN  
ELEV=596.08'  
THE SITE BENCHMARK IS "O" IN OPEN ON A FIRE HYDRANT LOCATED ALONG THE SOUTH PROPERTY LINE OF OUTLOT A OF "OAKHURST PLAT ONE", EAST OF THE INTERSECTION OF MISSOURI STATE HIGHWAY DD AND THE SOMMERS ROAD.

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. to 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

Construction work to be done outside of these hours requires prior written approval from the City Administrator or City Engineer.

\* The area of this phase of development is 2.44 ACRES.

The area of land disturbance is 3.95 ACRES.

Number of proposed lots is 2.

Building setback information. Front: 25 FEET

Side: 0 FEET

Rear: 10 FEET

\* The estimated sanitary flow in gallons per day is 3,420 G.P.D.  
-15 GPD PER PERSON - 228 PEOPLE x 15 GPD = 3,420 GPD

\* Tree Preservation:

N/A



CALL BEFORE YOU DIG!  
1-800-DIG-RITE

\*FIBER OPTICS ARE PRESENT

### Utility Contacts

Sanitary Sewer  
DUCKETT CREEK SEWER DISTRICT  
3550 Highway K  
O'Fallon, MO. 63368  
636-441-1244

Water  
PUBLIC WATER SUPPLY DISTRICT No. 2  
100 Water Drive  
O'Fallon, MO. 63368  
636-561-3737

Fire Department  
Wentzville Fire Protection District  
209 W. Pearce Blvd.  
O'Fallon, MO. 63385  
636-327-6239

Electric  
OUIVRE RIVER ELECTRIC COOPERATIVE  
8757 Highway K  
Lake Saint Louis, MO. 63367  
636-695-4700

Gas  
Spir  
1999 Trade Center Drive  
St. Peters, MO 63376  
314-978-2663

Telephone  
Centurylink  
1151 Century Tel Dr.  
Wentzville, MO 63385  
636-332-7261

Charter Communications  
941 Charter Commons  
Town & Country, MO 63017  
1-888-438-2427

PROJECT TITLE:

CHILDREN'S LIGHTHOUSE  
EARLY LEARNING CENTER  
2570 SOMMERS ROAD  
O'FALLON, MISSOURI 63368

ENGINEERING  
PLANNING  
SURVEYING  
221 Point View Blvd.  
St. Charles, MO 63001  
636-928-5662  
FAX 928-1718



DISCLAIMER OF RESPONSIBILITY  
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



CLIFFORD L. HEITMANN  
CIVIL ENGINEER  
E29817

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REVISIONS	
no.	revision
11-3-23	city, county, dcd & psdw2 comments

REVISIONS	
no.	revision

Developer / Owner:  
JAFRI LLC, ASHLEY FANGMANN  
4010 CORKWOOD CT.  
COLUMBIA, MO 65203  
417-766-8874 - ashleyfangmann@gmail.com

P+Z No. #23-004744  
Approval Date: July 6, 2023

City No. #

Page No. 1 of 21

CITY OF O'FALLON  
ENGINEERING DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: Karl Ebert DATE 12/06/2023

PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

COVER SHEET