

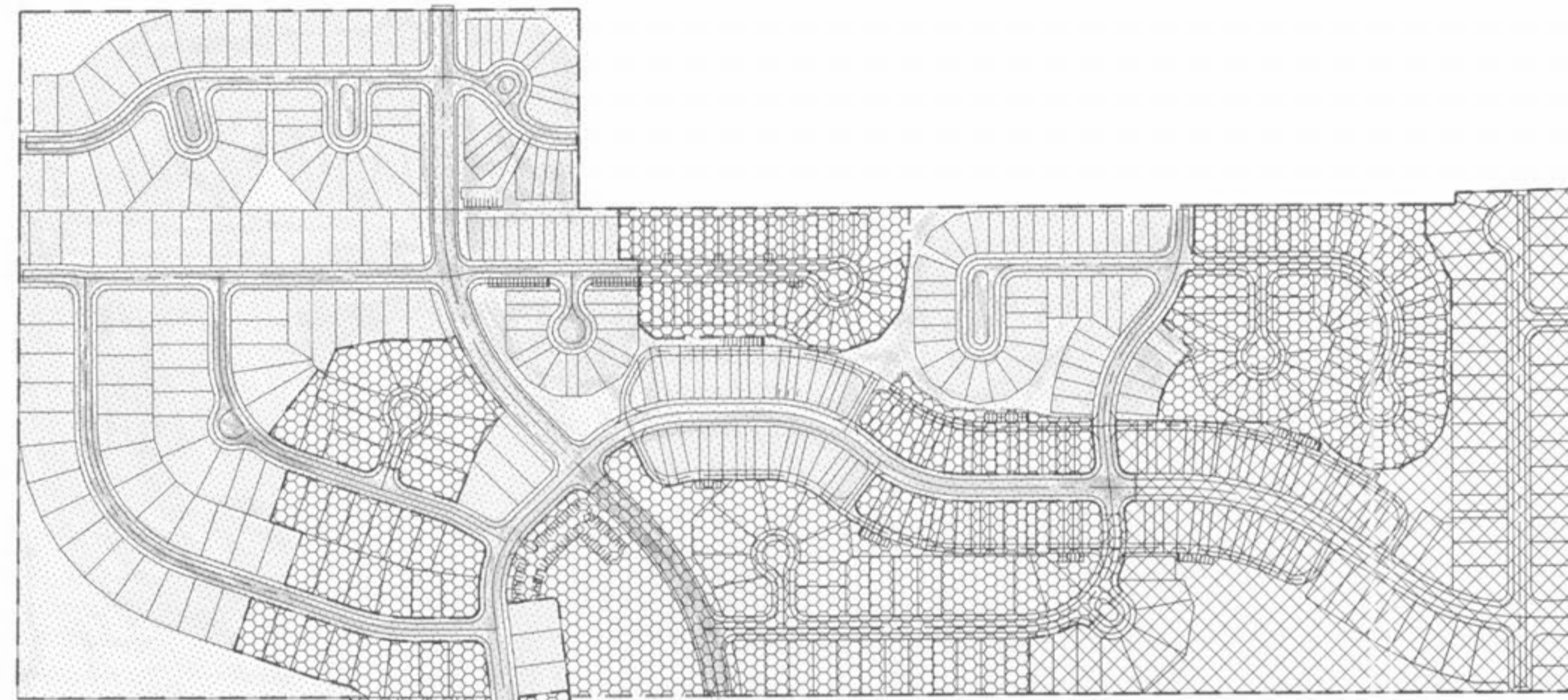
COUNTRYSHIRE

A tract of land being a part of U.S. Survey 931, and
a part of the south 1/2 of fractional section 10,
Township 46 North, Range 2 East,
St. Charles County, Missouri

IMPROVEMENT PLANS

GRADING & CONSTRUCTION NOTES:

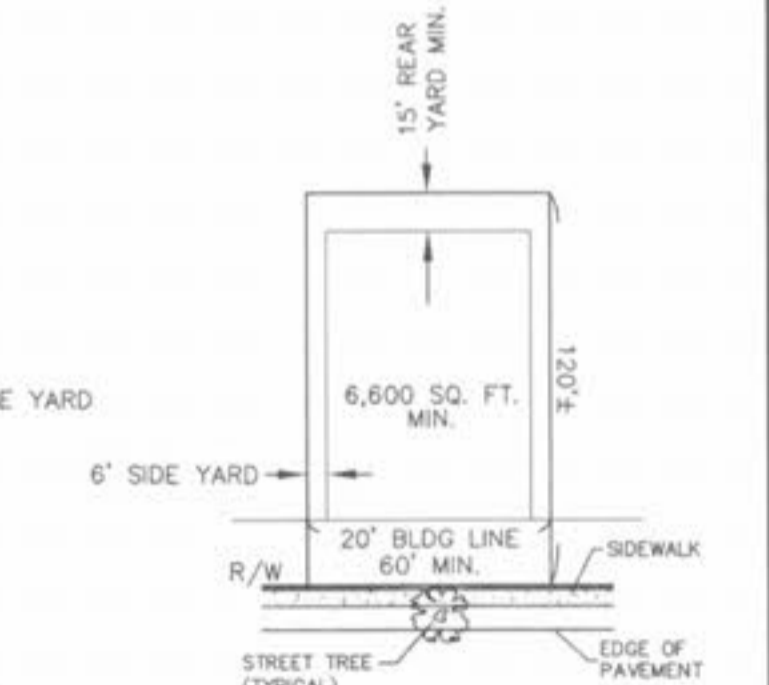
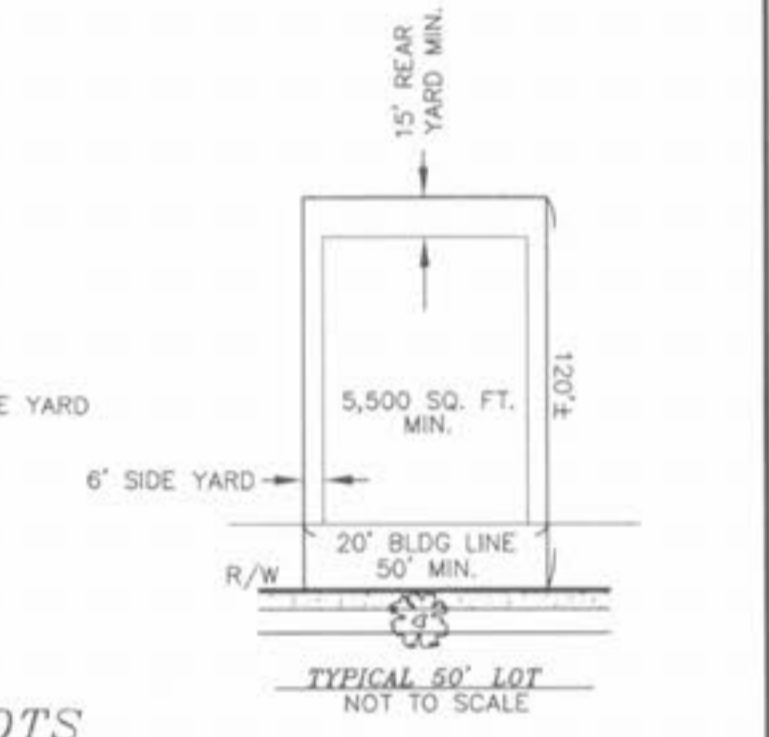
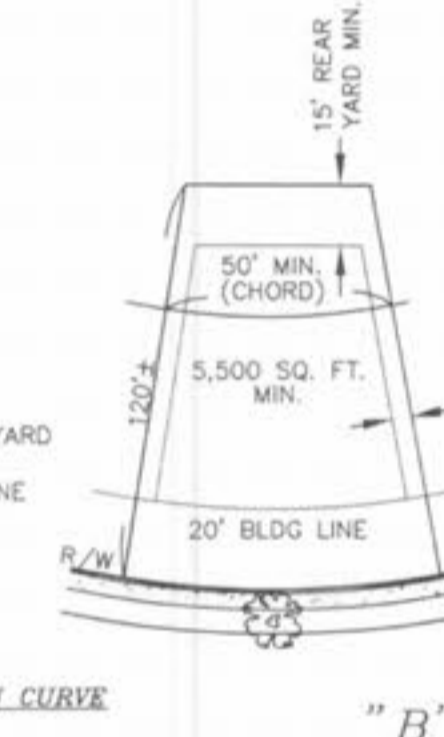
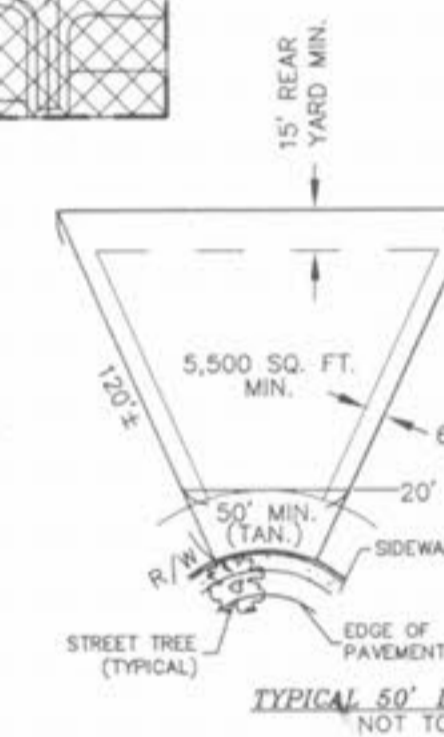
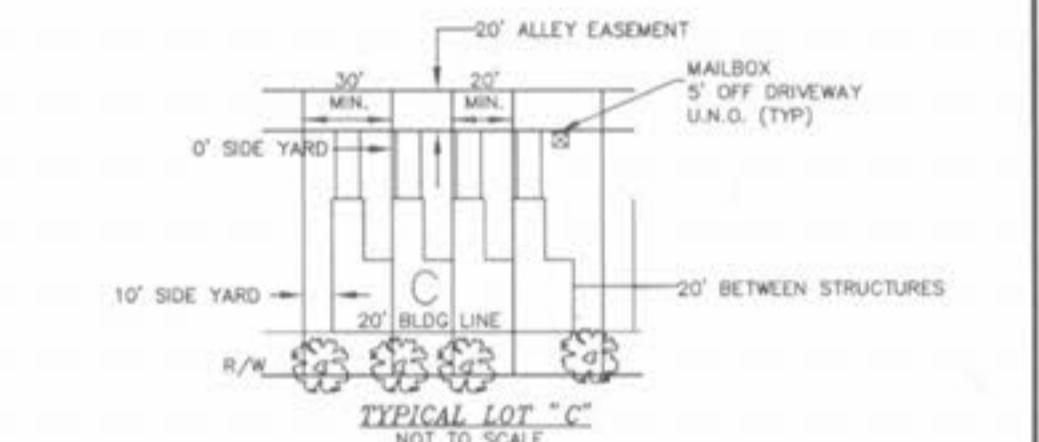
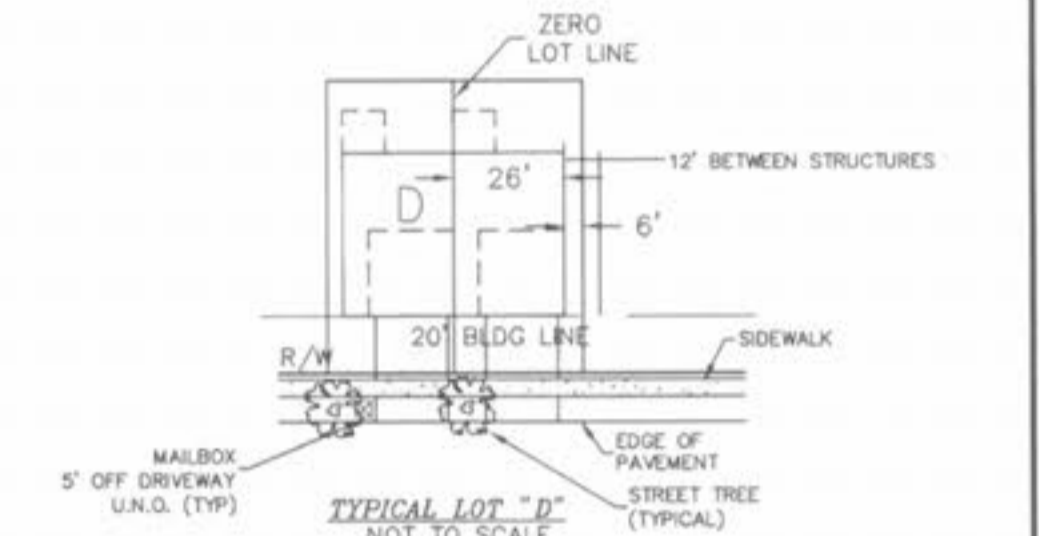
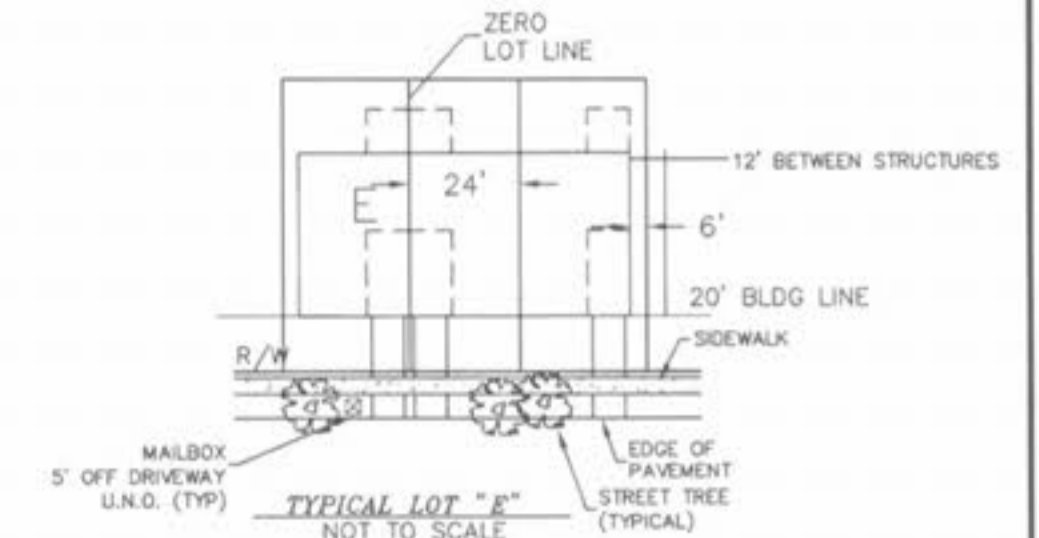
- All construction methods, materials and practices shall conform to all current applicable specifications of the governing agencies.
- Any destruction of existing improvements or features shall be repaired or replaced in kind by the contractor and shall remain the contractor's responsibility.
- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- It shall be distinctly understood that failure to specifically mention any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- Contractor shall keep road clear of mud and debris.
- All filled areas to be compacted to a minimum of 90 percent of maximum dry density as determined by the Modified AASHTO Compacting Test, ASTM D1557-75, or as specified by the soils engineer.
- It shall be the grading contractor's responsibility to notify the soils engineer prior to work in progress and to comply with recommendations by the soils engineer with regards to compaction, surface preparation, and placement of fill.
- It shall be the grading contractor's responsibility to provide the location of any existing underground utilities by notifying utility companies prior to grading operations.
- The grading contractor shall cut or fill to sub grade elevation under all areas to be paved. (Sub grade is figured at pavement depth). Rough grading is to be completed within $\pm 0.20'$.
- All drainage swales shall be sodded or seeded to prevent erosion.
- All stumps, limbs, and other debris are to be removed from the site unless a suitable dump area is approved in advance by the owner after consulting with the soils engineer if burning is approved.
- Sub grade is included in the total bid package. (Sub grade is figured at pavement depth).
- Slopes to receive fill which are steeper than 5:1 should be benched prior to placement of fill.
- If fill is to be placed in areas of soft soil, particularly in draws, drainage channels and other low lying areas, the soft soil shall be excavated until firm soil is encountered.
- All grading shall comply with the soils engineer's recommendations.
- Permanent grass is required at completion of grading or a 30-day suspension of grading will be imposed.
- A drainage easement will be granted to the City of O'Fallon for any creeks to remain in the development on the record plan.
- Siltation control will be installed prior to any grading or construction operations and shall be inspected and maintained as necessary to insure their proper function until sufficient vegetation has been established to prevent erosion.
- The installation and maintenance of all siltation controls shall be the responsibility of the developer.
- Additional siltation control may be required as directed by the local governing authority.
- All grading areas shall be protected from erosion by erosion control devices and/or seeding and mulching as required by the City of O'Fallon.
- All fill placed under proposed storm and sanitary sewers, proposed roads, and/or paved areas shall be compacted to 80% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All fill placed in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and back filling operations. Ensure the moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.
- Erosion and sediment control structures shall be maintained throughout the construction process.
- Developer must supply City construction inspectors with soils reports prior to or during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of any silts or mud on new or existing pavement or in new or existing sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Erosion control shall not be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams, adjacent roadways, properties, ditches.
- No graded area shall remain bare for over 2 weeks without being seeded or mulched.
- No slope shall exceed 3(Hor.):1(Vert.).
- When deemed necessary, positive steps should be exercised to prevent the soil from damaging adjacent property and siltation up all storm drainage systems whether on or off site.
- All low places whether on-site or off-site should be graded to allow drainage by installing temporary ditches.
- Any wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the City of O'Fallon.
- All trash and debris on-site, either existing or from construction, must be removed and disposed of off-site.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site. All existing buildings and fencing is to be removed.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location. Dewatering of existing pond shall not exceed 50 GPM.
- Please notify the Department of Public Works for the City of O'Fallon 24 hours prior to the commencement of grading. No building permits will be issued by the City of O'Fallon until construction plans are approved and the final plot recorded.
- The sediment control plan should be implemented before grading begins. This should follow the guidelines in the model sediment and erosion control regulations by St. Charles Soil and Water Conservation District.
- The low sill elevation for any proposed structures adjacent to the flood plain shall be a minimum of 1(one) foot above the 100-year flood elevation.
- All grading adjustments shall be submitted to and receive approval from the City of O'Fallon.
- When utilized temporary siltation ponds/structures shall be completely removed following re-establishment of vegetation. Ponds shall be backfilled, compacted, and graded to provide positive drainage and then seeded and mulched.
- All paving to be accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
- Sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAC) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAC guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- All street signs and traffic signals shall be colored black in accordance with the approved MoDOT specifications.
- All sign post, backs, and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer 50 and Carboline 133 HB paint or equivalent as approved by the City and MoDOT.
- All sign locations and sizes must be approved separately through the Planning Division.
- Pavement underdrains shall be provided at all low points per the City of O'Fallon.



DEVELOPMENT PHASES

- PHASE 1
- PHASE 2
- PHASE 3

LOTS	FRONT YARD	SIDE YARD	REAR YARD	SPACING BETWEEN ATTACHED UNITS	MAX. BLDG. COVERAGE/LOT	VILLAGE AREA IN SQ. FT.	PVMT. & DRIVE AREAS - ACRES	OPEN SPACE Common Ground	SMALLEST LOT SQ. FT.
"A" LOTS 60'	20'	6'	15'	N/A	50%	1,362,257.4	5.44	4.87 AC.	6,991 S.F.
"B" LOTS 50'	20'	6'	15'	N/A	50%	1,384,045.8	5.02	4.28 AC.	5,634 S.F.
"C" LOTS 20' TOWNHOMES	20'	0'/10'	15'	20'	60%	654,649.5	3.62	6.99 AC.	2,200 S.F.
"D" LOTS 26' DUPLEX	20'	0'/6'	15'	12'	50%	553,523.8	2.60	1.92 AC.	2,880 S.F.
"E" LOTS 24' VILLAS	20'	0'/6'	15'	12'	60%	315,669.6	1.43	3.73 AC.	2,160 S.F.



THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROFESSIONALS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

ISSUE	REMARKS/DATE
10	CITY COMMENTS 02/02/06
11	CITY COMMENTS 02/02/06
1	DCSD COMMENTS 09/28/05
2	DCSD COMMENTS 10/13/05
3	DCSD AND CITY COMMENTS 01/14/05
4	CITY COMMENTS 01/20/05
5	CITY COMMENTS 01/20/05
6	CITY COMMENTS 01/20/05
7	WATER DISTRICT #2 COMMENTS 01/17/06
8	DEVELOPER REVISIONS 01/24/06

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PROJECT: **COUNTRYSHIRE**

DESIGNED: **JCM**

CHECKED: **gpt**

DRAWN: **LG**

SHEET TITLE: **COVER SHEET**

NO	02	12	311
M.S.D.			SHEET
#			1.2
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