

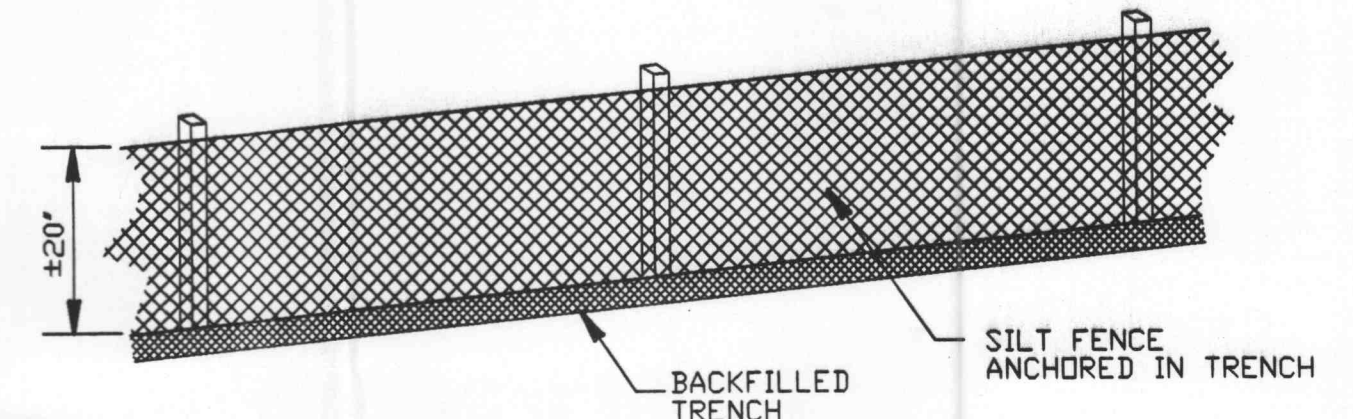
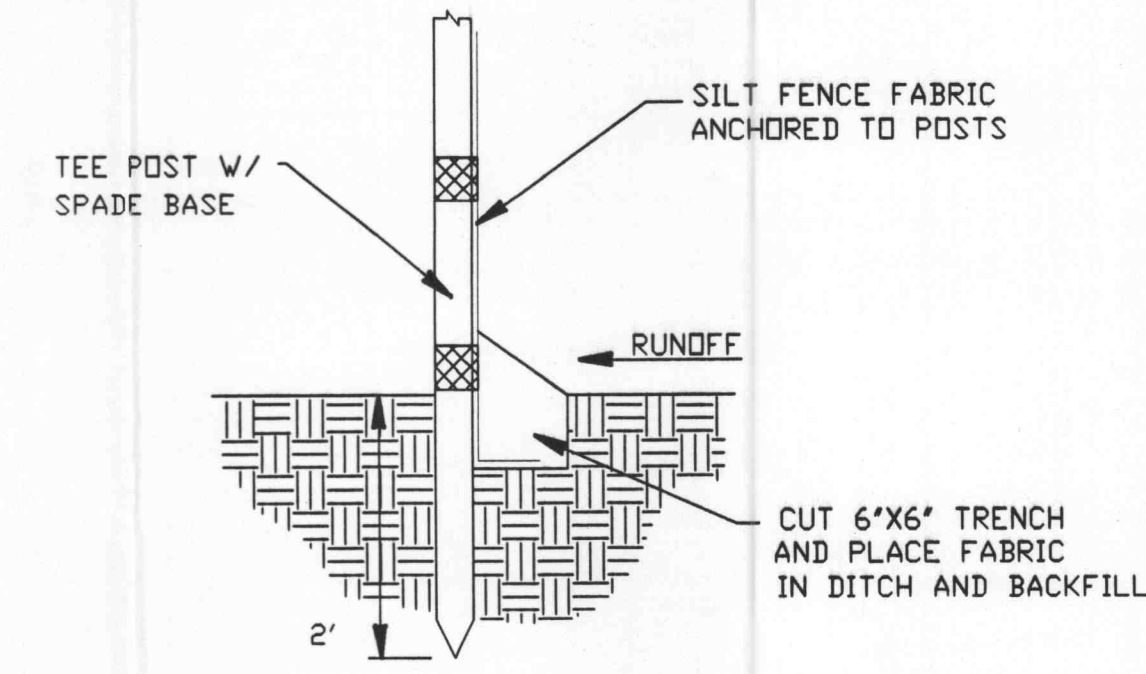
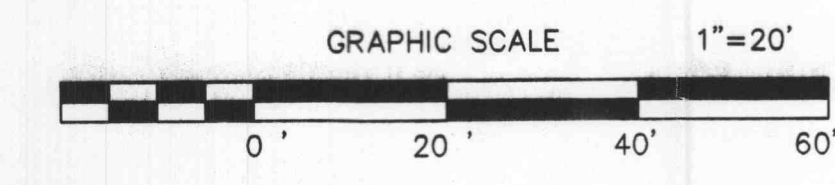
RECEIVED  
JAN 29 2003  
ENGINEERING DEPARTMENT

Pulaski Bank  
ADAPTIVE REUSE FOR NEW BANK FACILITY  
1700 O'FALLON ROAD, O'FALLON, MO. 63366  
GRADING PLAN

REVISIONS	
27 JANUARY 2003	
DATE	
18 OCTOBER 2002	
SHEET NO.	
<b>C-2</b>	
JOB NO.	P02010-A
DRAWN	
CHECKED	

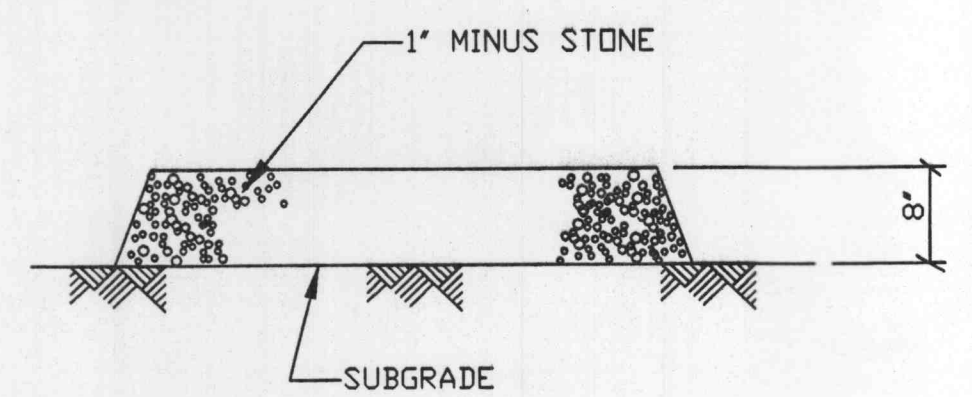
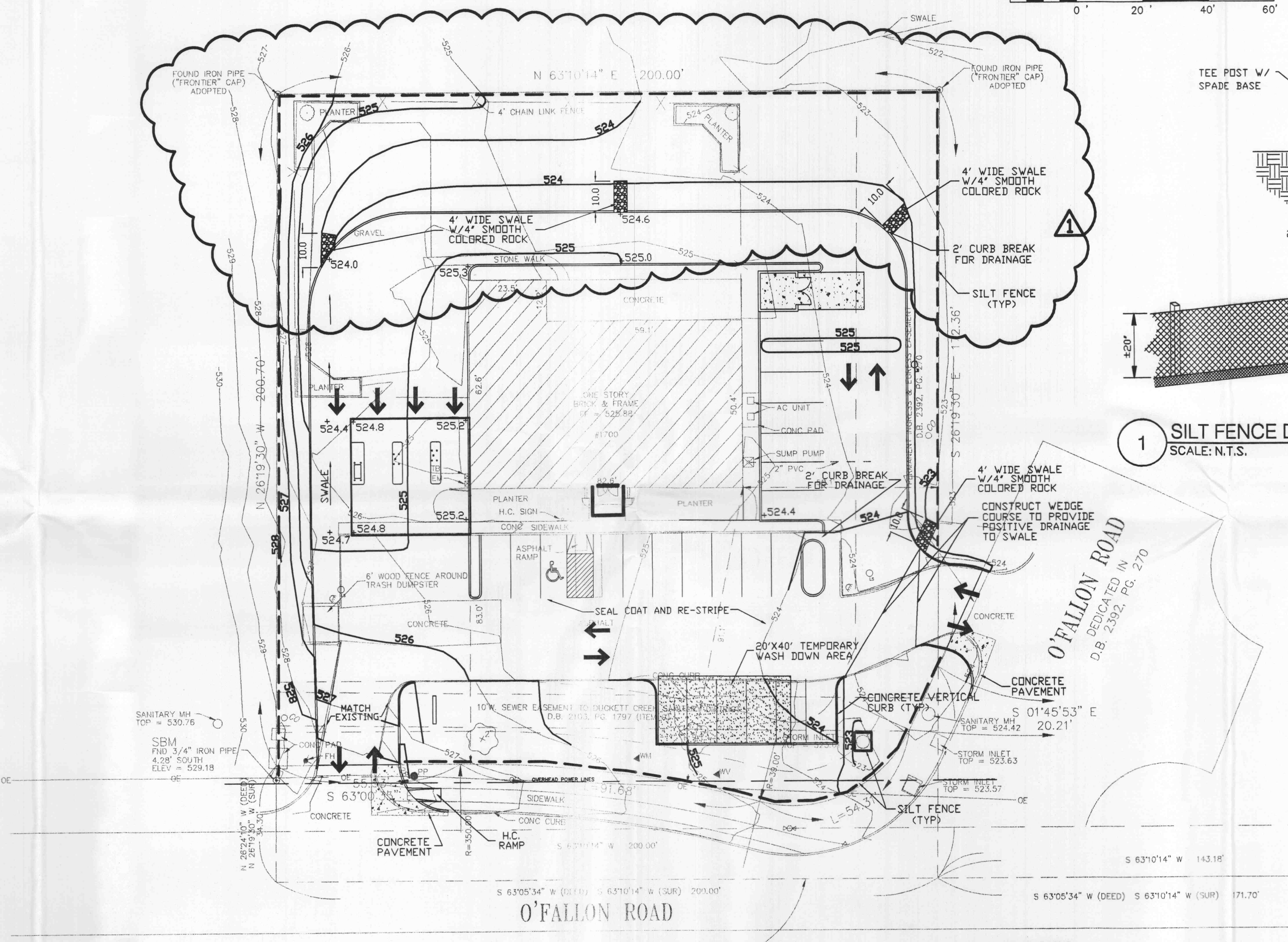
**LEGEND:**

EXISTING CONTOUR	— 524 —
PROPOSED CONTOUR	— 524 —
SPOT GRADE	+524.0



1 SILT FENCE DETAIL  
SCALE: N.T.S. REF. DWG. C2

- NOTES:**
- ALL GRADES ARE TO FINISH GRADE OR FINISH PAVEMENT. THE CONTRACTOR SHALL DEDUCT PAVEMENT THICKNESS IN BUILDING AREAS TO OBTAIN SUBGRADE ELEVATIONS.
  - SILTATION CONTROL SHALL BE UTILIZED DURING CONSTRUCTION TO PREVENT SILTATION FROM RUNNING ONTO THE ADJACENT STREETS & PROPERTIES. NO STORM WATER SHALL DRAIN ONTO CITY STREETS.
  - ALL EROSION CONTROL SYSTEMS SHALL BE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
  - MAXIMUM SLOPE SHALL BE 3 HORIZ. TO 1 VERT. (3:1) THE CIVIL ENGINEER ASSUMES NO LIABILITY FOR SLOPES EXCEEDING THOSE RECOMMENDED BY GEOTECH. REPORT.
  - ALL GRADING AND DRAINAGE SHALL MEET THE CITY OF O'FALLON AND ST. CHARLES COUNTY STANDARDS & SPECIFICATIONS.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATIONS AND SIZES OF ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN ON THIS PLAN, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER HAS NOT FIELD VERIFIED THE EXISTING UTILITIES. THE UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM RECORDS AND UTILITY MAPS MADE AVAILABLE TO THE ENGINEER AND THE LOCATIONS AND SIZES SHALL BE CONSIDERED APPROXIMATE ONLY. OTHER UTILITIES, NOT SHOWN ON THIS PLAN, MAY EXIST ON OR NEAR THE SITE.
  - RETAINING WALLS, TIE BACK AND DRAINAGE BEHIND WALL SHALL BE DESIGNED BY THE MASONRY BLOCK SUPPLIER OR INSTALLER.
  - ALL FILLED PLACES UNDER PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
  - REFER TO LANDSCAPE PLAN FOR AREAS TO BE SEEDED, MULCHED AND PLANTED.
  - ALL NON-PAVED AREAS OF SITE DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION OF EXISTING LAWN.
  - NO ON SITE DETENTION IS REQUIRED ALTHOUGH THE OWNER SHALL CONTRIBUTE TO THE STORMWATER TRUST FUND.
  - DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
  - NO GRADED AREAS TO REMAIN BARE FOR MORE THAN 6 MONTHS.
  - PROPERTY IS LOCATED OUTSIDE 100 YEAR FLOOD PLAIN PER FIRM MAP PANEL #291



2 TEMPORARY TRUCK WASH OFF AREA DETAIL  
SCALE: N.T.S. REF. DWG. C2

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ISSUED FOR CONSTRUCTION