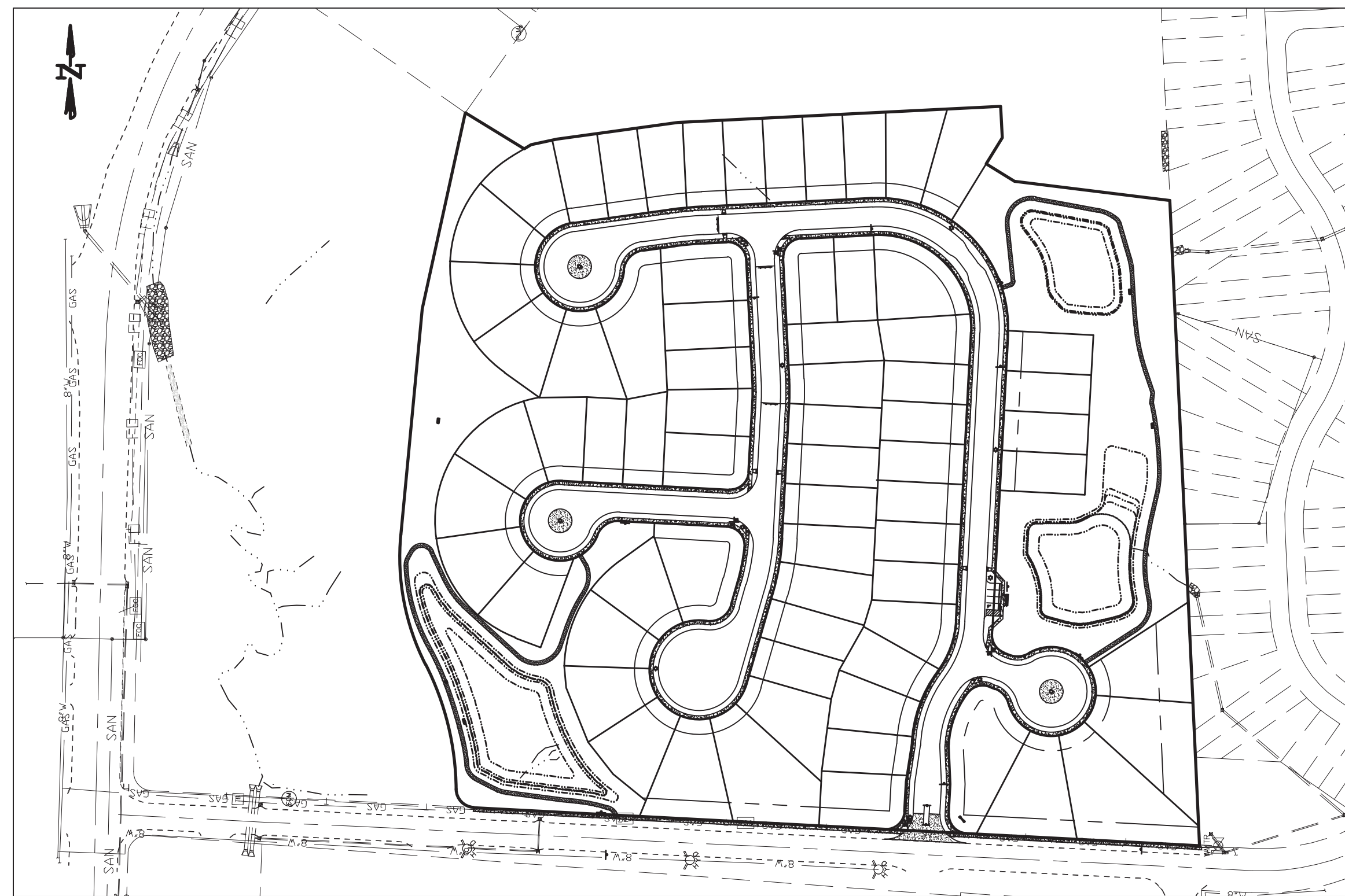
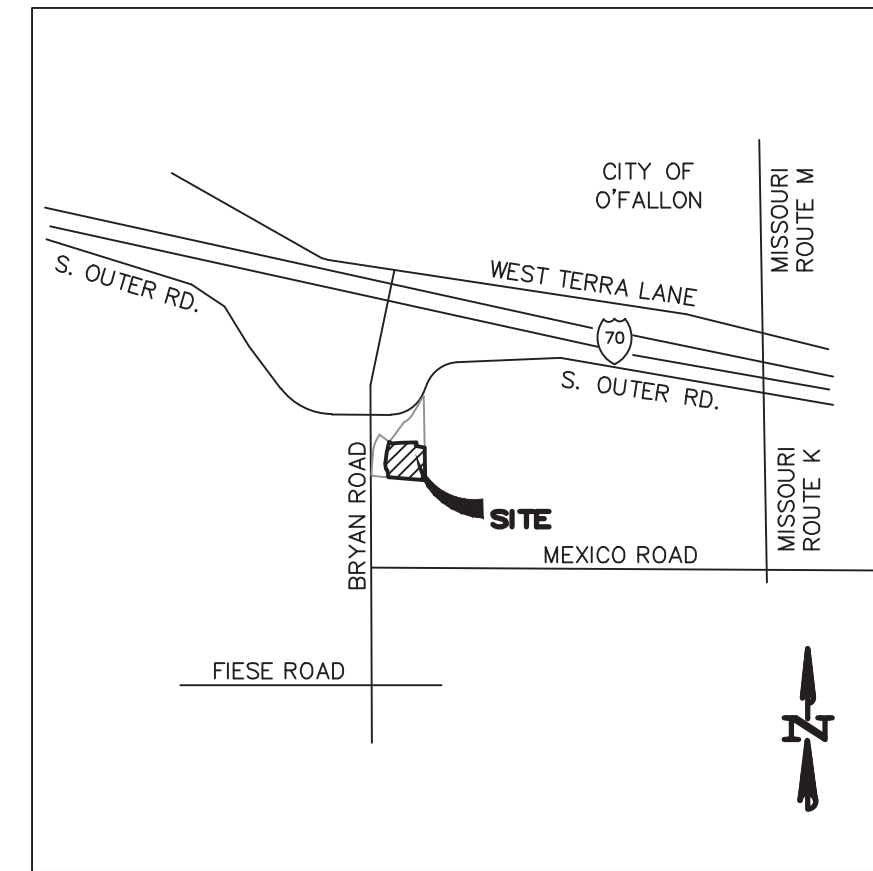


# A SET OF CONSTRUCTION PLANS FOR COLUMBIA MEADOWS

A TRACT OF LAND BEING ALL OF LOT 1 OF 'BRYAN AND VETERANS MEMORIAL COMMERCIAL' P.B. 46, PGS. 186-187 AND AND A TRACT OF LAND BEING IN THE SOUTHWEST QUARTER OF FRACTIONAL SECTION 30 TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON ST. CHARLES COUNTY, MISSOURI



Plan View  
SCALE: 1" = 150'



Locator Map  
NOT TO SCALE

## Drawing Index

- 1 COVER SHEET
- 2 NOTES
- 3 DEMOLITION PLAN
- 4-5 SITE PLAN
- 6-7 GRADING PLAN
- 8-9 WATER PLAN
- 10-11 STORMWATER POLLUTION PREVENTION PLAN
- 12 PRE-DEVELOPED DRAINAGE AREA MAP
- 13-14 POST-DEVELOPED DRAINAGE AREA MAP
- 15 STREET PROFILES
- 16 WARPINGS & INTERSECTION DETAILS
- 17 SANITARY SEWER PROFILES
- 18 SEWER PROFILES
- 19-20 STORM SEWER PROFILES
- 21 POND CROSS-SECTIONS
- 22-23 SIGNAGE, STRIPING & JOINTING PLAN
- 24-25 LANDSCAPE PLAN
- 26-27 LIGHTING PLAN
- 28 EROSION CONTROL DETAILS
- 29 STORM AND SANITARY DETAILS
- 30-31 PAVEMENT DETAILS
- 32-33 WATER DETAILS
- 34-36 CONSTRUCTION DETAILS
- 37 WILDLIFE HABITAT PLANTING PLAN
- 38 LINE OF SIGHT EXHIBIT

## Benchmarks Project

REFERENCE BENCHMARK: ELEV=529.00  
STATION "SC-06" IS LOCATED NEAR THE NORTH SIDE OF ST. PETERS, MO. ABOUT 0.8 KM (0.50 MI) NORTH OF INTERSTATE HIGHWAY 70 (EXIT 220), ALONG THE EAST SHOULDER OF STATE HIGHWAY 79, JUST EAST OF THE NORTH BOUND LANES AND JUST SOUTH OF A WITNESS POST. OWNERSHIP--STATE OF MISSOURI.

## Site

SITE BENCHMARK: ELEV=597.70'  
FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF WHITE MAGNOLIA DRIVE, 115.8' NORTHWEST OF AN IRON PIPE FOUND AT THE NORTHWEST CORNER OF LOT 100 OF TURTLE CREEK PLAT 3, AND 65.4' SOUTHWEST OF THE NEW INTERSECTION OF WHITE MAGNOLIA DRIVE AND COLUMBIA MEADOWS DRIVE.

**VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A**

**SEEDING RATES:**  
**PERMANENT:**  
 Tall Fescue - 150 lbs./ac.  
 Smooth Brome - 100 lbs./ac.  
 Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.  
**TEMPORARY:**  
 Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)  
 Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

**SEEDING PERIODS:**  
 Fescue or Brome - March 1 to June 1  
 August 1 to October 1  
 Wheat or Rye - March 15 to November 1  
 Oats - March 15 to September 15

**MULCH RATES:**  
 100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

**FERTILIZER RATES:**  
 Nitrogen 30 lbs./ac.  
 Phosphate 30 lbs./ac.  
 Potassium 30 lbs./ac.  
 Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

## Legend

600.00	EXISTING LABELS	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	EXIST. AREA INLET
CI	SINGLE CURB INLET	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	PROPOSED AREA INLET
AI	AREA INLET	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	EXIST. SANITARY MANHOLE
GI	GRATE INLET	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	PROPOSED MANHOLE
MH	MANHOLE	POWER POLE
FE	FLARED END SECTION	GUY WIRE
EP	END PIPE	LIGHT STANDARD
CP	CONCRETE PIPE	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	WATER METER
CMP	CORRUGATED METAL PIPE	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	TELEPHONE PEDESTAL
CO	CLEAN OUT	SIGN
.....	SLOPE LIMITS	TREE
---	DRAINAGE SWALE	
---	EXISTING STORM SEWER	
---	EXISTING SANITARY SEWER	
---	EXISTING WATER LINE	
---	EXISTING FIBER OPTIC LINE	
---	EXISTING GAS LINE	
---	EXISTING UNDERGROUND ELECTRIC	
---	EXISTING OVERHEAD ELECTRIC	
---	EXISTING CABLE TV LINE	
---	EXISTING TELEPHONE LINE	
---	PROPOSED STORM SEWER	
---	PROPOSED SANITARY SEWER	
---	FENCE LINE	
---	SAWCUT LINE	

## Development Notes:

- Existing Zoning: R-3, PUD Single Family Residential
- Proposed Uses: Single Family Homes
- Property Owners: John M Flovan, 5310 Park Street, Shawnee, KS 66216
- Per Flood Insurance Rate Map Panel Numbers 29183C0240G Dated January 20, 2016. This site is Zoned X, described as areas of minimum flood hazard.
- All streets are to be public and constructed per St. Louis County specifications except as modified by City of O'Fallon.
- Topographic information is per U.S.G.S. Datum.
- One tree shall be planted for every lot. Two trees for corner lots. Tree placement shall be per Section 402 of the City Code.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- All new utilities will be located underground.
- Maximum slope on yard slopes will be 3:1.
- Any signage will require a separate sign permit.
- All gravity sanitary laterals are to be schedule 40 PVC.
- A ten (10) foot wide general utility easement is required along all public right-of-ways.
- Sanitary sewers closer than 10 feet to the pavement edge or the pavement is within the 1:1 shear plane of the trench will require granular backfill within the trench.
- The developer shall comply with current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23 of the City of O'Fallon Zoning Ordinances.
- All useable common ground to be planted in native grasses and to be used for wildlife habitat.
- Street lights to be private and maintained by the HOA.
- All ponds will be stocked for fishing for the residents of the development.

## Conditions of Approval From Planning and Zoning:

- Kemp Homes shall contribute Five Hundred Dollars (\$500.00) per home for future traffic improvements at Bryan Road and the Justice Center.
- All development must comply with all City Codes.
- The property/project must successfully become a certified "Wildlife Habitat" and be identified as such by authorized and appropriate signage at the entrance and other locations throughout the property.
- An easement must be obtained for all off-site grading in a form acceptable to the Director of the Department of Planning and Development.
- Developer must provide updated information from the Army Corps of Engineers in regard to jurisdictional waterways and wetlands.
- Developer must work with the O'Fallon Department of Economic Development to attract commercial business for the remaining commercial lots. (Developer did not purchase any Commercial lots along Bryan Road)
- The rear yard setback of all perimeter lots shall match the underlying setback of the underlying zoning district in accord with Sec. 400.236.6(A)(8) of the O'Fallon City Code. The lots on the Northern portion of the development still need to be addressed.
- On the lots that require the bufferyard, the rear yard setback shall start from the end of the buffer in accordance with City Code. (Affects Lots 4 & 5 only)

CITY OF O'FALLON  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 ACCEPTED FOR CONSTRUCTION  
 BY: [Signature] DATE **March 1, 2021**  
 PROFESSIONAL ENGINEER'S SEAL  
 INDICATES RESPONSIBILITY FOR DESIGN

## Utility Contacts

**Sanitary Sewers**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-240-2000

**Water**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-240-2000

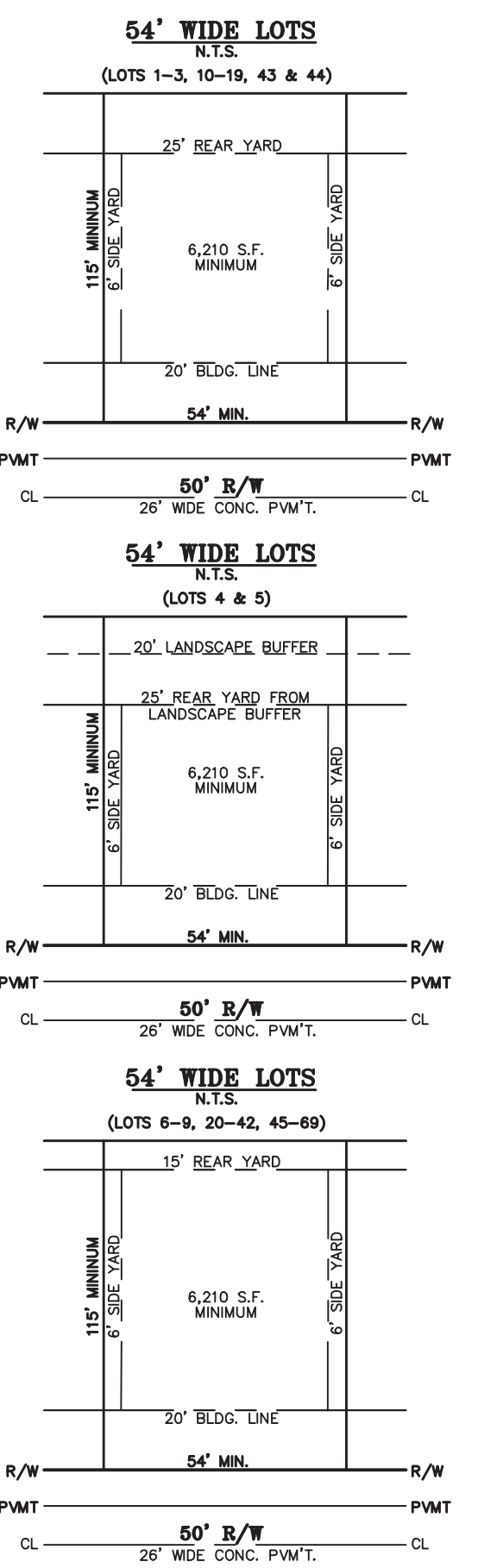
**Storm Sewer**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 636-240-2000

**Electric**  
 Ameren Missouri  
 200 Callahan Road  
 Wentzville, MO. 63385  
 636-639-8312

**Gas**  
 Spire Gas  
 6400 Graham Road  
 St. Louis, MO. 63134  
 314-522-2297

**Telephone**  
 CenturyLink  
 1151 Century Tel Dr.  
 Wentzville, MO. 63385  
 636-332-7261

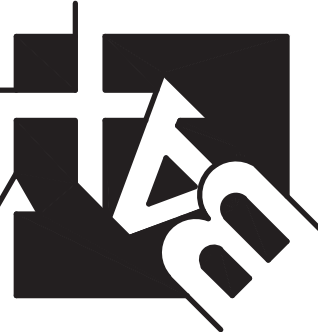
**Fire District**  
 O'Fallon Fire Protection District  
 111 Laura K Dr.  
 O'Fallon, MO. 63366  
 636-272-3493



PROJECT TITLE:

COLUMBIA MEADOWS

ENGINEERING  
 PLANNING  
 SURVEYING  
 221 Point View Blvd.  
 St. Charles, MO 63001  
 636-928-5552  
 FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY  
 I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.



JEFFREY B. SIMMONS  
 CIVIL ENGINEER  
 2007030831  
 Copyright 2020  
 Box Engineering Company, Inc.  
 Authority No. 000655  
 All Rights Reserved

REVISIONS	
10/13/20	CITY COMMENTS
01/08/21	CITY COMMENTS
02/10/21	CITY COMMENTS
02/23/21	CITY COMMENTS

Developer / Owner:  
 Alpha Land Development Two, L.L.C.  
 612 Trade Center Boulevard  
 Chesterfield, MO 63005  
 314-721-7779

P+Z No. #19-004868  
 Approval Date: 07/23/2020

City No. #?

Page No.

1 of 38

COVER SHEET