

STANDARD SYMBOLS & ABBREVIATIONS

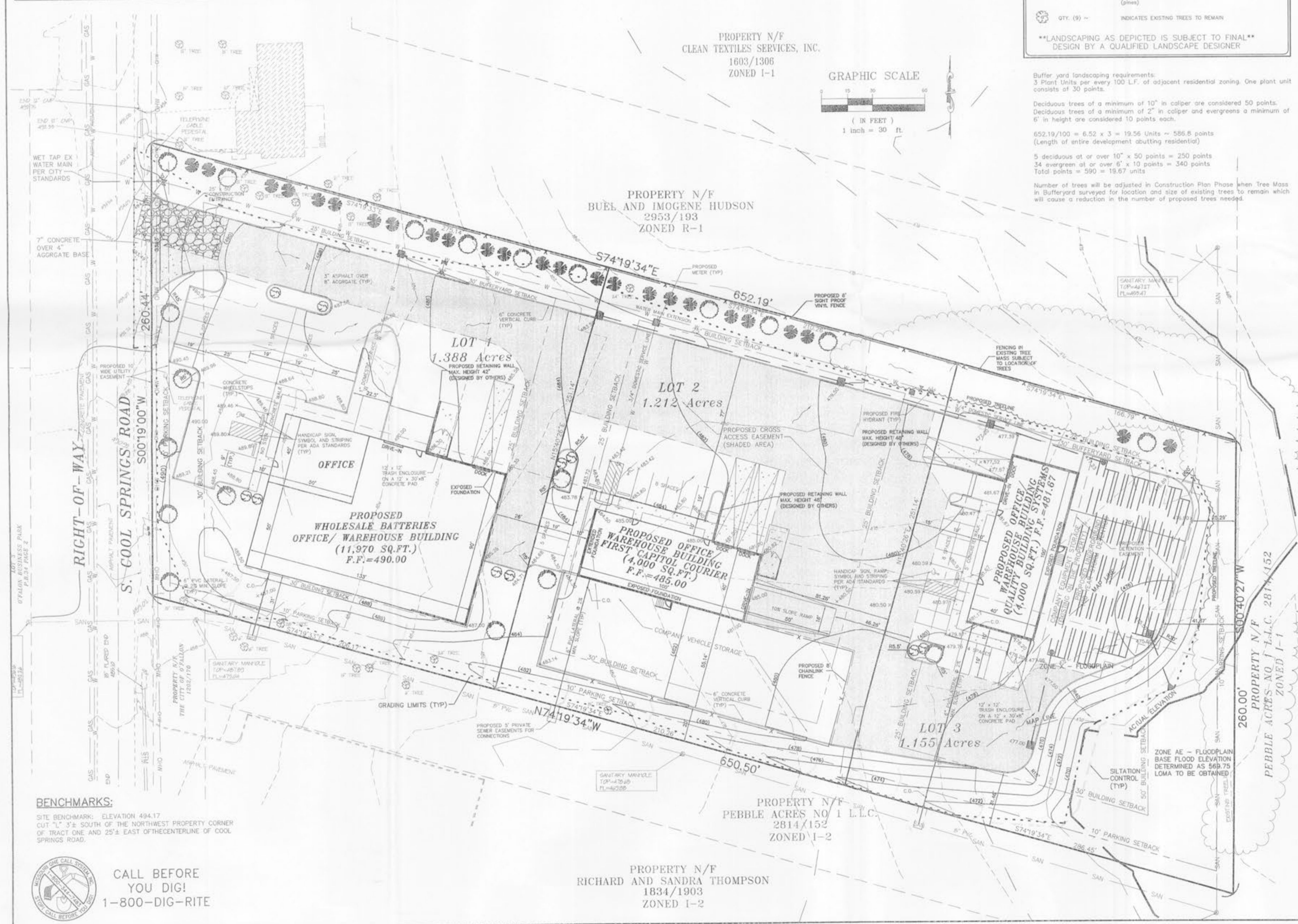
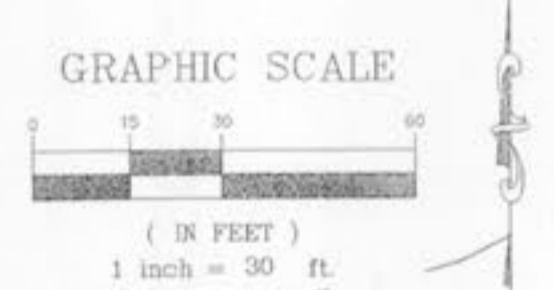
TREE OR BUSH	(Symbol)
LIGHT POLE	(Symbol)
SANITARY SEWER & MANHOLE	(Symbol)
STORM SEWER & INLET	(Symbol)
MAILBOX	(Symbol)
ELECTRIC LINE	(Symbol)
GAS LINE	(Symbol)
WATER LINE	(Symbol)
TELEPHONE LINE	(Symbol)
CABLE TV LINE	(Symbol)
OVERHEAD WIRE	(Symbol)
UTILITY POLE	(Symbol)
UTILITY POLE W/ DOWN GUY	(Symbol)
FIRE HYDRANT	(Symbol)
WATER VALVE	(Symbol)
WATER METER	(Symbol)
GAS VALVE	(Symbol)
ROAD SIGN	(Symbol)
TELEPHONE PEDESTAL	(Symbol)
FENCE	(Symbol)

**A PRELIMINARY PLAT AND SITE PLAN FOR
COOL SPRINGS BUSINESS PARK**
THREE TRACTS OF LAND BEING PART OF THE NORTHWEST QUARTER
OF SECTION 27, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH
PRINCIPAL MERIDIAN,
ST. CHARLES COUNTY, MISSOURI

LANDSCAPE LEGEND

(Symbol)	QTY. (10) ~	INDICATES PROPOSED EVERGREEN OR ORNAMENTAL SHRUB (mugo pines, yews, junipers, hollies, boxwoods) (sycams, forsythia, barberries, privets, hicks)
(Symbol)	QTY. (20) ~	INDICATES PROPOSED DECIDUOUS HARDWOOD TREE (Size: 3" min. caliper 1" above grade and 5" clear trunk) (ashes, oaks, maples, birches, sweet gum)
(Symbol)	QTY. (25) ~	INDICATES PROPOSED EVERGREEN TREE (Size: 6" MIN. (pines))
(Symbol)	QTY. (9) ~	INDICATES EXISTING TREES TO REMAIN

****LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER****



- DEVELOPMENT NOTES**
- Area of Overall Tract: 3.755 Acres
Lot 1: 1.388 Acres
Lot 2: 1.212 Acres
Lot 3: 1.155 Acres
 - Existing Zoning: I-2 (City of O'Fallon)
 - Proposed Use: Office/Warehouse
 - Setbacks: 30' Front
25' Side
50' Rear
50' Maximum Building Height
 - Current Owner & Developer of Property: Jim Summers
308 Cool Springs Road
O'Fallon, MO 63366
(636) 379-9166
 - Site is served by:
Ameren UE
Laclede Gas Company
City of O'Fallon Water
Century Telephone Company
Fort Zumwalt School District
O'Fallon Fire Protection District
City of O'Fallon Sewer
 - Flood Plain exists on this site per F.I.R.M. #29183 C 0241E, dated Aug. 2, 1996. LOMA to be submitted to FEMA.
 - Parking Requirements:
Office: 1 space per 300 s.f. of floor area.
Warehouse: 1 space per employee, plus 1 space per 1,000 s.f. of floor area.
- Lot #1**
2,000 sq. ft. / 300 = 6.67
9,970 sq. ft. / 1,000 = 9.97
3 Employees
Spaces required = 20
Spaces provided = 21 (Including 1 handicap space)
- Lot #2**
1,500 sq. ft. / 300 = 5
2,500 sq. ft. / 1,000 = 2.5
3 Employees
Spaces required = 11
Spaces provided = 13 (Including 1 handicap space)
- Lot #3**
1,500 sq. ft. / 300 = 5
2,500 sq. ft. / 1,000 = 2.5
3 Employees
Spaces required = 11
Spaces provided = 12 (Including 1 handicap space)
- Landscaping requirements:
1 tree per 40' of street frontage
260.44' / 40' = 6.511 trees required
Not less than 6% of the interior of the parking lot shall be landscaped.
50 spaces x 270 sq. ft. = 13,500 x 6% = 810.00 sq. ft.
Required = 810.00 sq. ft.
Interior landscaping provided = 2,120.00 sq. ft.
Tree Preservation:
16,675.48 s.f. of existing tree mass on site
8,816.52 s.f. tree mass to remain
20% minimum per ordinance to remain
8,816.52 / 44,434.72 = 52.86% to remain
 - Overall Site Coverage Calculations: 163,579.00 s.f.
Building area: 19,900 s.f. - 12.16%
Landscape area: 58,684.00 s.f. - 35.88%
Pavement area: 84,995.00 s.f. - 51.96%
 - Lot 1 Site Coverage: 60,438.01 s.f.
Building Area: 11,970 s.f. - 19.81%
Green Area: 22,092.78 s.f. - 36.55%
Pavement Area: 26,375.23 s.f. - 43.64%
 - Lot 2 Site Coverage: 52,804.48 s.f.
Building Area: 4,000 s.f. - 7.58%
Green Area: 12,209.76 s.f. - 23.12%
Pavement Area: 36,594.72 s.f. - 69.30%
 - Lot 3 Site Coverage: 50,336.73 s.f.
Building Area: 4,000 s.f. - 7.95%
Green Area: 25,784.32 s.f. - 51.22%
Pavement Area: 20,552.41 - 40.83%
 - All new or relocated utilities shall be placed underground.
 - All HVAC and mechanical units on site shall be properly screened as required by City Code. Rooftop units shall be screened by a parapet wall that extends around the entire perimeter of the building; the parapet shall have a minimum height that is at least as tall as the tallest unit mounted on the roof; ground mounted HVAC and mechanical units shall be screened by fencing, vegetation or some other means (approved by the Planning and Zoning Commission) that has a minimum height that is at least as tall as the tallest unit being screened.
 - All signage to be approved by separate permit.
 - All siltation control to be per St. Charles County Soil and Water Conservation District Erosion and Sediment Control Guidelines.
 - All buildings to be constructed in Phase One.
 - Improvements are to be made to the adjacent right-of-way of all developments to meet City of O'Fallon standards and specifications. Any adjustments in the grading of right-of-way whether it be existing conditions or caused by the construction of the development shall be approved by the City of O'Fallon upon inspection of the site.
 - Estimated existing sanitary contribution: 200 g.p.d.
Estimated proposed sanitary contribution: 690 g.p.d.
Increase of estimated sanitary contribution = 490 g.p.d.
 - Site shall be in compliance with Phase II Illicit Stormwater discharge guidelines per Ordinance 5082.

DATE APPROVED
APR 20 2007
ALJ

PREPARED FOR:
JIM SUMMERS
308 COOL SPRINGS ROAD
O'FALLON, MO 63366
(636) 379-9166

RIGHT-OF-WAY

2nd SUBMITTAL
OCT 26 2007

REVISIONS

8-30-07	Per City Comments
9-11-07	Per City Comments

STATE OF MISSOURI
CHRISTOPHER J. BATT
REGISTERED PROFESSIONAL ENGINEER
NO. 2000150037
9-12-07
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BATT
ENGINEERING
PLANNING
SURVEYING

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

8-16-07
DATE
99-10639C
PROJECT NUMBER
1 OF 3
SHEET OF
10639Cpre
FILE NAME
ALJ/CMF
DRAWN
ALJ CLH
DESIGNED CHECKED

BENCHMARKS:
SITE BENCHMARK: ELEVATION 494.17
CUT "1" 3'± SOUTH OF THE NORTHWEST PROPERTY CORNER
OF TRACT ONE AND 25'± EAST OF THE CENTERLINE OF COOL
SPRINGS ROAD.

CALL BEFORE YOU DIG!
1-800-DIG-RITE

PROPERTY N/F
RICHARD AND SANDRA THOMPSON
1834/1903
ZONED I-2

PROPERTY N/F
PEBBLE ACRES NO 1 L.L.C.
2814/152
ZONED I-2

PROPERTY N/F
CLEAN TEXTILES SERVICES, INC.
1603/1306
ZONED I-1

PROPERTY N/F
BUÉL AND IMOGENE HUDSON
2953/193
ZONED R-1