

SITE PLAN

DEVELOPMENT NOTES:

- Area of Tract: 1.19 Acres
- Existing Zoning: C-2
- Proposed Use: Commercial
- Area of Building: 4,352 Sq.Ft.
- The required height and building setbacks are as follows:
 - Minimum Front Yard: 25 feet
 - Minimum Side Yard: None
 - Minimum Rear Yard: None
 - Maximum Height of Building: 50 feet
- Current Owner and Developer of Property: Commerce Bankshares Inc.
8000 Forsyth Blvd.
Suite 1300
St. Louis, MO 63105
(314) 746-8976
- Site is served by:
 - Duckett Creek Sanitary District
 - Union Electric Company
 - Laclede Gas Company
 - Missouri American Water Company
 - GTE Telephone Company
 - Fort Zumwalt School District
 - O'Fallon Fire Protection District
- Topographic information is per Topographic Survey by Pickett Roy & Silver
- Flood information is from F.I.R.M. #29183 C 0239 E., dated Aug. 2, 1996. No Flood Plain exists on this tract per the C-LOMAR (Conditional Letter of Map Revision) dated 9/17/96, Case No. 96-07-302R, on file with FEMA.
 - No floodplain exists on Lot 5, floodplain contained within drainage area as shown on plat of DEER CREEK CROSSING as recorded in plat book 37, page 371.
- Parking zone Requirements:
 - Parking Required: 1 space per 300 s.f. of building area plus 1 for every 2 employees.
 - 4,352/300 + 12 employees/2 = 20.5
 - Required spaces = 21
 - Parking Provided: 27 spaces
- Site coverage calculations:
 - Building: 4,352 S.F.
 - Pavement: 28,841 S.F.
 - Green Space: 18,979 S.F.

GENERAL NOTES:

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THIS PLAN, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO EXCAVATION, GRADING OR CONSTRUCTION.

THE CONTRACTOR SHALL PERSONALLY INSPECT THE PREMISES TO DETERMINE THE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE AND THE KIND AND AMOUNT OF MATERIALS TO BE REMOVED. THE CONTRACTOR WILL ACCEPT THE PREMISES AS FOUND.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE ALL SURVEY STAKES DURING CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF ALL CONSTRUCTION STAKING IN HIS BASE BID.

THE CONTRACTOR SHALL PERFORM ALL WORK REQUIRED TO PROTECT THE ADJOINING PROPERTY/STREETS, SIDEWALKS, CURBS, ETC. FROM DAMAGE.

ALL MATERIALS AND WORKMANSHIP FOR PAVEMENTS, SIDEWALKS, AND OTHER MISCELLANEOUS ITEMS SHALL BE PERFORMED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF OFFALLON, MISSOURI.

ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND/OR FACE OF BUILDING UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

ALL ELEVATIONS SHOWN ARE TO FINISHED SURFACE OF PAVEMENT OR DIRT AND SHALL BE WITHIN +/- 0.10 FEET OF THOSE SHOWN ON THE GRADING PLAN.

SEE ELECTRICAL PLANS FOR SITE LIGHTING.

SEE LANDSCAPE PLAN FOR PLANTINGS AND VEGETATION ESTABLISHMENT TABLE.

BENCHMARK:
ELEVATION = 486.37
RM-42 (NOV 1929) CHISELED SQUARE ON EAST END OF CONCRETE PIER ON SOUTH BANK OF DARDENNE CREEK AT HENNING ROAD BRIDGE.

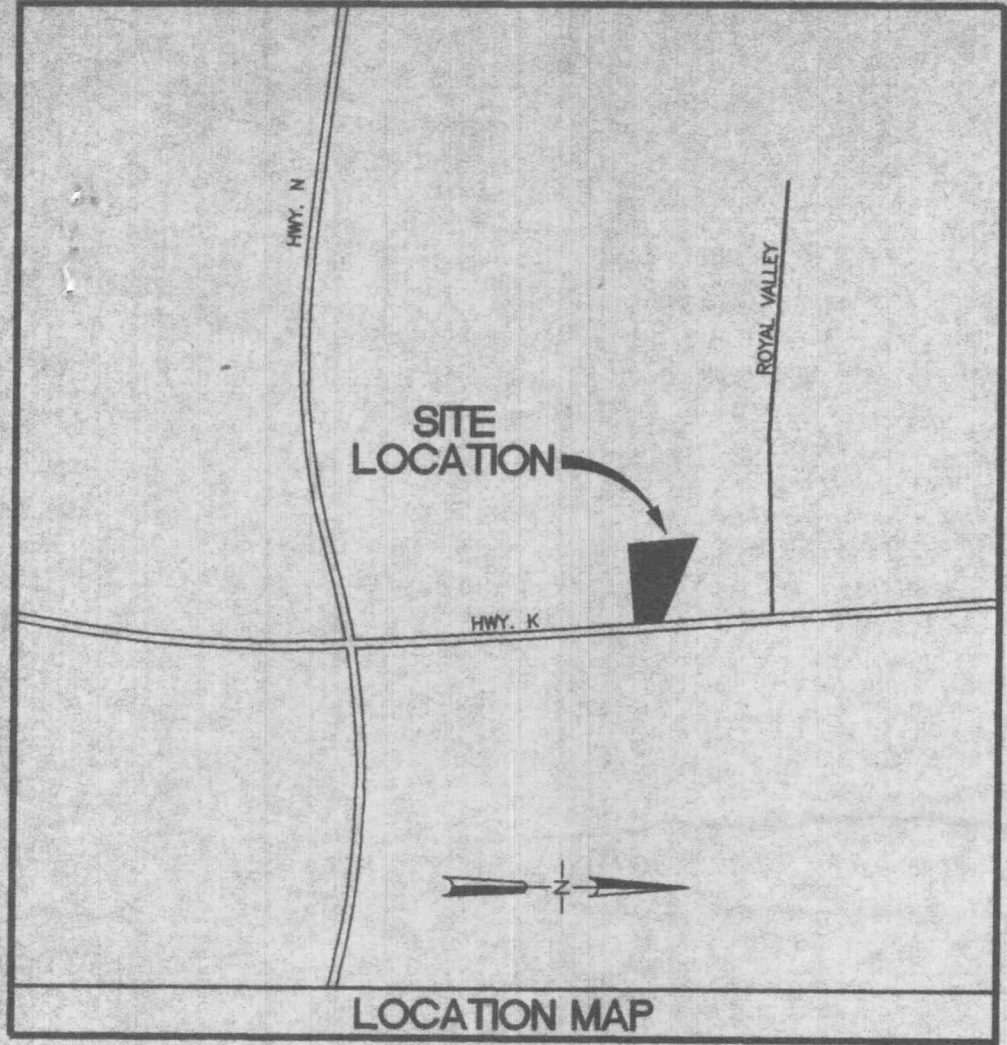
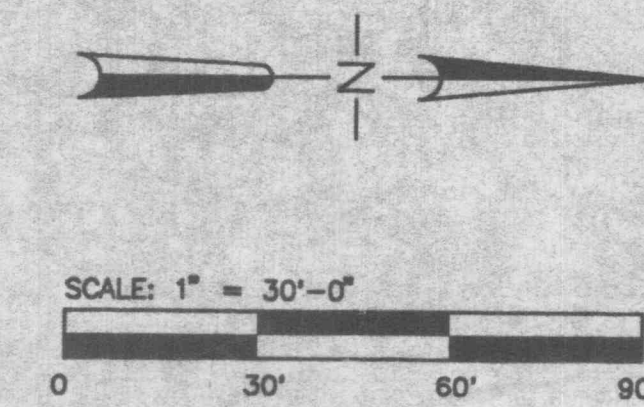
SITE BENCHMARK:
ELEVATION = 488.96
CHISELED "I" ON CONCRETE HEADWALL OF CONCRETE BOX CULVERT WEST SIDE OF HIGHWAY K, 500 FT. NORTH OF CENTERLINE OF INTERSECTION OF NEW HIGHWAY N AND HIGHWAY K.
DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.

SIDEWALKS, CURB RAMP, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAC) ALONG WITH THE REQUIRED GRADE, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAC GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.

THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLAN). CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF OFFALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF OFFALLON AND/OR MODOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILTS OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEARED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF OFFALLON AND/OR MODOT.

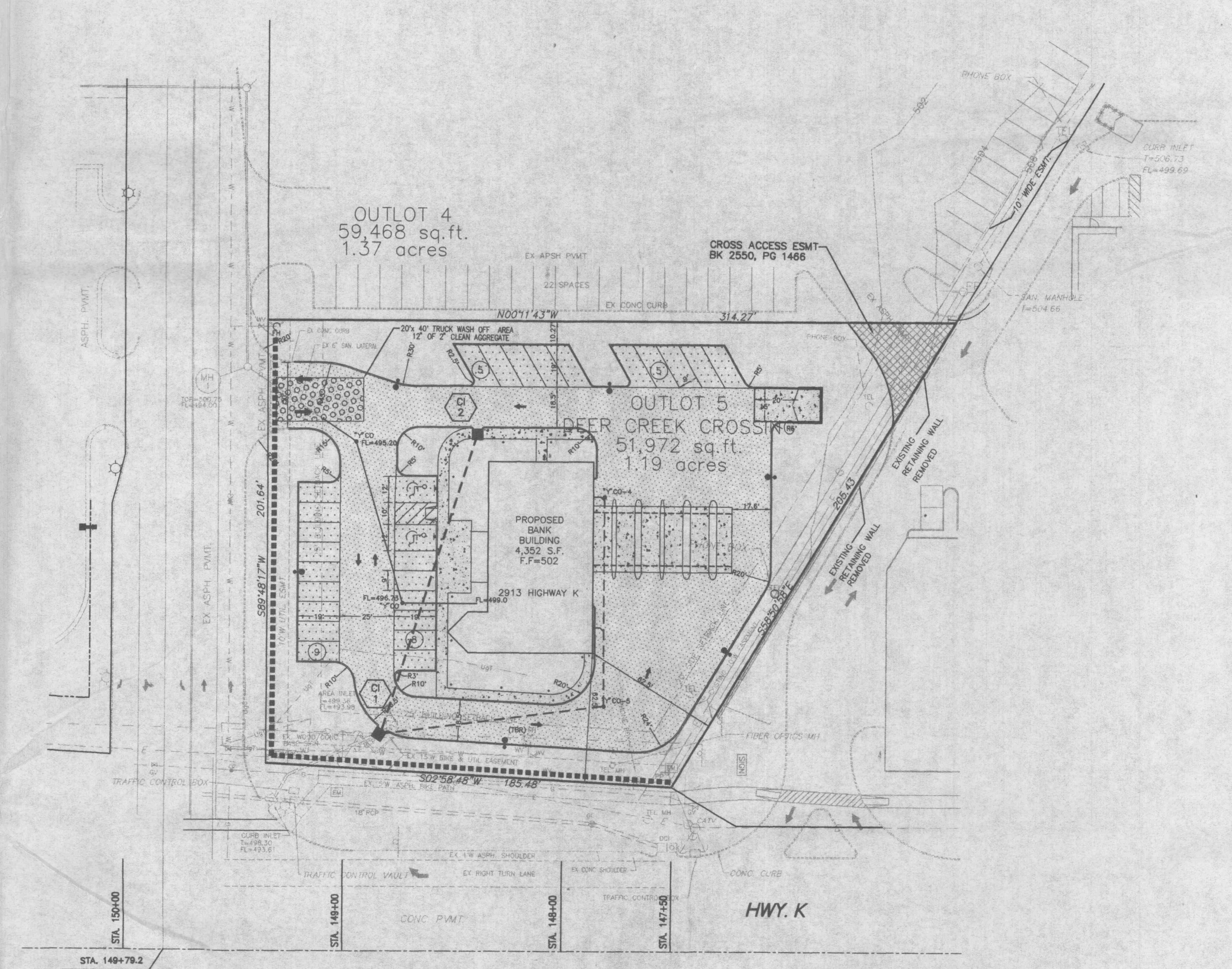
ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR T-100 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS SHALL VERIFY ALL TESTS.

ALL LIGHT POLES TO BE LOCATED WITHIN LANDSCAPED ISLANDS.
LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION. CORRECTIONS WILL BE MADE IF NOT IN COMPLIANCE WITH CITY STANDARDS.



LEGEND

[Symbol]	STRUCTURES
[Symbol]	SPOT ELEVATION
[Symbol]	CONTOURS
[Symbol]	BUILDING LINE
[Symbol]	PROPERTY LINE
[Symbol]	CENTER LINE
[Symbol]	SWALE
[Symbol]	STORM SEWER
[Symbol]	SANITARY SEWER
[Symbol]	GAS MAIN
[Symbol]	WATER MAIN
[Symbol]	OVERHEAD TELEPHONE
[Symbol]	FIBER OPTIC
[Symbol]	CABLE TELEVISION
[Symbol]	OVERHEAD ELECTRIC
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	FLOW LINE ELEVATION
[Symbol]	INVERT ELEVATION
[Symbol]	FLOW LINE ELEV. AT CUTTER
[Symbol]	TOP OF CURB ELEV.
[Symbol]	CURB INLET/AREA INLET
[Symbol]	GRADED INLET
[Symbol]	MANHOLE
[Symbol]	FLARED END SECTION
[Symbol]	DOUBLE CURB INLET/AREA INLET
[Symbol]	CLEANOUT
[Symbol]	WATER VALVE OR METER
[Symbol]	GAS VALVE OR METER
[Symbol]	FIRE HYDRANT/WALVE
[Symbol]	UTILITY OR POWER POLE
[Symbol]	CUT WIRE
[Symbol]	LIGHT STANDARD
[Symbol]	TELEPHONE BOX OR PEDESTAL
[Symbol]	SIGNAL BOX
[Symbol]	SIGNS (NOTE TYPE OF SIGN)
[Symbol]	HANDICAPPED
[Symbol]	BENCHMARK
[Symbol]	OLD IRON PIPE (OIP)/REBAR
[Symbol]	OLD CROSS
[Symbol]	TO BE REMOVED
[Symbol]	SOIL BORING
[Symbol]	RAILROAD
[Symbol]	FENCE (NOTE TYPE OF FENCE)
[Symbol]	TREE



VEGETATIVE ESTABLISHMENT

For Urban Development Sites

APPENDIX A

SEEDING RATES:

Permanent:

Tall Fescue - 30 lbs./ac.
Smooth Brome - 20 lbs./ac.
combined: Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac.

Temporary:

Wheat or Rye - 150 lbs./ac. (3.5 lbs. per square foot)
Oats - 120 lbs./ac. (2.75 lbs. per square foot)

Seeding Periods:

Fescue or Brome - March 1 to June 1
August 1 to October 1

Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15

Mulch Rates: 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre)

Fertilizer Rates: Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*

* ENM = effective neutralizing material as per State evaluation of quarried rock.

HOLD IT! CALL BEFORE YOU DIG!
Phone DIG RITE

Contractor to contact Utilities prior to any excavation or demolition for the location of any pipes, cables, lines or mains. The Contractor shall also coordinate any disconnection required with the various utility companies and/or governmental agencies serving the site.

Toll Free 800/344-7483
800-DIG-RITE

[Symbol] HEAVY DUTY ASPHALTIC PAVEMENT. SEE DETAIL, SHEET C3.1.
[Symbol] LIGHT DUTY ASPHALTIC PAVEMENT. SEE DETAIL, SHEET C3.1.

SHEET INDEX

SITE PLAN.....	C0.1
UTILITY, GRADING AND SILTATION CONTROL PLAN.....	C1.1
DRAINAGE AREA MAP.....	C2.1
DETAILS.....	C3.1

RECEIVED
SEP 19 2001
CITY OF OFFALLON, MO

10-1-0198
APPROVED

Commerce Bank
OUTLOT #5 DEER CREEK CROSSING
O'FALLON, MISSOURI

Kuhlmann
design
Group, Inc.

48 W. Main St.
St. Charles, MO 63301
Tel. (314) 946-5586

KdG

DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents submitted to me are those of the client and I have no responsibility for any other drawings, specifications, conditions, reports or other documents or instruments relating to or intended to be used for any part or parts of the development or engineering project or survey.

NO.	DATE	OFFALLON COMMENTS
1	8/13/01	OFFALLON COMMENTS
2	9/14/01	OFFALLON COMMENTS

PROJECT NO.	CONTRACT NO.
000064	0001
DRAWN	CHECKED
AMH	RPM
DATE	4/12/01

SITE PLAN

SHEET 1 OF 4

C0.1