

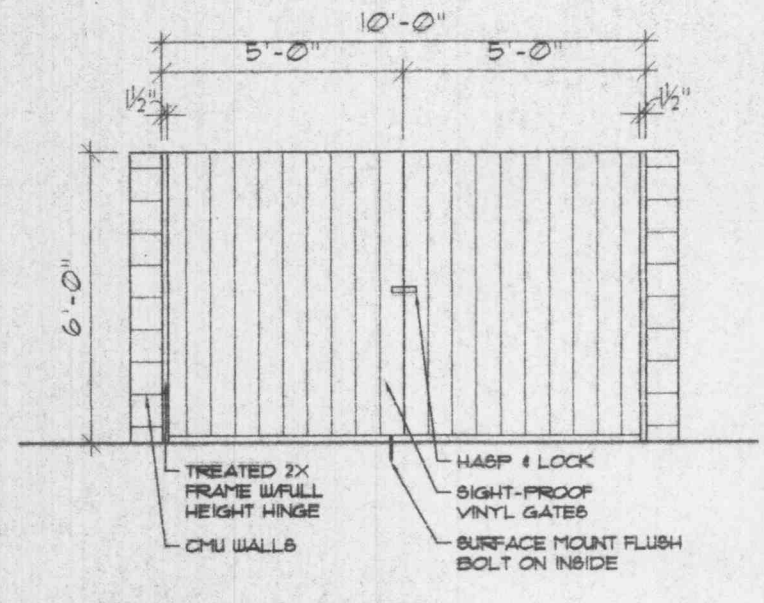
RECEIVED  
 JAN 9 2003  
 ENGINEERING DEPARTMENT

**Pulaski Bank**  
 ADAPTIVE REUSE FOR NEW BANK FACILITY  
 1700 O'FALLON ROAD, O'FALLON, MO. 63366  
 SITE PLAN + DETAILS

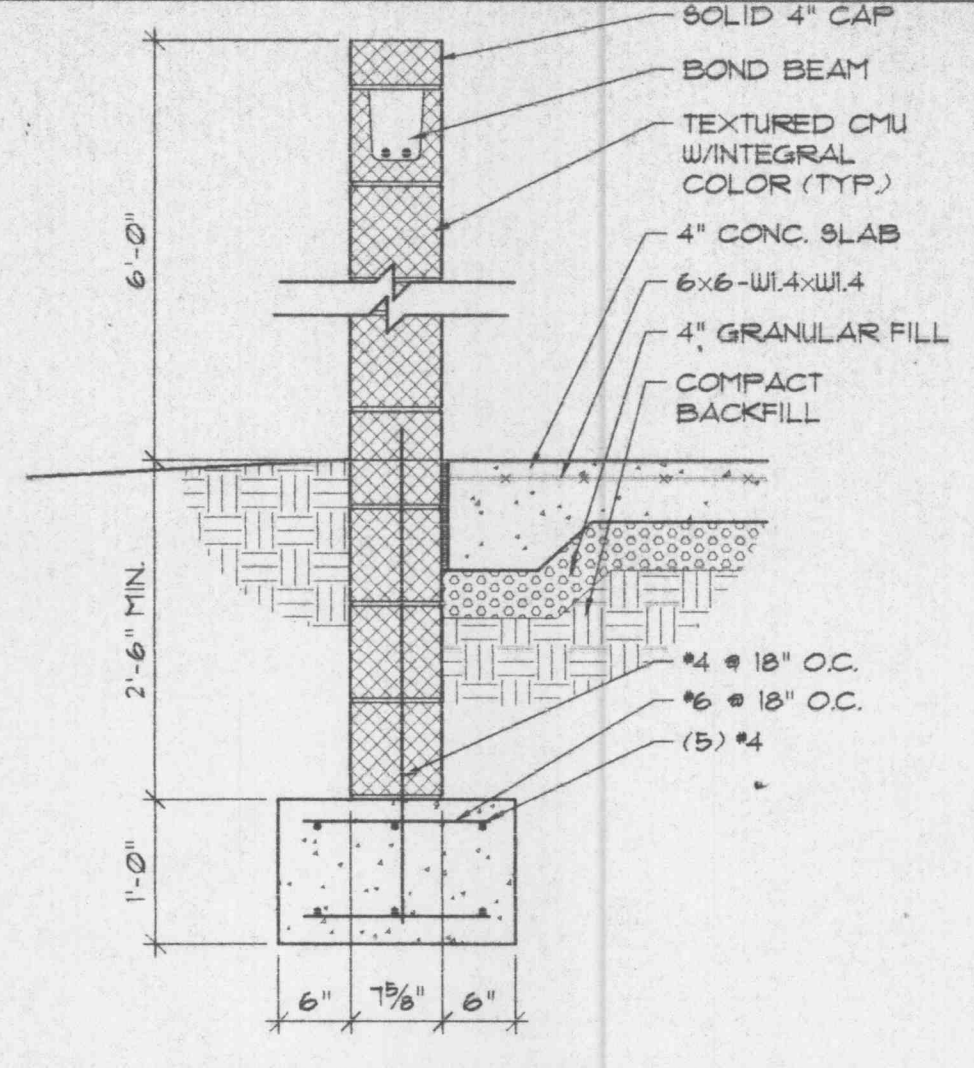
REVISIONS  
 30 DECEMBER 2002  
 27 JANUARY 2003  
 DATE:  
 18 OCTOBER 2002  
 SHEET NO.  
**A102**  
 JOB NO. P02010-A  
 DRAWN BM  
 CHECKED SHL

**GENERAL NOTES**

1. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS.
2. ALL EXISTING IMPROVEMENTS SHALL REMAIN UNLESS NOTED OTHERWISE.
3. REFER TO ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
4. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL THE ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF O'FALLON MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITING OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON.
5. FINISH SPOT ELEVATIONS AND CONTOURS ARE SHOWN TO TOP OF NEW PAVEMENT, WALKS, SOD, ETC.
6. FINISH SPOT ELEVATIONS AT THE FACE OF CURBS ARE SHOWN TO TOP OF NEW PAVEMENT.
7. BACKFILL ALL UTILITY TRENCHES WITH GRANULAR MATERIAL.
8. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE GRADING AND DRAINAGE SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON.
9. NO SLOPE SHALL EXCEED 3:1 MAXIMUM.
10. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES AND CIRCUITING.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND CONSTRUCTION COSTS RELATED TO INSTALLATION AND CONNECTION OF ALL UTILITIES (INCLUDING, BUT NOT LIMITED TO, CABLE T.V., GAS, WATER, ELECTRIC, TELEPHONE AND SANITARY SEWER) FROM LOCAL UTILITY COMPANY SOURCE TO THE BUILDING.
12. EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND MUST BE CONSIDERED AS APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION PRIOR TO COMMENCING WORK.
13. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE ELECTRIC SERVICE CONSTRUCTION SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF O'FALLON ELECTRIC.
14. ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE STORM SEWER AND SANITARY SERVICE CONSTRUCTION SHALL COMPLY WITH THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON WATER DEPARTMENT.
15. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PATIOS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
16. THE CONTRACTOR SHALL SAWCUT ALL EDGES OF EXISTING PAVEMENT THAT IS TO BE REMOVED. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO CREATE A SMOOTH WORKING EDGE AND TO PLACE BACKFILL AND PAVEMENT SUCH THAT SETTLEMENT DOES NOT OCCUR.
17. PROPERTY IS LOCATED OUTSIDE 100 YEAR FLOOD PLAIN PER FIRM MAP PANEL #29183C043C E. P. 1996
18. THE OWNER WILL PETITION THE CITY FOR A DETENTION WAIVER DUE TO THE MINOR INCREASE IN RUN-OFF. IF THE WAIVER IS DENIED, THE OWNER WILL CONSTRUCT A SHALLOW GRASS-LINED BASIN IN ACCORDANCE WITH THE CITY'S CRITERIA.
19. ALL NEW TREES TO BE 2 1/2" DECIDUOUS TREES TO MATCH EXISTING SPECIES.
20. ALL NEW SHRUBS TO BE 2 1/2" EVERGREEN TO MATCH EXISTING SPECIES.
21. ALL NON-PAVED AREAS OF SITE DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION OF EXISTING LAWN.



**ELEVATION OF TRASH ENCLOSURE**  
 1/4" = 1'-0"



**SECTION @ TRASH ENCL.**  
 3/4" = 1'-0"

**CALCULATIONS:**

Parking Requirements (Article XII, sections 400.475.6, 400.485):  
 Number of spaces required:  
 1 space per 300 SF of bldg area for service of public:  
 Bldg GSF= 4553 SF  
 Bldg NSF= 3793 SF/300: 13 spaces  
 1 space per 2 employees:  
 10 employees/2 = 5 spaces  
 Total required: 18 spaces  
 Total provided: 23 spaces  
 Accessible spaces required (400.475.8):  
 Required: for 2 to 50 total spaces: 1 space  
 Proposed: 1 space  
 Loading Space Requirements (Article XII, 400.480.7):  
 No loading space required if bldg area less than 5000 SF  
 Site Coverage (400.125.A):  
 Coverage limitation: none for C-2 zoning  
 Site area (see attached survey): 40,658 SF (0.933 acre)  
 Landscaping: 12,216 SF (30.0%)  
 Pavement: 23,889 SF (58.8%)  
 Buildings: 4,553 SF (11.2%)  
 Total: 40,658 SF (100%)

Landscaping (Article X):  
 Required trees (400.420.B.2):  
 In protective zone:  
 1 tree/40' of street frontage  
 200' frontage on O'Fallon Rd: 5  
 In open landscaping:  
 1 tree/3000 SF of landscaping  
 16,576 SF/3000 SF: 6  
 Total trees required: 11  
 Existing trees:  
 To remain: 6  
 To be relocated: 2  
 Total: 8  
 New trees: 5  
 Total trees proposed: 13  
 In protective zone: 6  
 In landscaped areas: 7

Building Foundation Landscaping:  
 Required: Around bldg footprint where foundation is exposed  
 Proposed:  
 North: foundation not exposed  
 East: foundation not exposed, 50' of landscaping proposed  
 South: foundation not exposed.  
 West: exposed foundation abut drive-up teller lanes

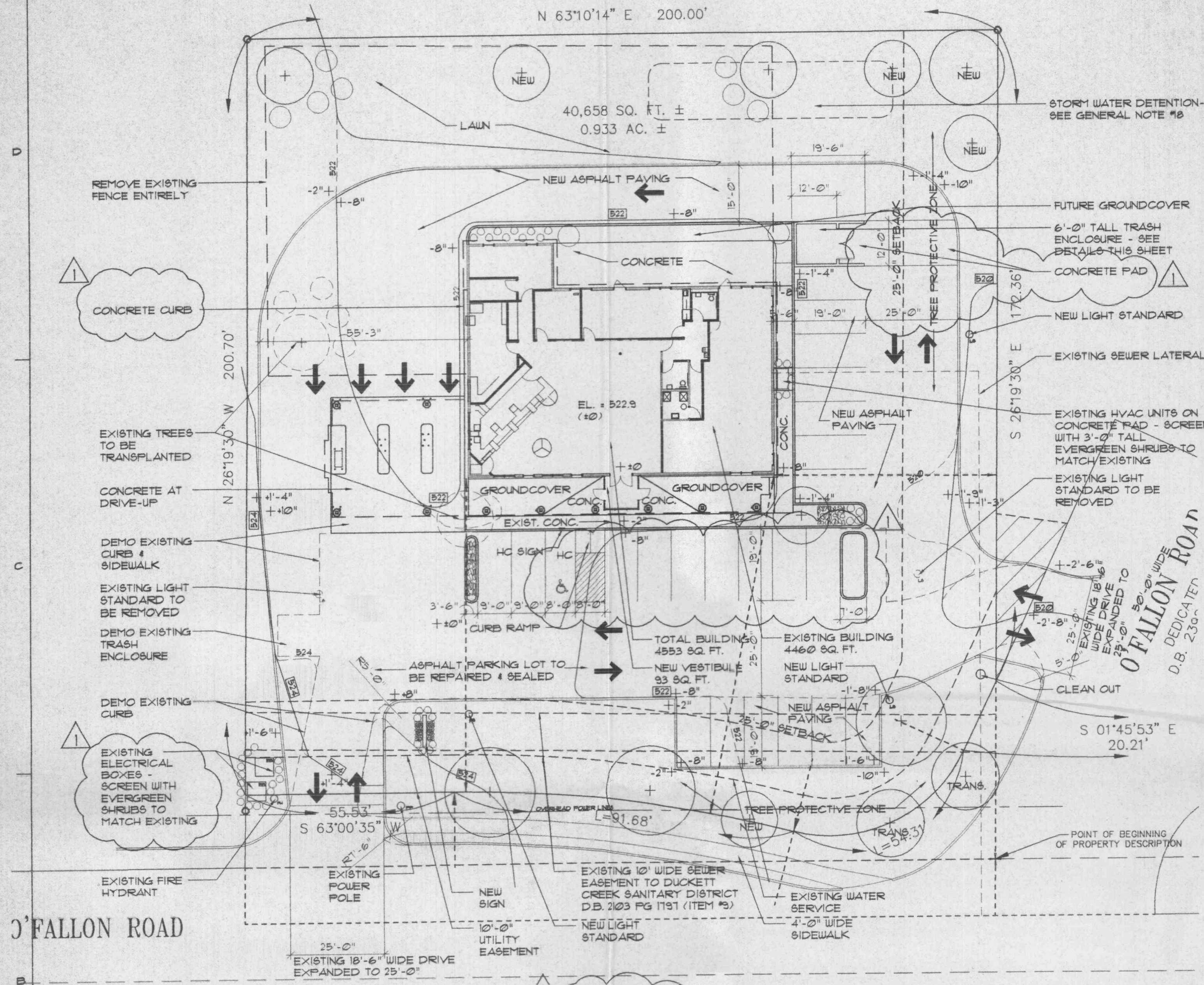
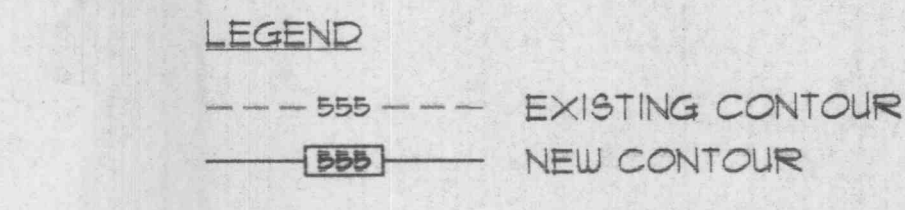
**Vegetative Establishment**

**Seeding Rates:**  
 Permanent:  
 Tall Fescue - 30 lbs./ac.  
 Smooth Brome - 20 lbs./ac.  
 Combined Fescue - 15 lbs./ac. and Brome - 10 lbs./ac.  
 Temporary:  
 Wheat or Rye - 150 lbs./ac. (3.5 lbs. per square foot)  
 Oats - 120 lbs./ac. (2.75 lbs. per square foot)

**Seeding Periods:**  
 Fescue or Brome - March 1 to June 1  
 August 1 to October 1  
 Wheat or Rye - March 15 to November 1  
 Oats - March 15 to September 15

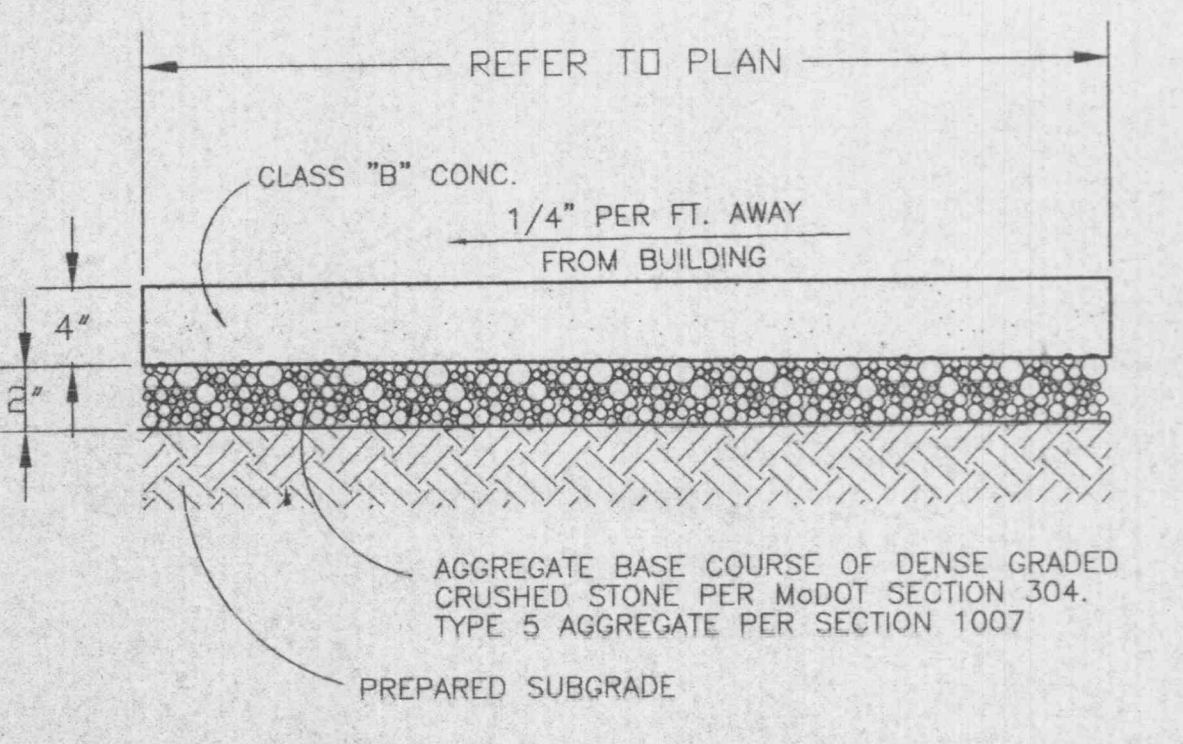
**Mulch Rates:**  
 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre)

**Fertilizer Rates:**  
 Nitrogen - 30 lbs./ac.  
 Phosphate - 30 lbs./ac.  
 Lime - 600 lbs./ac. ENM\*  
 \* ENM = Effective Neutralizing Material, as per state evaluation of quarried rock.

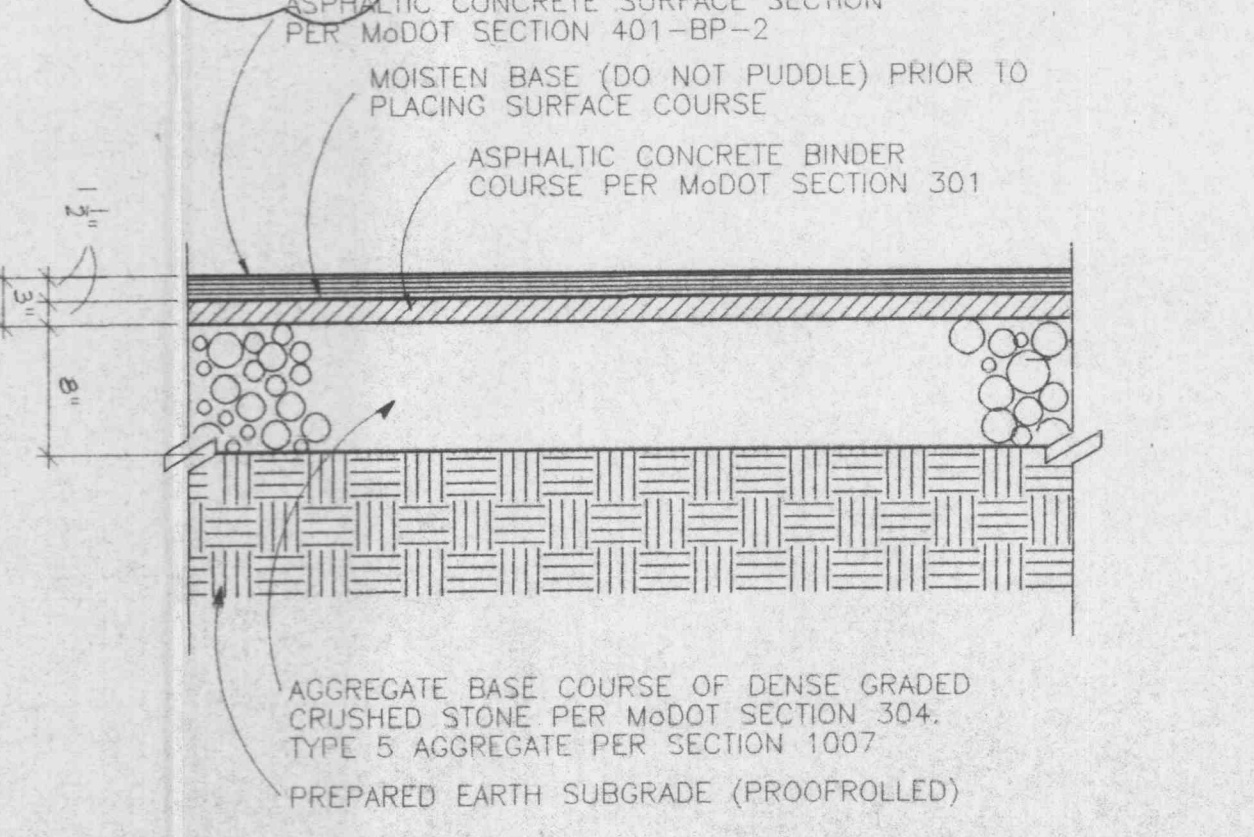


**SITE PLAN**  
 1" = 20'-0"

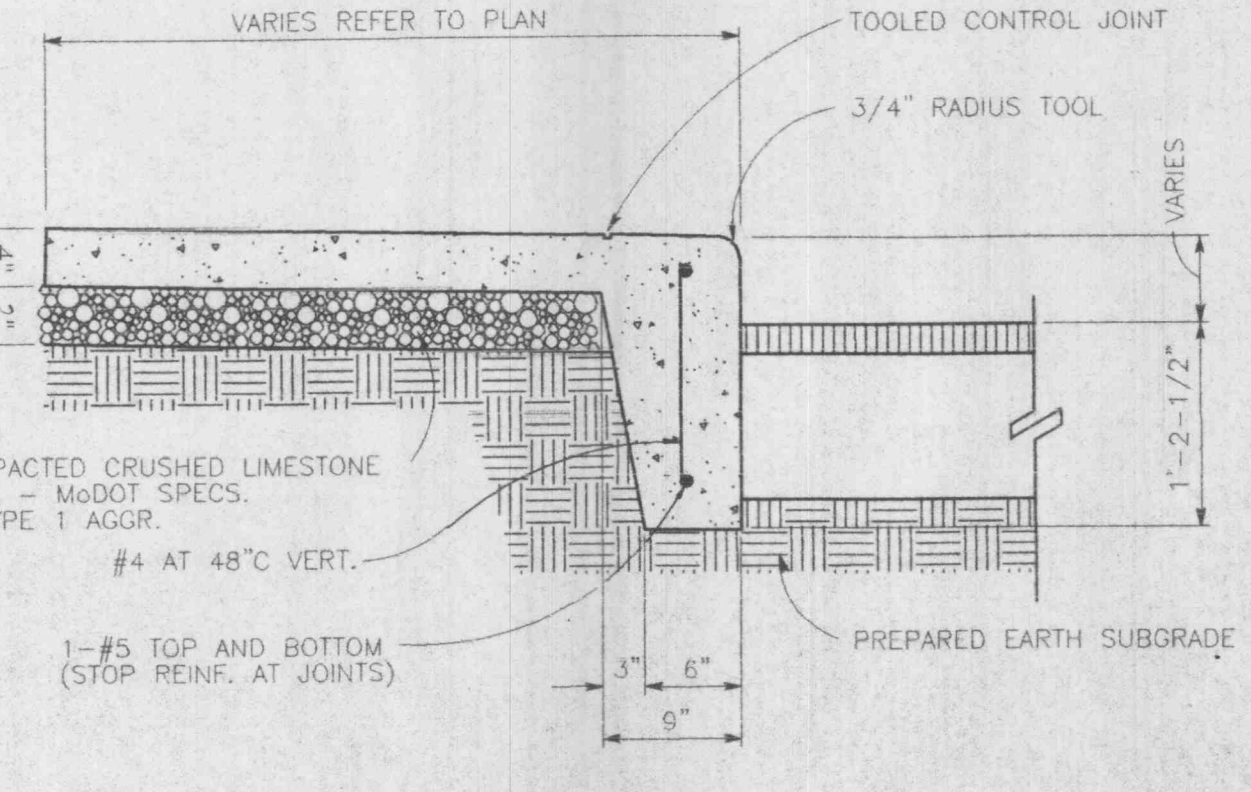
**DRAWING NOTE:**  
 THIS ARCHITECTURAL SITE PLAN DRAWING IS ONLY FOR ARCHITECTURAL ITEMS AND LANDSCAPING. FOR ALL CIVIL INFORMATION SEE DRAWINGS C1, C2, C3 AND C4 IN THIS SET FOR GRADING, DRAINAGE, SITE DIMENSIONS, ETC.



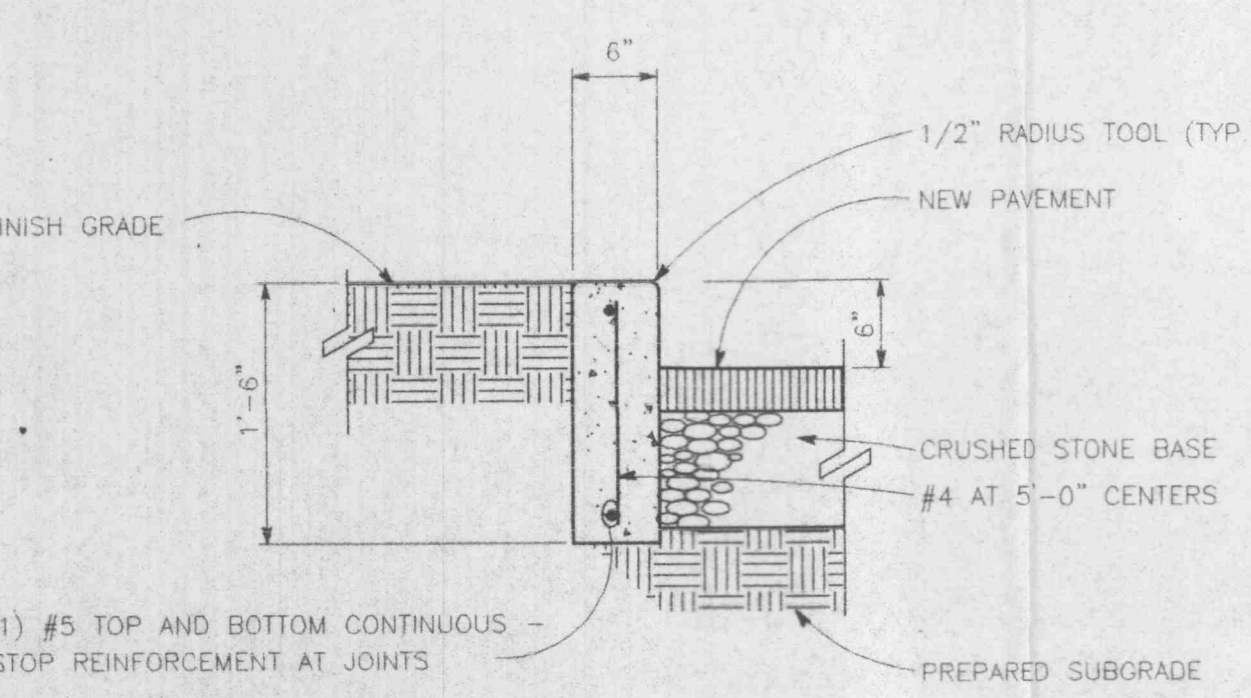
**CONCRETE SIDEWALK DETAIL**  
 NO SCALE  
 PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT 50' CENTERS  
 PROVIDE TOOLED CONTRACTION JOINTS AT 5' CENTERS  
 PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER ALONG EDGES WHICH ABUT BUILDINGS  
 COMPACT SUBGRADE TO 90% OR GREATER MAX. DRY DENSITY PER ASTM D-1557  
 COMPACT BASE TO 95% MODIFIED PROCTOR PER ASTM D-1557



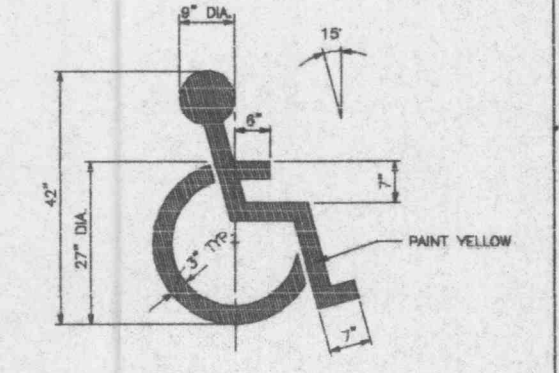
**ASPHALTIC CONCRETE PAVEMENT**  
 NO SCALE  
 MOISTEN BASE (DO NOT PUDDLE) PRIOR TO PLACING SURFACE COURSE  
 ASPHALTIC CONCRETE BINDER COURSE PER MDOT SECTION 301  
 AGGREGATE BASE COURSE OF DENSE GRADED CRUSHED STONE PER MDOT SECTION 304. TYPE 5 AGGREGATE PER SECTION 1007  
 PREPARED EARTH SUBGRADE (PROOFROLLED)  
 COMPACT SUBGRADE TO 90% OR GREATER MAX. DRY DENSITY PER ASTM D-1557  
 COMPACT BASE TO 95% MODIFIED PROCTOR PER ASTM D-1557



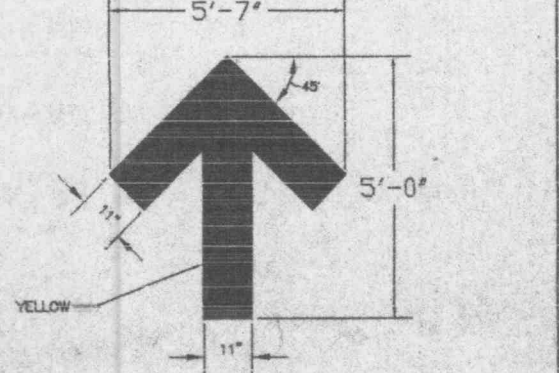
**TURNED DOWN SIDEWALK/CURB**  
 NO SCALE  
 PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT 50' CENTERS  
 PROVIDE TOOLED CONTRACTION JOINTS AT 5' CENTERS  
 COMPACT SUBGRADE TO 90% MAX. DRY DENSITY PER ASTM D-1557  
 COMPACT BASE TO 95% MAX. DRY DENSITY PER ASTM D-1557



**VERTICAL CONCRETE CURB DETAIL**  
 NO SCALE  
 PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT P.T. AND P.C. OF ROUNDBENDS, MAXIMUM DISTANCE BETWEEN EXPANSION JOINT SHALL BE 50'



**PAINTED HANDICAPPED PARKING SYMBOL**  
 NO SCALE



**PAINTED DIRECTIONAL ARROW DETAIL**  
 NO SCALE

ISSUED FOR CONSTRUCTION