

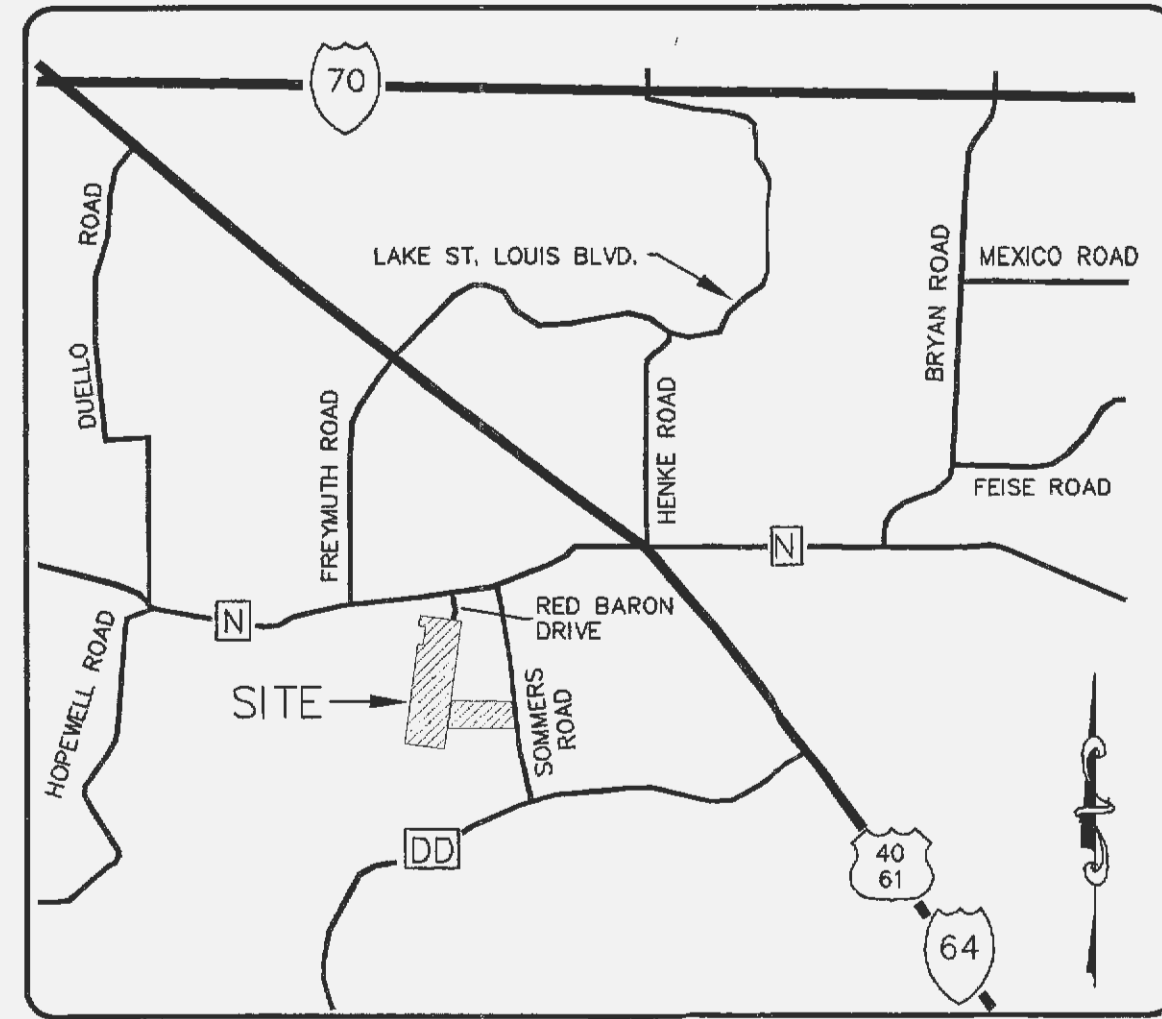
COUNTRYSHIRE

A Tract of Land Being a Part of U.S. Survey 931,
And a Part of the South 1/2 of Fractional Section 10,
Township 46 North, Range 2 East,
St. Charles County, Missouri

GRADING & STORM WATER POLLUTION PREVENTION PLAN

GRADING NOTES:

- All construction methods, materials and practices shall conform to all current applicable specifications of the governing agencies.
- Any destruction of existing improvements or features shall be repaired or replaced in kind by the contractor and shall remain the contractor's responsibility.
- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- It shall be distinctly understood that failure to specifically mention any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- Contractor shall keep road clear of mud and debris.
- All filled areas to be compacted to a minimum of 90 percent of maximum dry density as determined by the Modified AASHTO Compacting Test, ASTM D1557-78, or as specified by the soils engineer.
- It shall be the grading contractor's responsibility to notify the soils engineer prior to work in progress and to comply with recommendations by the soils engineer with regards to compaction, surface preparation, and placement of fill.
- It shall be the grading contractor's responsibility to provide the location of any existing underground utilities by notifying utility companies prior to grading operations.
- The grading contractor shall cut or fill to subgrade elevation under all areas to be paved. (Subgrade is figured at pavement depth).
- All permanent drainage swales shall be sodded or seeded and mulched to prevent erosion.
- All stumps, limbs, and other debris are to be removed from the site unless a suitable dump area is approved in advance by the owner after consulting with the soils engineer if burning is approved.
- Subgrade is included in the total bid yardage. (Subgrade is figured at pavement depth).
- Slopes to receive fill which are steeper than 5:1 should be benched prior to placement of fill.
- If fill is to be placed in areas of soft soil, particularly in draws, drainage channels and other low lying areas, the soft soil shall be excavated until firm soil is encountered.
- All grading shall comply with the soils engineer's recommendations.
- A drainage easement will be granted to the City of O'Fallon for any creeks to remain in the development on the record plat.
- Siltation control will be installed prior to any grading or construction operations and shall be inspected and maintained as necessary to insure their proper function until sufficient vegetation has been established to prevent erosion.
- Additional siltation control may be required as directed by the local governing authority.
- All grading areas shall be protected from erosion by erosion control devices and/or seeding and mulching as required by the City of O'Fallon.
- Erosion and sediment control structures shall be maintained throughout the construction process.
- The Developer shall provide the City of O'Fallon construction inspectors with soils reports prior to and during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion on the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of any silts or mud on new or existing pavement or in new or existing sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Erosion control shall not be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams, adjacent roadways, properties, ditches.
- No graded area shall remain bare for over 2 weeks without being seeded or mulched.
- No slope shall exceed 3(horz.):1(vert.) unless approved by the soils engineer and the City of O'Fallon.
- All filled places under proposed storm and sanitary sewer, proposed roads, and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All filled places in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and backfilling operations. Ensure the moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.
- When deemed necessary, positive steps should be exercised to prevent the soil from damaging adjacent property and siting up all storm drainage systems whether on or off site.
- All low places whether on-site or off-site should be graded to allow drainage by installing temporary ditches.
- Any wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the City of O'Fallon.
- All trash and debris on-site, either existing or from construction, must be removed and disposed of off-site.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site. All existing buildings and fencing is to be removed.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location. Dewatering of existing pond shall not exceed 50 GPM.
- Please notify the Director of Public Works for the City of O'Fallon 24 hours prior to the commencement of grading. No building permits will be issued by the City of O'Fallon until construction plans are approved and the final plat recorded.
- The sediment control plan should be implemented before grading begins. This should follow the guidelines in the model sediment and erosion control regulations by St. Charles Soil and Water Conservation District.
- The engineer shall not be liable for damage caused by erosion or siltation due to defective siltation control devices, installation, or maintenance.
- The moisture content of the soil in fill areas is to correspond to the compaction efforts as defined by the Standard or Modified Proctor Test.
- The petitioner is aware and in agreement that the City will not waive or assume the cost for any water or sewer connection fees (tap fees) in conjunction with this proposed development.



LOCATION MAP
N.T.S.

EXISTING	LEGEND	PROPOSED
542	CONTOURS	(542)
536	SPOT ELEVATIONS	(536)
---	CENTER LINE	---
---	BUILDINGS, ETC.	---
---	TREE LINE	---
---	FENCE	---
---	STORM SEWERS	---
---	SANITARY SEWERS	---
---	CATCH BASIN	---
---	AREA INLET	---
---	GRATED INLET	---
---	STORM MANHOLE	---
---	SANITARY MANHOLE	---
---	FLARED END SECTION	---
---	CLEANOUT	---
---	LATERAL CONNECTION	---
---	UTILITY OR POWER POLE	---
---	FIRE HYDRANT	---
---	TEST HOLE	---
---	PAVEMENT	---
---	GAS MAIN & SIZE	(2" C)
---	WATER MAIN & SIZE	(6" W)
---	TELEPHONE	(T)
---	ELECTRIC (U) UNDERGROUND	(E)
---	ELECTRIC (O) OVERHEAD	(OHW)
---	FLOW LINE	---
---	TO BE REMOVED	TBR
---	TOP OF CURB	(TC)
---	SWALE	---
---	LIGHT STANDARD	---
---	STREET SIGN	---
---	PARKING STALLS	P.S.
---	YARD LIGHT	ELEC
---	FLOOD PLAN LIMITS	---
---	FLOOD WAY LIMITS	---
---	100 YEAR FLOOD ELEVATION	---
---	HANDICAPPED RAMP	HR
---	SILTATION CONTROL (STRAW BALES)	---
---	SILTATION CONTROL (MARAFI FABRIC W/HOG WIRE)	---

INDEX OF SHEETS

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TREE ORDINANCE

Existing trees = 10.94 acres
Trees removed = 9.78 acres
Trees required = 15 trees per acre
15 trees X 9.78 acres = 147 trees required

Trees proposed = 147 trees
147 trees proposed = 147 trees required
Complied with Ordinance

Refer to detailed Landscape Plan submitted as separate sheet with Final Area Plan.

STREET TREES

1 tree shall be provided at a rate of one (1) per lot and Two (2) per corner lot.

PROJECT NOTES:

- GROSS AREA OF SITE: 102.6 ACRES
- EXISTING ZONING: R-1 PUD & R-3 PUD
- AN APPROVED FINAL AREA PLAN IS STILL REQUIRED FOR THIS SITE.
- CURRENT OWNER: RHODES INVESTMENT PROP. L.P. JOHN AND JEAN STRUTMAN, TRUSTEES
8560 HIGHWAY N 2449 SOMMERS ROAD
O'FALLON, MO. 63366 O'FALLON, MO. 63366
- OWNER UNDER CONTRACT: Chesterfield Valley Development, L.L.C. 16640 Chesterfield Grove Road
Chesterfield, Mo. 63005
- BUILDING SETBACK REQUIREMENTS FOR SINGLE-FAMILY DETACHED LOTS:
FRONT YARD 20'
SIDE YARD 6' (0 FEET FOR ATTACHED UNITS)
REAR YARD 15'
(SEE TYPICAL LOTS ON THIS SHEET FOR ATTACHED RESIDENTIAL SETBACK REQUIREMENTS.)
- LOT DATA:
A) TOTAL UNITS: 535
B) SEE TYPICAL LOTS ON THIS SHEET FOR AREA AND DIMENSION REQUIREMENTS.
C) 60' "A" LOTS ~ 127
50' "B" LOTS ~ 122
28' "D" DUPLEX ~ 102
24' "E" VILLAS ~ 68
20' "C" TOWNHOMES ~ 116
TOTAL = 535 LOTS/UNITS
- R-1 P.U.D.
A) SITE AREA: 81.94 AC.
B) R.O.W. AREA: 15.90 AC.
C) NET AREA: 66.04 ACRES
D) ALLOWABLE LOTS: $\frac{66.04 \text{ AC.} \times 43,560 \text{ SF./AC.}}{10,000 \text{ SF.}}$ = 288 LOTS
- R-3 P.U.D.
A) SITE AREA: 20.66 ACRES
B) R.O.W. AREA: 5.45 AC.
C) NET AREA: 15.21 ACRES
D) ALLOWABLE UNITS: $\frac{15.21 \text{ AC.} \times 43,560 \text{ SF./AC.}}{2,500 \text{ SF.}}$ = 265 UNITS
- COMBINED INFORMATION:
ALLOWABLE UNITS IN P.U.D.: 288 + 265 = 553 UNITS
- PRIOR TO ISSUANCE OF BUILDING PERMITS FOR MORE THAN 30% OF THE TOTAL UNITS, BUILDING PERMITS FOR ALL RECREATIONAL FACILITIES SHALL BE PULLED AND PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR 40% OF THE TOTAL UNITS, ALL RECREATIONAL AMENITIES SHALL OPEN FOR USE OR ESCROW FUNDS FOR THE AMENITY PACKAGE MAY BE UTILIZED.
- STRUCTURE COVERAGE IS EQUAL TO 32.8% OF SITE.
- NO PARKING WILL BE ALLOWED ALONG COLLECTOR ROAD AND CUL-DE-SACS OF VILLAGE B AND VILLAGE D.
- AVERAGE SINGLE FAMILY DETACHED LOT SIZE: 7,220 SQ.FT.
- 10 SMALLEST LOTS:
1 ~ LOT 230 = 2,120 SQ.FT.
2 ~ LOT 240 = 2,120 SQ.FT.
3 ~ LOT 270 = 2,120 SQ.FT.
4 ~ LOT 280 = 2,120 SQ.FT.
5 ~ LOT 310 = 2,120 SQ.FT.
6 ~ LOT 320 = 2,120 SQ.FT.
7 ~ LOT 350 = 2,120 SQ.FT.
8 ~ LOT 360 = 2,120 SQ.FT.
9 ~ LOT 940 = 2,120 SQ.FT.
10 ~ LOT 950 = 2,120 SQ.FT.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT VIA COUNTRYSHIRE DRIVE ENTRANCE ON SOMMERS ROAD.
- TENTATIVE DESIGN SPEED FOR THE COLLECTOR ROAD SHALL BE 40 MPH. WITH A MAXIMUM SUPER ELEVATION OF 4%.
- LAKES WILL BE MAINTAINED TO A MINIMUM OF TEN (10') FEET DEEP UNTIL TURNED OVER TO THE HOMEOWNER'S ASSOCIATION.
- A SEPARATE SITE PLAN FOR THE POOL, CABANA, GAZEBO, SPORTS COURTS, PLAYGROUND AND TOT LOT WILL BE SUBMITTED WITH FINAL PLAN THAT WILL INDICATE EXACT SIZE AND RECREATIONAL FEATURES TO BE INSTALLED.
- NO SLOPES SHALL EXCEED 3 (horizontal) TO 1 (vertical), UNLESS JUSTIFIED BY GEOTECHNICAL REPORT WHICH HAS BEEN ACCEPTED OR APPROVED BY THE CITY OF O'FALLON.

FLOOD PLAIN NOTE:

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF THE COUNTY OF ST. CHARLES, MISSOURI, UNINCORPORATED AREAS (COMMUNITY PANEL NUMBER 2918300220 E DATED AUGUST 2, 1996) THIS PROPERTY LIES ENTIRELY WITHIN ZONE X. ZONE X IS DEFINED AS AN AREA OUTSIDE THE 500 YEAR FLOOD HAZARD, IN WHICH BASE FLOOD ELEVATIONS HAVE BEEN DETERMINED.

PROJECT BENCHMARK

"SQ" CUT WEST END OF SOUTHERN HEADWALL LOCATED AT THE SOUTHWEST INTERSECTION OF SOMMERS ROAD AND STATE HIGHWAY "N"; 36.5' EAST OF SOMMERS ROAD AND 14' SOUTH OF CENTERLINE OF STATE HIGHWAY "N".

ELEVATION = 607.22 (USGS)

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo.

BASE MAP

ISSUE REMARKS/DATE

1 FIRST SUBMITTAL/04-05-05

2 CITY COMMENTS/05-18-05

3 CITY COMMENTS/05-18-05

4 ADDED TAP FEES NOTE/06-29-05

PREPARED FOR:

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DESIGNED:

J.C.M.

CHECKED:

[Signature]

DRAWN:

L.G.

PROJECT:

COUNTRYSHIRE

NO. 02 12 311

M.S.D. SHEET 1 OF

PH#

DIGITAL FILE LOCATION

SERVER=STERLING_2

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