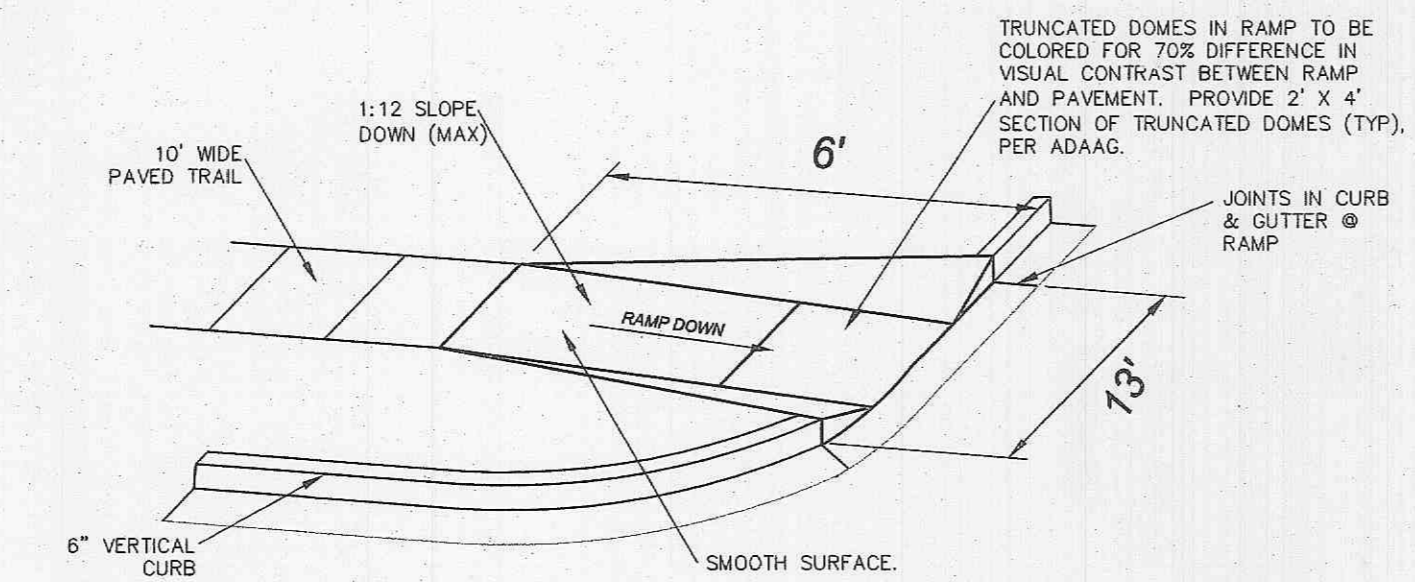


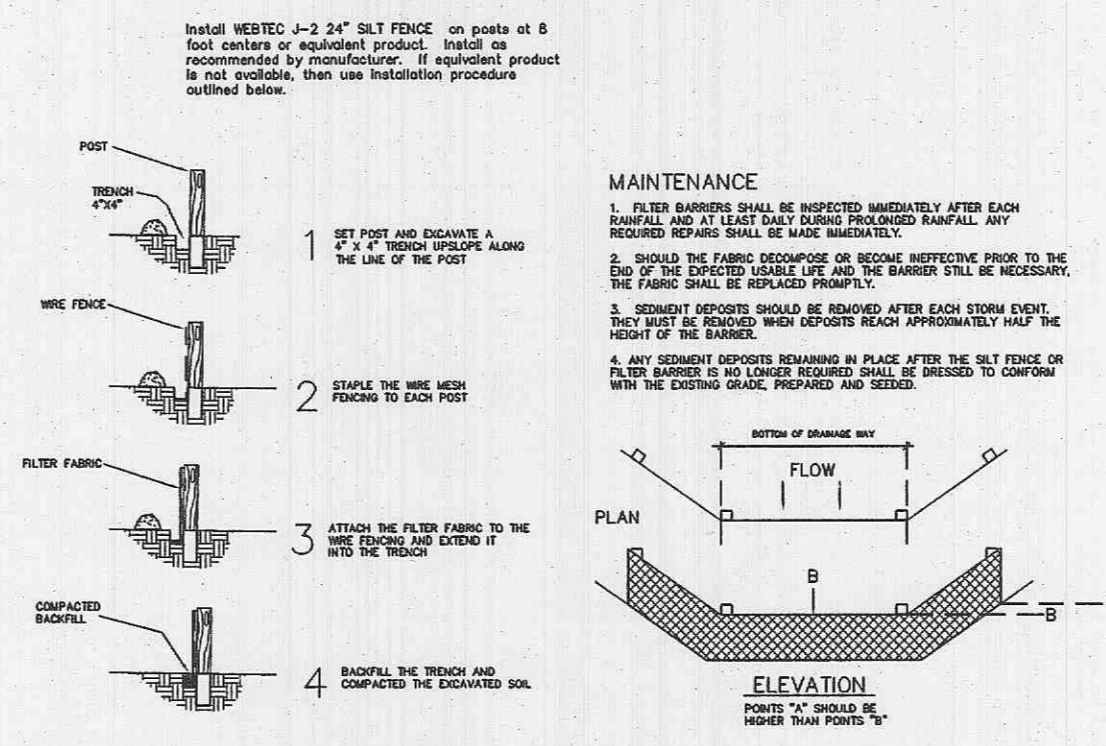
REV. 10/11/05
 REV. 05/25/06
 REV. 09/25/06

GENERAL NOTES:

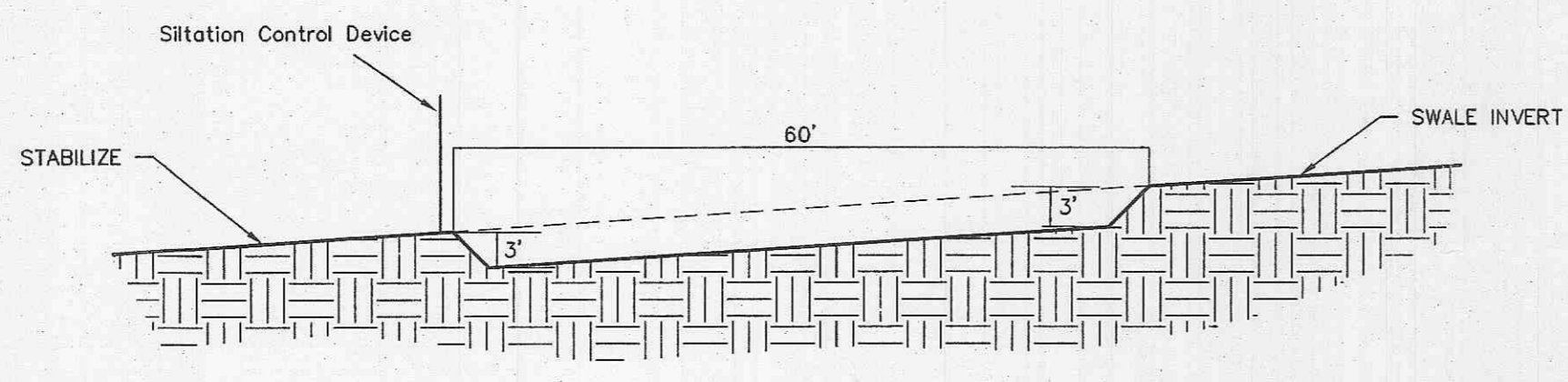
- I. Soil
- A. Soil preparation and revegetation shall consist of seeding fescue between March 1 and June 1 at a rate of 30 pounds per acre. See Appendix A of the Model Sediment and Erosion Control Regulations for Urban Development.
- B. Owner, Developer assumes full responsibility as to performance of grading operation and assurance that all properties and county roads will be adequately protected.
- C. If Siltation Control Devices are destroyed by heavy rains, vandalism, etc., they are to be replaced immediately by Contractor.
- D. Proposed phasing of development (rough dates) including:
a) Clearing (estimated duration of exposed areas).
b) Grading and construction (installation of temporary sediment control, storm drainage, paving)
c) Final Grading and Landscaping (vegetative cover)
- E. Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible or during the next seeding period after grading has been completed.
- F. When grading operations are completed or suspended for more than 2 weeks, permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided according to the Designated Officials recommendation. All finished grades (areas not to be disturbed by future improvements) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.
- G. All lots shall be seeded and mulched before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.
- H. Any wells and/or springs which may exist on this property shall be located and treated in a manner acceptable to the local governing authority.
- I. All existing trash, debris and broken concrete pieces on site must be removed and disposed of off site, and outside of the City of O'Fallon.
- J. Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off site and outside of the City of O'Fallon.
- K. Soft soils in the bottom and banks of existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location.
- II. Bid Yardage 1,800 cubic yards, more or less.
- A. The total yardage for this project is based on a 15% shrinkage factor.
- B. This shrinkage factor is subject to change, due to soil conditions, (types and moisture content) weather conditions, and the percent compaction actually achieved. As a result, adjustments in final grades may be required.
- C. The earth quantities were obtained from the existing topography using aerial photogrammetric procedures, with contours at two foot intervals, with a tolerance of plus or minus one foot or 1/2 contour interval.
- D. The computed bid yardage is to finished grade and does not include subgrade removal.
- E. This site is calculated to be a balanced on site grading, without having to haul in or haul out any materials. But due to the above conditions, some sites may not balance exactly. It is the contractor's responsibility to notify the engineer if it expects to have a shortage or surplus of material.



CONC. WALK w/ HANDICAP ACCESS
 AT ENTRANCE DRIVES & R/W
 NOT TO SCALE

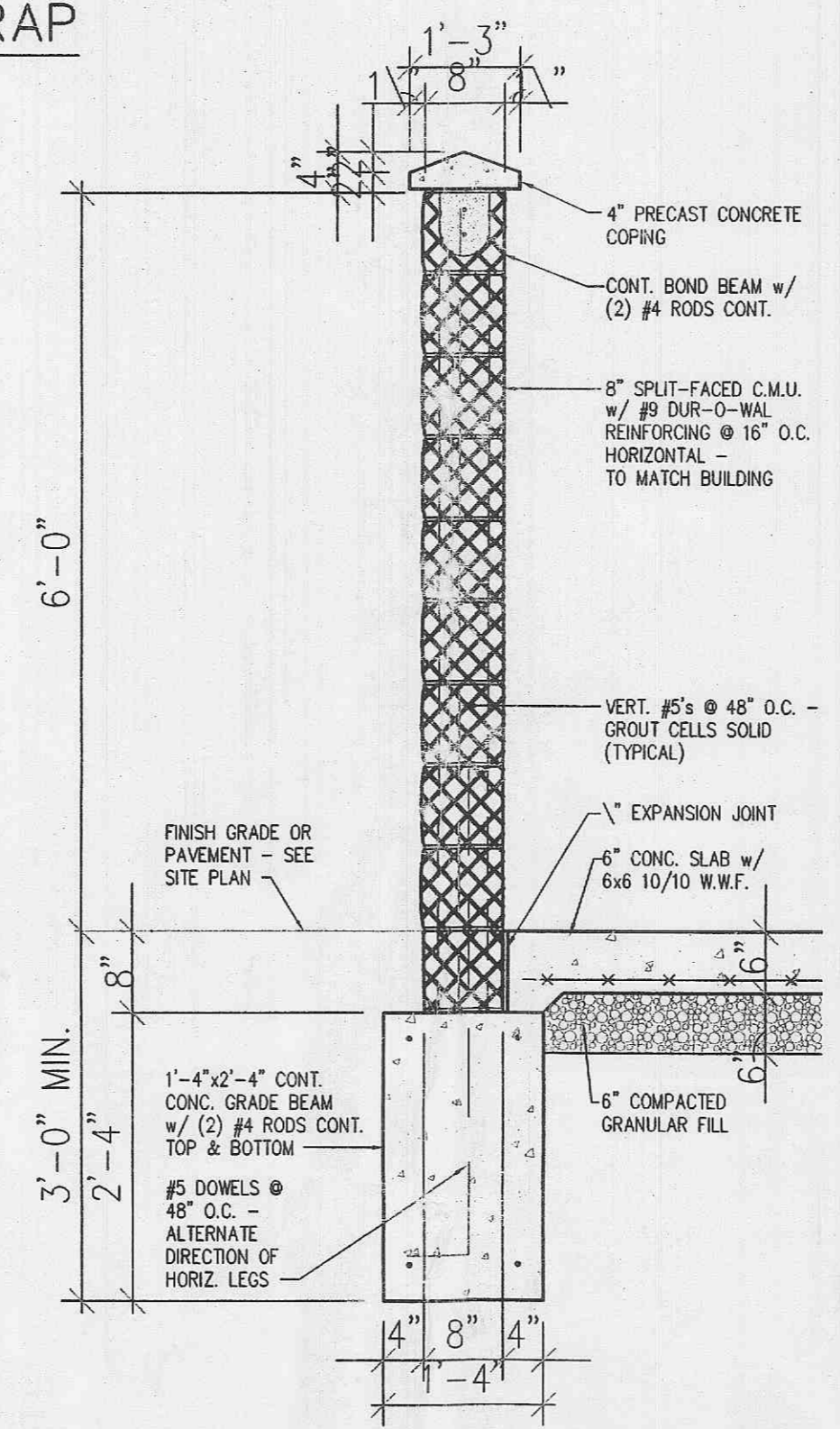


SYNTHETIC FILTER BARRIER
 SILTATION CONTROL
 NOT TO SCALE



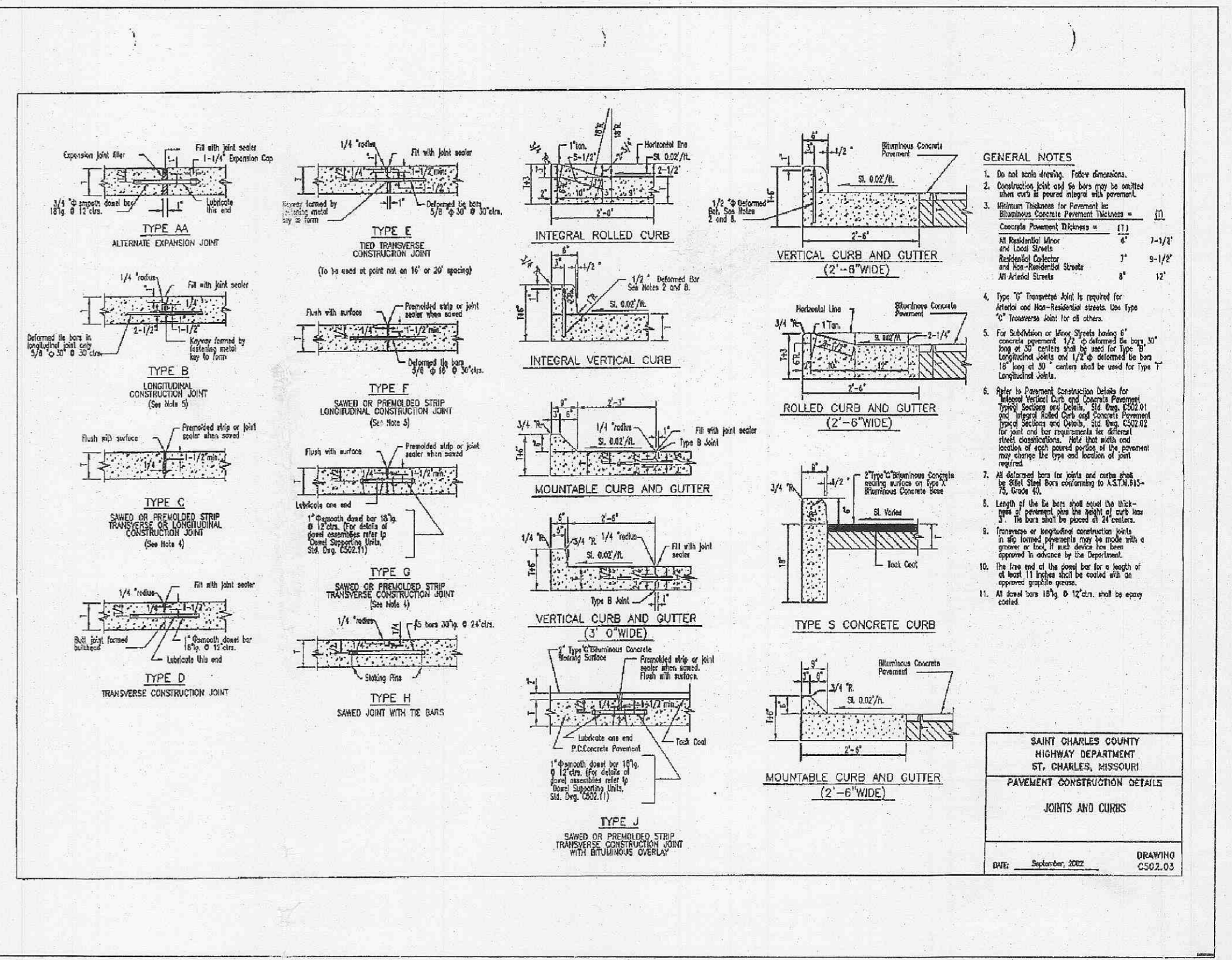
- NOTES:
1. THE SWALE SEDIMENT TRAP SHALL BE 20' x 60' TO PROVIDE MINIMUM STORAGE OF 1800 CUBIC FEET PER ACRE OF DRAINAGE AREA.
 2. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 4. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE CONTRIBUTORY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
 5. THE SWALE SEDIMENT TRAP WILL BE PROPERLY BACK FILLED AND THE SWALE RECONSTRUCTED.

MAXIMUM DRAINAGE AREA: 2 ACRES
 SWALE SEDIMENT TRAP
 NOT TO SCALE



VEGETATIVE ESTABLISHMENT
 For Urban Development Sites
 APPENDIX A

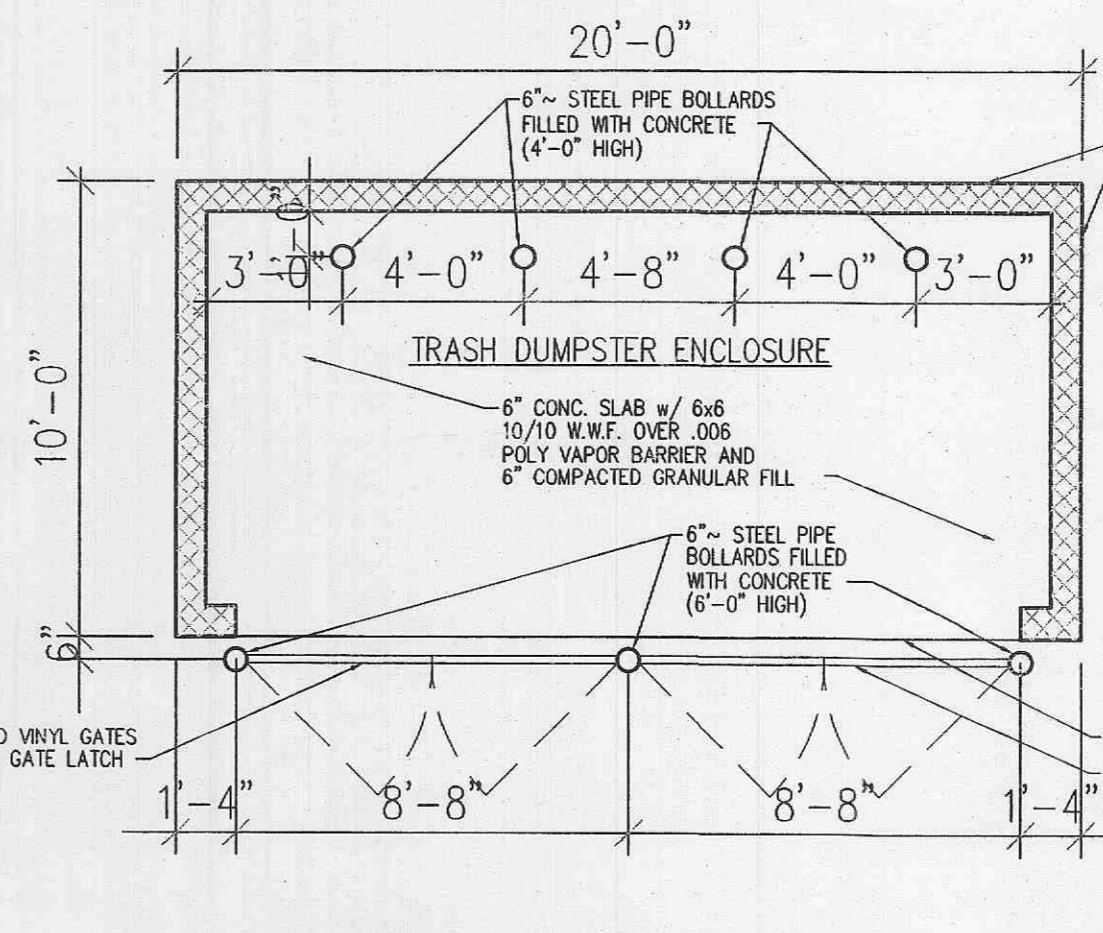
- Seeding rates:
- Permanent:
- Tall Fescue - 30 lbs./ac.
 Smooth Brome - 20 lbs./ac.
 combined: Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac.
- Temporary:
- Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1000 sq ft)
 Oats - 120 lbs./ac. (2.75 lbs. per 1000 sq ft)
- Seeding periods:
- Fescue or Brome - March 1 to June 1
 August 1 to October 1
- Wheat or Rye - March 15 to November 1
 Oats - March 15 to September 15
- Mulch rates: 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre)
- Fertilizer rates: Nitrogen 30 lbs./ac.
 Phosphate 30 lbs./ac.
 Potassium 30 lbs./ac.
 Lime 600 lbs./ac.
- *ENM = effective neutralizing material as per State evaluation of quarried rock.



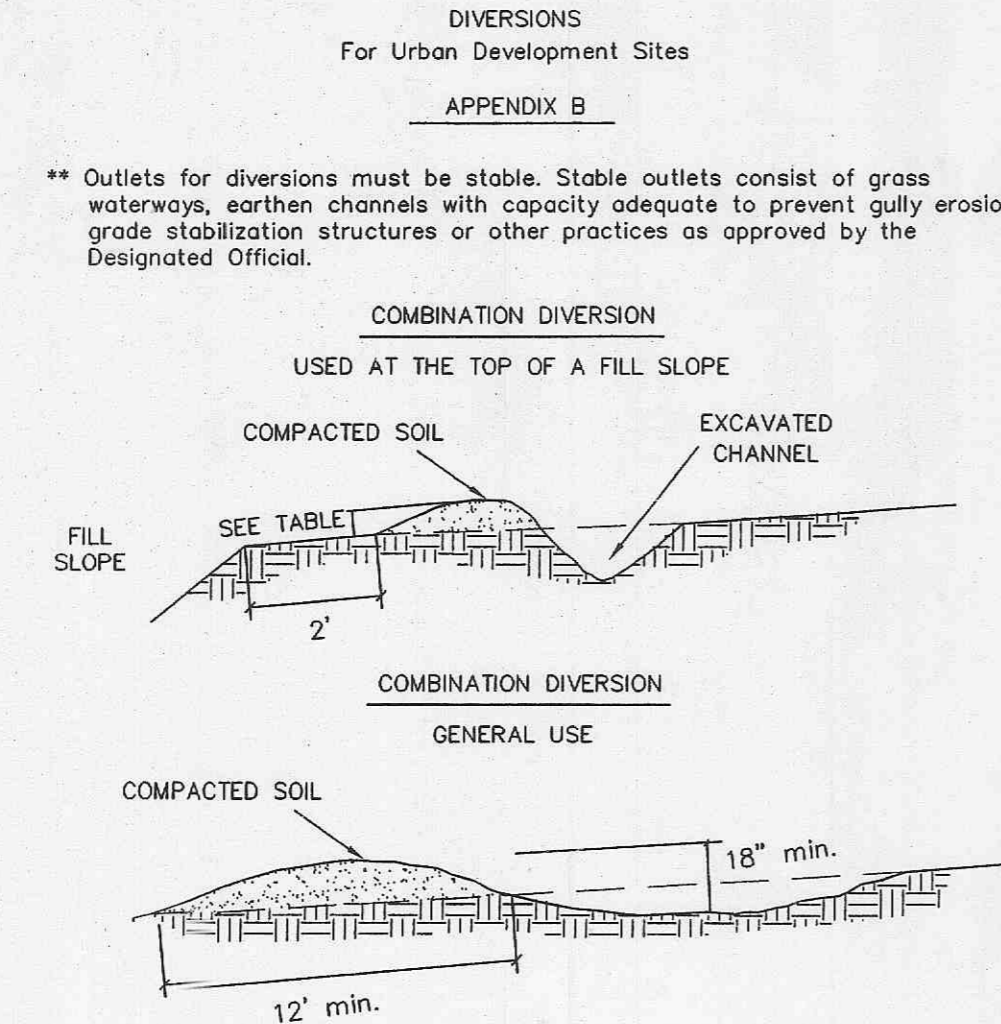
GENERAL NOTES:

1. See all notes on sheet.
2. Construction shall be in accordance with the latest edition of the Missouri State Building Code.
3. Material to be used shall be of the quality specified in the Missouri State Building Code.
4. Type 'T' concrete curb is required for all curb and gutter construction. See Note 1 for details.
5. For additional or other details, refer to the Missouri State Building Code, Section 107.02.01.01.
6. Note to Engineer: Contractor shall be responsible for the design and construction of the curb and gutter system. The design shall be in accordance with the Missouri State Building Code, Section 107.02.01.01.
7. All curbs and gutters shall be constructed in accordance with the Missouri State Building Code, Section 107.02.01.01.
8. Curbs and gutters shall be constructed in accordance with the Missouri State Building Code, Section 107.02.01.01.
9. Curbs and gutters shall be constructed in accordance with the Missouri State Building Code, Section 107.02.01.01.
10. Curbs and gutters shall be constructed in accordance with the Missouri State Building Code, Section 107.02.01.01.
11. Curbs and gutters shall be constructed in accordance with the Missouri State Building Code, Section 107.02.01.01.

SANITARY COUNTY
 HIGHWAY DEPARTMENT
 ST. CHARLES, MISSOURI
 PAVEMENT CONSTRUCTION DETAILS
 CURBS AND GUTTERS
 DATE: September, 2002
 DRAWING: C262.03

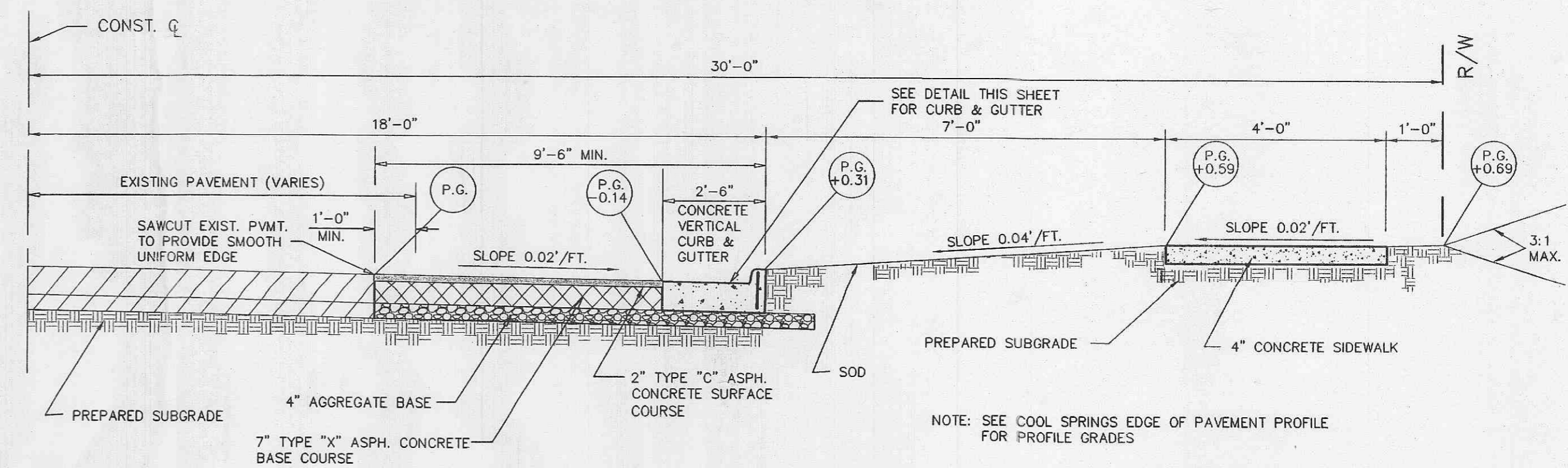


DUMPSTER ENCLOSURE DETAIL
 NOT TO SCALE



DIVERSIONS
 For Urban Development Sites
 APPENDIX B

- ** Outlets for diversions must be stable. Stable outlets consist of grass waterways, earthen channels with capacity adequate to prevent gully erosion, grade stabilization structures or other practices as approved by the Designated Official.



COOL SPRINGS ROAD
 TYPICAL PAVEMENT HALF SECTION
 NOT TO SCALE

O'FALLON P&Z # 904.01
 04/06/06

ENGINEER'S CERTIFICATION:
 The following applies to ALL sheets and documents involved in the preparation of the plans and documents for this project. The responsibility for Professional Engineering liability on this project is limited to the set of plans displaying the signature and an original stamped seal of the Engineer on each sheet. ALL responsibility is disclaimed until ALL review agency approvals are granted; for all other plan sheets issued prior to this issue date; for this set when another set is issued after this date; if the sheets are used individually instead of a set. This applies to ALL sheets and documents involved in this project whether this certification appears on it or not. Copyright. All Rights Reserved.
 ZAVRADINOS & ASSOCIATES, INC. DBA
 ZAVRADINOS ENGINEERING & SURVEYING

STEVEN W. POLK
 NUMBER 1
 PE-18668

Sheet 6 of 12

STEVEN W. POLK E-18668 DATE