

LANDSCAPING PLAN FOR COMPONENT BAR PRODUCTS BUILDING EXPANSION

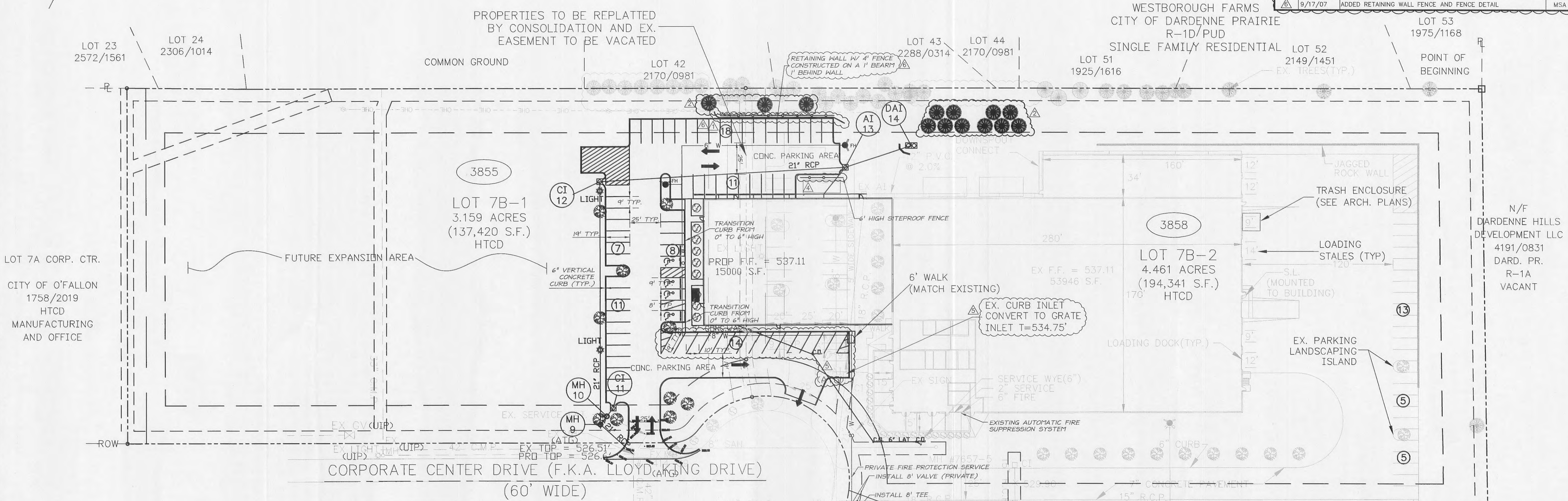
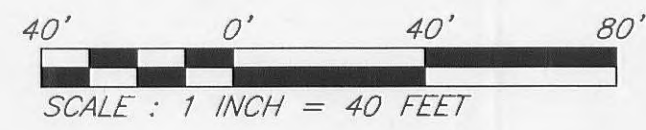
GBA
 GEORGE BUTLER ASSOCIATES, INC.
 Engineers / Architects
 Kansas City, Mo. / Lenexa, Ks. / O'Fallon, Mo. / Wichita, Ks.

DATE: SEPTEMBER 2007
 DESIGN BY: JJC
 DRAWN BY: MSA
 PROJECT NO.: 11333

SHEET NO. 6 TOTAL SHEETS 11

COMPONENT BAR BUILDING EXPANSION

NO.	DATE	DESCRIPTION	BY
△	8/22/07	160 LB KEYSTONE RETAINING WALL AT THE BACK OF CURB	MSA
△	8/22/07	CHANGED PROPOSED TREES NORTH OF THE PARKING LOT	MSA
△	8/22/07	REMOVED PROPOSED FENCE ALONG ON NORTH PROPERTY LINE	MSA
△	8/22/07	ADDED SITEPROOF FENCING	MSA
△	9/17/07	MODIFIED PARKING LOT LAYOUT AND INLET	MSA
△	9/17/07	ADDED RETAINING WALL FENCE AND FENCE DETAIL	MSA



- LANDSCAPING NOTES:**
- Site Coverage and Landscaping Requirements:
 Green Space Provided = 194920 SF (58.7%)
 Manufacturing = 66807 SF
 Office = 3100 SF
 Total Building = 69907 SF (21.5%)
 Pavement = 65823 SF (19.8%)
 - Street Trees
 1 Tree/40 LF of street frontage
 Proposed frontage to be developed = 250 L.F.
 Street Trees Required = 250 LF/30 = 6.25 Trees
 Total Required Trees = 7 Trees
 Existing trees to remain = 2 Trees
 Proposed Trees = 5 Trees
 Total Trees = 7 Trees
 - Landscaped Open Space Trees
 1 Tree/4000 SF of landscape space
 Trees Required = 194920 SF / 4000 SF = 48.7 Trees
 Existing Trees = 34 Trees
 Trees Provided = 23 Trees
 Total Trees = 57
 - Interior Landscaping Trees
 1 Landscaped plant island for every 20 parking spaces
 Plant Islands Required = 88 Spaces / 20 = 4.4 Plant Islands
 Ex. Islands = 2 Islands
 Proposed Plant Islands = 3 Plant Islands
 Total Plant Islands = 5 Plant Islands
 - Bufferyard Planting Requirements
 Per HTCD Zoning: 3 Plant Units /100 LF of buffer frontage lines
 Proposed Bufferyard Length to be developed = 240 LF
 Required Plant Units = (240 LF/100) * 3 = 7.2 Plant Units
 Existing Plant Units = 7 Plant Units
 Total Plant Units = 7 Plant Units

PLANT LIST:

PLANT/TREE	QUANTITY	SIZE
Bradford Pear	10	3" IN Caliper (min)
White Pine	13	6' (min)
Burning Bush	9	5 gallon (min at time of installation)

- Building Line _____
- Transition Strip _____
- Existing Easement Strip _____
- Property Line _____
- Existing Bradford Pear Tree
- Existing Shrub
- Existing Pine Tree
- Proposed Bradford Pear Tree
- Proposed Shrub
- Proposed White Pine

LEGAL DESCRIPTION
 Lot 7B-1 and 7B-2 of the Resubdivision Plat of Lot 7B of the O'Fallon Corporate Centre as Recorded in Plat Book 40 Page 363 of the St. Charles County Records.

NOTE: Existing underground and overhead utilities and drainage structures have been plotted from available information and their locations must be considered approximate only. It is the responsibility of the contractor to notify the utility companies and to verify the locations of existing utilities before actual construction begins. Any discrepancies should be reported to the engineer immediately.

THIS TRACT IS SERVED BY:
 Sewers - Duckett Creek Sanitary District - 441-1244
 Water - St. Charles County Public Water District #2 - 561-3737
 Electric - Ameren U.E. - 1-800-552-7583
 Gas - St. Charles Gas Company - 946-8937
 Telephone - AT&T - 949-1323
 Fire - Cottleville Fire Protection District - 447-6655

