CONSTRUCTION DETAILS TRUNCATED DOMES IN RAMP TO BE COLORED FOR 70% DIFFERENCE IN VISUAL CONTRAST BETWEEN RAMP GENERAL NOTES; COOL SPRINGS PLAZA AND PAVEMENT. PROVIDE 2' X 4' SECTION OF TRUNCATED DOMES (TYP), I. Soil APRIL 21, 2005 01242 10' WIDE PAVED TRAIL REV. 10/11/05 Soil preparation and revegetation shall consist of seeding fescue MAINTENANCE REV. 05/25/06 between March 1 and June 1 at a rate of 30 pounds per acre. See FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. REV. 09/25/06 Appendix A of the Model Sediment and Erosion Control Regulations for SET POST AND EXCAVATE A 4" X 4" TRENCH UPSLOPE ALONG THE LINE OF THE POST SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED POMPTLY. Urban Development. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIES. B. Owner, Developer assumes full responsibility as to performance of 4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EDISTING GRADE. PREPARED AND SEEDED. STAPLE THE WIRE MESH grading operation and assurance that all properties and county roads will be adequately protected. C. If Siltation Control Devices are destroyed by heavy rains, vandalism, etc., they are to be replaced immediately by Contractor. CONC. WALK w/ HANDICAP ACCESS Proposed phasing of development (rough dates) including: AT ENTRANCE DRIVES & R/W ELEVATION POINTS "A" SHOULD BE HIGHER THAN POINTS "B" .a) Clearing (estimated duration of exposed areas). NOT TO SCALE SYNTHETIC FILTER BARRIER Fill with Joint seoist ..b) Grading and construction (installation of temporary SILTATION CONTROL 3/4 \* parport donel bay 1 \* Upbricte this end . Do not acole drewing. Fotow dimensions. sediment control, storm drainage, paving) Construction joint and tie bors may be omitted when ours is poured integral with povement. Siltation Control Device NOT TO SCALE Reports formed by in training another say in form Minimum Thickness for Povement is: Bituminous Concrete Povement Thickness = 2'-0' TYPE E
TIED TRANSVERSE
CONSTRUCTION JOINT ...c) Final Grading and Landscaping (vegetative cover) INTEGRAL ROLLED CURB SWALE INVERT VERTICAL CURB AND GUTTER Residential Collector and Hose-Residential Streets (To be used at point not on 16' or 20' spacing) Where natural vegetation is removed during grading, vegetation shall See Notes 2 and B. 4. Type "G" Transvetse Joint is required for 5, 0.02°/ft. Flush with surface Premoted state or joint sealer when some be re-established in such a density as to prevent erosion. Permanent Arteriol and Hon-Residential streets. Use Type "C" Transverse Joint for all others. Hertzealal Line 7 type grasses shall be established as soon as possible or during the next 3/4 % [1 Tan. seeding period after grading has been completed. INTEGRAL VERTICAL CURB Delormed the bara 3/8 of 18 0 30 chrs. LONGITUDINAL CONSTRUCTION JOINT (See Male 5) When grading operations are completed or suspended for more 2'-6' 3/4 % 3/1 6° 1/4 "rodes 51, 0.02/%. SAWED OR PREMOLDED STRIP LONGIFUEINAL CONSTRUCTION JOINT ROLLED CURB AND GUTTER than 2 weeks, permanent grass must be established at sufficient (Set Hote 5) Flush milt swiece - Premoided atrip or joint Fill with joint sealer Type B Joint density to provide erosion control on the site. Between permanent SI. 0.02'/R. Flush with murface \ / Premoided atrip or joint segler when passed 1 NOTES: 1. THE SWALE SEDIMENT TRAP SHALL BE 20' x 60' TO PROVIDE MINIMUM STORAGE OF 1800 CUBIC FEET PER ACRE OF DRAINAGE AREA. grass seeding periods, temporary cover shall be provided according to All deformed bors for joints and curbs shots be Stiet Steel Bors conforming to ASTM.515-75, Grade 40. I PER MEN 2. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 the Designated Officials recommendation. All finished grades (areas MOUNTABLE CURB AND GUTTER THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT Length of the be born shall equal the thick-ness of parament plus the height of curb less
 The born shall be placed at 24 centers. Lubricole one and to St. Variet not to be disturbed by future improvements)in excess of 20% slopes SAWED OR PREMOLDED STRIP TRANSPERSE OR LONGHUDINAL CONSTRUCTION JOINT 1° Depareth dand bar 18° lg. 8 12° ctrs. (For defails of goest essembles refer to Donet Supporting Units, Std. Dag. C502.11) 3. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED 4. THE SEDIMENT TRAP SHALL BE REMOVED AND AREA STABILIZED WHEN THE CONTRIBUTORY DRAINAGE AREA HAS BEEN PROPERLY 1/4 "R 5/4 "R 1/4 "radius Si. 0.02"/ft. (5:1) shall be mulched and tacked at the rate of 100 pounds per 1/4 "rollue Filt nith joint seoler 1,000 square feet when seeded. The fire end of the done for a length of at least 11 inches shall be couled with an approved amphilio grease. 5. THE SWALE SEDIMENT TRAP WILL BE PROPERLY BACK FILLED AND THE SWALE RECONSTRUCTED. TYPE G SAWED OR PREMOLDED STRIP TRANSVERSE CONSTRUCTION JUINT 11. All down bars 18 kg, 8 12 ctm. shall be exactly Type B Joint All lots shall be seeded and mulched before an occupancy permit MAXIMUM DRAINAGE AREA: 2 ACRES 1/4 'notice\ \ \[ \] \[ \forall \] \[ \foral TYPE S CONCRETE CURB (3' O VIII L.,

"Type to Determinates Concrete
Premotifed thrie or kind seeler when somed.

Heath with stations. shall be issued except that a temporary occupancy permit may be SWALE SEDIMENT TRAP Bill joint formed | 1 Osmooth donet be A PART OF THE PROPERTY OF THE PART OF THE issued by the Building Department in cases of undue hardship because Lubricate this end TYPE D TRANSVERSE CONSTRUCTION JOINT Stoting Fins of unfavorable ground conditions. NOT TO SCALE Any wells and/or springs which may exist on this property should Lubricate one end
P.C.Concrete Povement SAINT CHARLES COUNTY be located and treated in a manner acceptable to the local governing HIGHWAY DEPARTMENT ST. CHARLES, MISSOURI - 4" PRECAST CONCRETE MOUNTABLE CURB AND GUTTER authority. VEHENT CONSTRUCTION DETAILS JOINTS AND CURBS -CONT. BOND BEAM w/ All existing trash, debris and broken concrete pieces on site SAWED OR PREMOLDED STRIP TRANSVERSE CONSTRUCTION JOIN WITH BITULINOUS OVERLAY (2) #4 RODS CONT. must be removed and disposed of off site, and outside of the City of VEGETATIVE ESTABLISHMENT DATE: September, 2002 O'Fallon. For Urban Development Sites -8" SPLIT-FACED C.M.U. w/#9 DUR-O-WAL APPENDIX A Debris and foundation material from any existing on — site REINFORCING @ 16" O.C. building or structure which is scheduled to be razed for this TO MATCH BUILDING development must be disposed of off site and outside of the City of Permanent: Soft soils in the bottom and banks of existing or former pond Tall Fescue - 30 lbs./ac. sites or tributaries should be removed, spread out and permitted to 20'-0" Smooth Brome - 20 lbs./ac. dry sufficiently to be used as fill. None of this material should be combined: Fescue @ 15 lbs./ac. and Brome @ 10 lbs./ac. -6"~ STEEL PIPE BOLLARDS placed in proposed public right-of-way locations or on any storm FILLED WITH CONCRETE -VERT. #5's @ 48" O.C. -8", SPLIT-FACED C.M.U. sewer location. (4'-0" HIGH) Temporary: GROUT CELLS SOLID TO MATCH BUILDING -(TYPICAL) SEE WALL SECTION II. Bid Yardage 1,800 cubic yards, more or less. Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1000 sf) -6"~ STEEL PIPE BOLLARDS, CONCRETE FILLED -\" EXPANSION JOINT - 120 lbs./ac (2.75 lbs. per 1000 sf) PRECAST CONCRETE FINISH GRADE OR The total yardage for this project is based on a 15% shrinkage PAVEMENT - SEE Seeding periods: SITE PLAN -6x6 10/10 W.W.F. TRASH DUMPSTER ENCLOSURE Fescue or Brome - March 1 to June 1 B. This shrinkage factor is subject to change, due to soil -6" CONC. SLAB w/ 6x6 10/10 W.W.F. OVER .006 August 1 to October 1 conditions, (types and moisture content) weather conditions, and the SPLIT-FACED C.M.U. POLY VAPOR BARRIER AND 6" COMPACTED GRANULAR FILL percent compaction actually achieved. As a result, adjustments in Wheat or Rye - March 15 to November 1 - March 15 to September 15 final grades may be required. -6"∼ STEEL PIPE BOLLARDS FILLED 1'-4"x2'-4" CONT. L6" COMPACTED CONC. GRADE BEAM WITH CONCRETE (6'-0" HIGH) C. The earth quantities were obtained from the existing topography w/ (2) #4 RODS CONT. TOP & BOTTOM GRANULAR FILL Mulch rates: 100 lbs. per 1,000 sq. feet (4,356 lbs. per acre) using gerial photogrametric procedures, with contours at two foot SOLID VINYL GATES -SPLIT-FACED C.M.U. TO MATCH BUILDING #5 DOWELS @ intervals, with a tolerance of plus or minus one foot or 1/2 contour Fertilizer rates: Nitrogen 30 lbs./ac. Phosphate 30 lbs./ac. interval. ALTERNATE SOLID VINYL GATES WITH GATE LATCH -" EXPANSION JOINT DIRECTION OF Potassium 30 lbs./ac. HORIZ. LEGS SOLID VINYL GATES 600 lbs./ac. Lime D. The computed bid yardage is to finished grade and does not include subgrade removal. \*ENM = effective neutralizing material as per State evaluation of quarried rock. E. This site is calculated to be a balanced on site grading, without having to haul in or haul out any materials. But due to the above DUMPSTER ENCLOSURE DETAIL conditions, some sites may not balance exactly. It is the contractor's NOT TO SCALE **DIVERSIONS** responsibility to notify the engineer if it expects to have a shortage For Urban Development Sites or surplus of material. APPENDIX B III Siltation Control CONST. G \*\* Outlets for diversions must be stable. Stable outlets consist of grass A. Siltation control shall consist of temporary berms and swales to waterways, earthen channels with capacity adequate to prevent gully erosion, 30'-0" grade stabilization structures or other practices as approved by the divert storm water runoff to a natural discharge point. (See grading Designated Official. SEE DETAIL THIS SHEET plan for locations.) At which point there shall be a double row of FOR CURB & GUTTER COMBINATION DIVERSION straw bales with four feet of separation between rows. The straw O'FALLON P&Z# 904.01 18'-0" 4'-0" bales shall be placed with a one foot separation between bales and USED AT THE TOP OF A FILL SLOPE 9'-6" MIN. 04/06/06 straw bales shall be staggered. In areas where a berm and swale are P.G. -0.14 EXCAVATED EXISTING PAVEMENT (VARIES) COMPACTED SOIL 2'-6" not feasible, a single row of straw bales shall be placed end to end CHANNEL ENGINEERS CERTIFICATION: CONCRETE to protect adjacent property and right-of-ways (This shall be the 1'-0" SAWCUT EXIST. PVMT. The following applies to ALL sheets and documents involved in the VERTICAL SLOPE 0.02'/FT. SLOPE 0.04'/FT. responsibility of the grading contractor or developer if so agreed). preparation of the plans and documents for this project. The responsibility TO PROVIDE SMOOTH -CURB & SLOPE 0.02'/FT. for Professional Engineering liability on this project is limited to the set of GUTTER UNIFORM EDGE B. Upon completion of storm sewers, straw bales shall be placed on plans displaying the signature and an original stamped seal of the Engineer on each sheet. ALL responsibility is Disclaimed: until ALL review agency all sides of appropriate structures to keep silt out of storm sewer approvals are granted; for all other plan sheets issued prior to this issue (This shall be the responsibility of the sewer contractor or the date; for this set when another set is issued after this date; if the sheets are used individually instead of a set. This applies for ALL sheets and developer if so agreed) All straw bales shall be securely anchored COMBINATION DIVERSION PREPARED SUBGRADE documents involved in this project whether this certification appears on it 4" CONCRETE SIDEWALK and properly maintained until all disturbed areas are paved or or not. Copyright. All Rights Reserved. GENERAL USE 2" TYPE "C" ASPH. ZAVRADINOS & ASSOCIATES, INC. DBA vegetation is established. A synthetic filter barrier may be used in CONCRETE SURFACE ZAVRADINOS ENGINEERING & SURVEYING COMPACTED SOIL 4" AGGREGATE BASE place of straw bales. COURSE - PREPARED SUBGRADE NOTE: SEE COOL SPRINGS EDGE OF PAVEMENT PROFILE C. Temporary siltation control measures shall be maintained until 7" TYPE "X" ASPH. CONCRETEvegetative cover is established at a sufficient density to provide BASE COURSE G. STEVEN W. erosion control on the site. D. Erosion control systems are inspected and necessary corrections COOL SPRINGS ROAD made within 24 hours of any rainstorm resulting in one-half inch of 12' min. rain or more. TYPICAL PAVEMENT HALF SECTION NOT TO SCALE STEVEN W. POLK E-18668